

Response to consultation associated with the proposed 5 Star Hotel at 143-193 Moray Place, Dunedin by NZ Horizon Hospitality Group Ltd

Consultation undertaken with:

1. Dunedin Dark Skies Group (Dark Skies Dunedin)
2. New Zealand Fire Service
3. Heritage New Zealand
4. Te Rūnanga o Ōtākou

Summary comments on the consultation:

Dunedin Dark Skies Group (Dark Skies Dunedin), letter of 25 January 2017, attached.

The feedback received notes 5 recommendation, as well as an offer to provide further information which may assist to achieve the recommending. The feedback has been circulated to the project architect, with the aim of further dialog with Dark Skies Dunedin in terms of finalising lighting details.

New Zealand Fire Service, letter of 24 December 2016, attached.

The feedback received notes recommendation in terms of the location of specific information panels/equipment. The feedback has been circulated to the project architect, with the aim of further dialog with the New Zealand Fire Service in terms of finalising panel/equipment location.

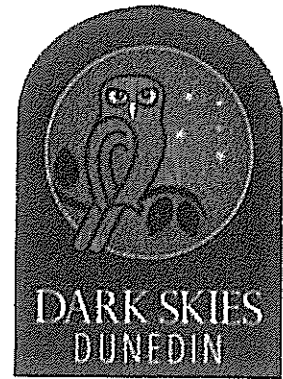
Heritage New Zealand, email of 22 December 2016 (with attachments), all of which are attached:

The feedback received notes the site has been confirmed as an archaeology site, and that a full archaeological assessment and an archaeological authority will be required. This is in line with the expectation for a condition of consent requiring the completion of an archaeological assessment and the granting of an archaeological authority prior to undertaking earthworks.

Te Rūnanga o Ōtākou, letter of 26 January 2017, attached:

The feedback received notes particular interest in the management of excavated materials and visual impact. In terms of excavated materials it is suggested that adherence to the Heritage New Zealand Pouhere Taonga Archaeological Discovery Protocol. With regards to this matter, the applicant is willing to accept a condition of consent requiring the granting of an archaeological authority prior to undertaking earthworks, which is anticipated to include adherence to the protocol. In terms of visual impact, a preference for the planting of appropriate native plants has been suggested. With regards to this matter no decision has been made on the proposed planting, however the applicant is open to a condition of consent requiring the use of appropriate native plants.

END



25 January 2017

Kurt Bowen
Paterson Pitts Group
Kurt.Bowen@ppgroup.co.nz

Dear Mr Bowen,

PROPOSED [REDACTED] HOTEL, MORAY PLACE, DUNEDIN

Thank you for approaching the Dunedin Dark Skies Group for comment on the proposed hotel development.

From our point of view, the proposed site is in an area already affected by substantial amounts of light pollution. Emphasis should therefore be placed on

- a) avoiding any light spill which may directly affect neighbouring properties, or any other properties with a direct line of sight, and
- b) avoiding any upward light spill, which may affect areas beyond the immediate neighbourhood. Ideally, the proposed hotel will not contribute to the overall amount of sky glow above the city at all. It is that sky glow that affects distant and more sensitive areas, so any contribution to it should be avoided.

The DDSG has developed some objectives, which, if followed, will achieve the desired outcomes to an acceptable degree. It has also provided its recommendations to the Dark Skies Advisory Panel, which has been set up to aid Council decisions on proposals that may affect the lighting situation in the city. With respect to a hotel development, we may summarise our recommendations as follows:

1. Light only as deemed necessary and review lighting decisions as new evidence, technology and changes to community values become available.
2. Downward total light flux must be minimised; horizontal and above light flux must be avoided.
3. Amount of blue light entering residential properties must not exceed current levels.
4. Total emitted amount of blue light must be minimized.
5. The warmest possible luminaires (in terms of colour temperature) should be the standard.

We would be happy to provide further information on how the above may be achieved in practice, e.g. current research into available luminaires, LED technology and the effects of short wavelength visible light on humans and the natural environment.

We would like to encourage a vibrant city centre and as such do not oppose attractive lighting of significant buildings in the CBD. We'd like to see such lighting being done in a smart, healthy and environmentally friendly fashion. We note that doing so presents a marketing opportunity in its own right.

May we also suggest a look at similar developments in certified Dark Sky communities such as Flagstaff, Arizona. Those communities' efforts to protect the night sky have helped shape our own objectives, and advice from the people involved has been valuable.

I trust the above is what you require at this stage, however we are more than happy to elaborate/discuss.

Thank you

Regards



Mirko Harnisch

Dunedin Dark Skies Group | 021 2929044 | facebook.com/dunedindarkskies | nightskycity.nz



OPERATIONAL PLANNING DEPARTMENT DUNEDIN

85 Castle Street, P.O. Box 341, Dunedin New Zealand
Telephone (03) 467 7554. Facsimile (03) 467 7557

24th December 2016

Re: Proposed [REDACTED] Hotel
Moray Place Dunedin

To Whom It May Concern:

It is pleasing to get the opportunity to be involved in the early stages of this project. Part of my role in the NZ Fire Service are the approvals of Fire Alarm Panels and Fire Service Inlets (FSI) in the East Otago area.

The NZFS prefer to locate the Indicating Unit (which may or may not be the Main panel but a Mimic or Repeater Panel) at our 'Attendance Point'. Which is usually near the Main Entrance to a building and on the ground floor in most cases. With the FSI to be in the same area, alongside the panel where possible.

This can often be a problem to some architects, who don't always see this equipment as aesthetically pleasing at the front of a building but it is essential that we have good access to the Panel and FSI on arrival at an incident.

It is a little difficult for me to pin point the best location for these services with the drawings supplied, without some detail of the area concerned. Which is quite understandable for this stage of the planning. But I am sure we will be able to work together to find the best location as the project develops.

If we have trouble finding a suitable wall to house the Panel and FSI, it is possible to look at a "Pillar-Box" style which can be positioned on its own and away from the building but still at our attendance point and near the main entrance. A similar Pillar-box style is directly across the road at the Dunedin Town Hall.

I will not approve the FSI on the wall of a vehicle entrance/exit driveway due to the likelihood of our fire hose being run over.

Access to any Fire Service Inlet, Outlet, Sprinkler Room and or Panel housing is to be with an approved Triangular Key or a keyed alike Lockwood 197 lock or Padlock.

I do have other suggestions for locating these services which will assist the building owners/occupiers and the NZFS, which I would be only too happy to discuss as the project progresses so please don't hesitate to contact me regarding any of the Fire Alarm and FSI locations.

Regards

John Griffiths
Operational Planning
Dunedin
NZFS

From: Jane O'Dea [mailto:JODea@heritage.org.nz]
Sent: Thursday, 22 December 2016 4:11 p.m.
To: Kurt Bowen <Kurt.Bowen@ppgroup.co.nz>
Cc: Matthew Schmidt <MSchmidt@heritage.org.nz>; Jonathan Howard <JHoward@heritage.org.nz>
Subject: HNZPT comments on [REDACTED] hotel proposal, Dunedin

Hi Kurt

Thanks for providing the information about the [REDACTED] hotel proposed for the site of the Filleul St car park. We understand that the information provided is confidential at this stage.

At this stage our comments are limited to the archaeology. We would like to await the additional information that is being commissioned eg. shading diagrams etc before providing any other feedback. Once additional information comes to hand we would be happy to view this and give you more of an idea what our involvement might be in the resource consent process and any views in relation to this.

In terms of the archaeology under the Heritage New Zealand Pouhere Taonga Act 2014, our initial advice is as follows:

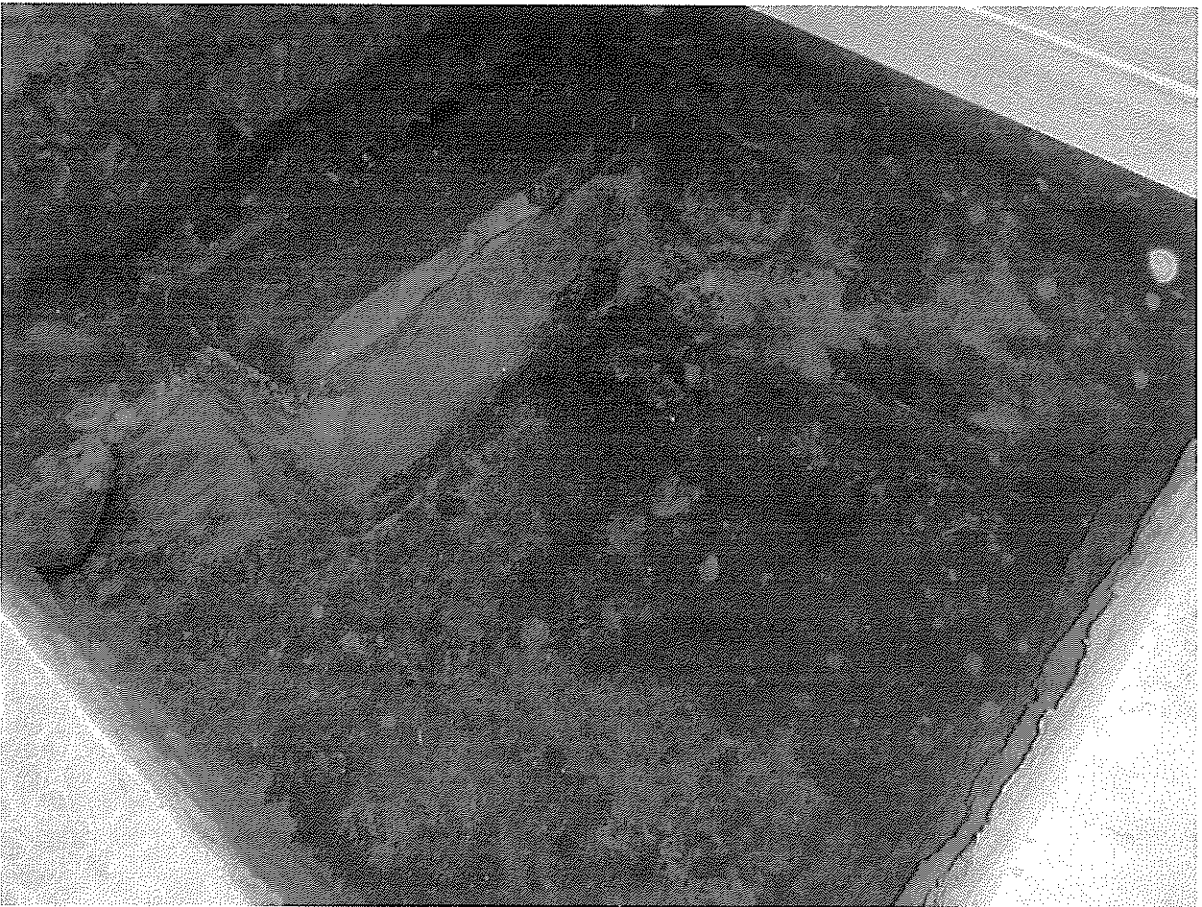
- Attached - 93 Filleul Street bores report which confirms archaeology on the property.
- A full archaeological assessment and an archaeological authority under the Heritage New Zealand Pouhere Taonga Act 2014 is required for the project.
- Layers of clay over earlier archaeological deposits are not unusual. So at 93 Filleul Street, there will be deep archaeological deposits, possibly a well, and the engineer should consider a natural spring and human introduced clean clay fill layering.
- Attached - photos of cobblestone faced well found under the 1928-1930 concrete floor of the Town Hall. Probably 1860s.
- Attached photos of the timber faced wells found under the former Moray Place Post Office concrete floor. One timber lined structure was a cistern where water would be brought up from the well and stored. These structures date from the 1860s to early 1870s.

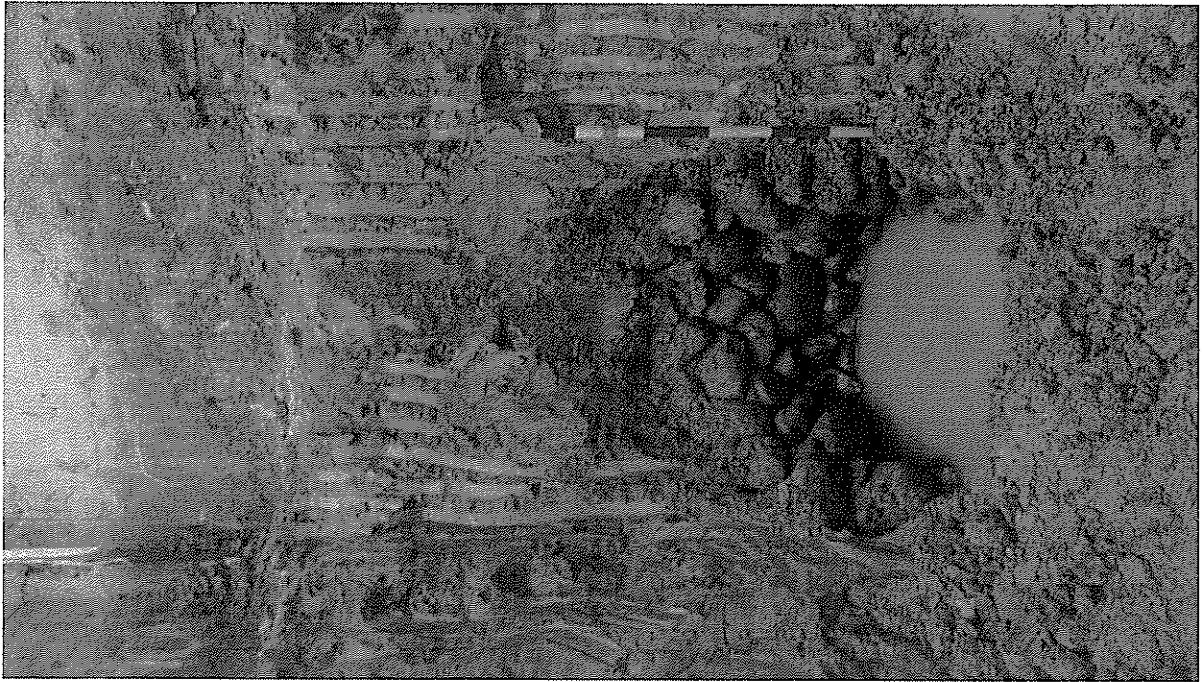
Any questions please don't hesitate to get in touch with Matt, Jonathan or myself.

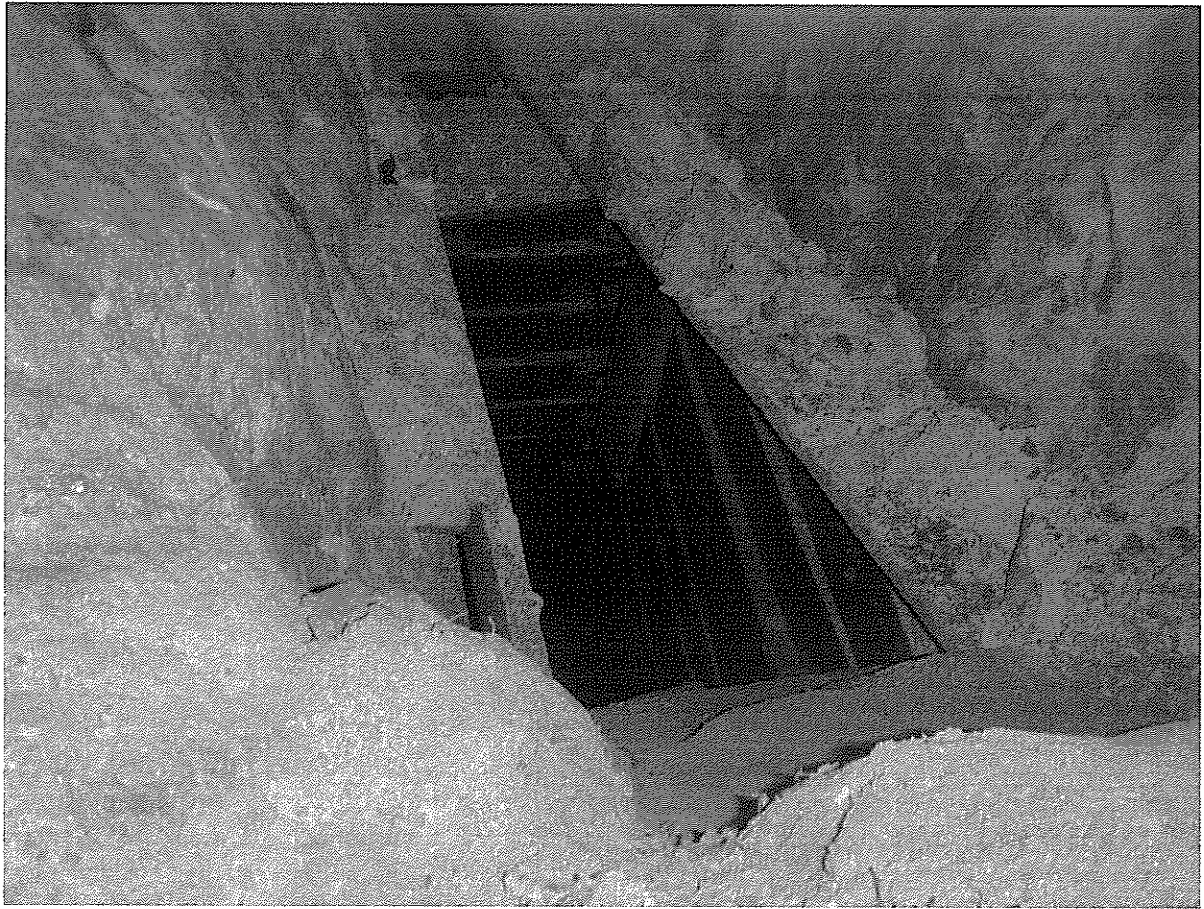
Have a good Christmas

Regards
Jane

Jane O'Dea | Heritage Advisor (Planning) | Heritage New Zealand *Pouhere Taonga* | PO Box 5467, Dunedin 9058 | Ph: (64 3) 477 9871 | DDI: 470 2366 | Visit www.heritage.org.nz and learn more about New Zealand's heritage places









New Zealand

Heritage Properties Ltd

Investing In Our Heritage



DCC Filleul Street Carpark

Report on the archaeological monitoring of
core sampling

Report Prepared for the Dunedin City Council

By Julia Lewis

08/11/16

New Zealand Heritage Properties Ltd

Salisbury House | 106 Bond Street | Dunedin

Ph (03) 4773933 | Fax (03) 477 3928

info@heritageproperties.co.nz

www.heritageproperties.co.nz

DCC Filleul Street Carpark

Report on the archaeological monitoring of core sampling

Report Prepared By: Julia Lewis
New Zealand Heritage Properties Ltd
Salisbury House | 106 Bond Street | Dunedin
T 03 477 3933 | F 03 477 3928 | E info@heritageproperties.co.nz
www.heritageproperties.co.nz

Project Details

Client	Dunedin City Council
Client Contact	Kevin Taylor
Client Address	50 The Octagon, Dunedin; P O Box 5045, Moray Place, Dunedin 9058, New Zealand
Report Authors	Julia Lewis
Reviewed By	Hayden Cawte
Report Submitted	08/11/16
Report Submitted To	Dunedin City Council, Heritage New Zealand Pouhere Toanga

Ownership and Disclaimer

This report has been prepared for the Dunedin City Council in relation to a specific work program at the Dunedin City Councils Filleul Street car park. This report and the information contained herein is subject to copyright. Ownership of the primary materials created in the course of the research remains the property of the named researchers and New Zealand Heritage Properties Ltd. This report remains the property of the Dunedin City Council and New Zealand Heritage Properties Ltd.

The professional advice and opinions contained in this report are those of the consultants, New Zealand Heritage Properties Ltd, and do not represent the opinions and policies of any third party. The professional advice and opinions contained in this report do not constitute legal advice.

Table of Contents

Project Details	ii
Ownership and Disclaimer	ii
Table of Contents	iii
List of Figures	iii
1 Introduction.....	1
1.1 Project Background	1
1.2 Historical Background.....	2
2 Description of Archaeological Work Undertaken	4
3 Results	4
3.1 Core Sample 1.....	4
3.2 Core Sample 2.....	4
3.3 Core Sample 3.....	4
3.4 Core Sample 4.....	5
3.5 Core Sample 5.....	5
3.6 Core Sample 6.....	6
3.7 Core Sample 7.....	6
3.8 Core Sample 8.....	6
4 Conclusions and recommendations	6
5 References	8

List of Figures

Figure 1-1. Map of carpark showing drill locations (DL) marked by orange triangles and relevant property boundaries outlined in red	1
Figure 1-2. Section of 1874 photograph looking north west showing area of car park with numerous structures on it	2
Figure 1-3. Dunedin Drainage and Sewerage Board plans sheet 32 overlaid with drill locations (blue triangles) and relevant modern property boundaries (red)	3
Figure 3-1. Photo of brick fragments identified in sample 3	4
Figure 3-2. Photo of brick rubble identified in sample 4.....	5
Figure 3-3. Photo of ceramic fragments identified in sample 5.....	5
Figure 3-4. Photo of brick rubble identified in sample 6.....	6

1 Introduction

New Zealand Heritage Properties Ltd (NZHP) has been commissioned by Kevin Taylor on behalf of the Dunedin City Council to monitor the drilling of eight core samples in the council owned car parks on York Place and the corner of Filleul Street and Moray Place. The specific land parcels where drilling took place are legally known as Lots 1 and 2 DP 15383, Lot 2 DP 334892, and PT Sections 7, 17, and 18 BLK XVII Town of Dunedin. Figure 1-1 shows the locations of the core samples.



Figure 1-1. Map of carpark showing drill locations (DL) marked by orange triangles and relevant property boundaries outlined in red

1.1 Project Background

The Dunedin City Council plans to sell the car park to developers and are conducting geotechnical investigations to prepare for the sale. The investigations consist of the collection of 8 core samples across the car park space.

1.2 Historical Background

NZHP conducted a brief investigation of the area to determine whether there is likely to be archaeological material on the site. This investigation consisted of the analysis of historic maps and plans that date to the turn of the century and pre-1900 photographs of the area. In depth research into the history of the site was not carried out as part of this report.

The York Place and Filleul Street car parks are located north west of the Octagon in Dunedin's city centre. Prior to being car parks the area had several houses and commercial buildings located on it. In 1874 the Burton Brothers photography studio took panorama photographs of the city from the spire of the First Church and an image in this series (Figure 1-2) shows several buildings in the location of the aforementioned car parks.



Figure 1-2. Section of 1874 photograph looking north west showing area of car park with numerous structures on it¹

The Dunedin City drainage and sewerage board maps from the turn of the century provide a plan of the area at this time showing a number of brick and wooden buildings, outbuildings, walls, and staircases (Dunedin Drainage and Sewerage Board, 1903).

¹ Burton Brothers Studio. (1874). Dunedin From First Church Spire [Photograph]. Dunedin: Te Papa (C.018411).

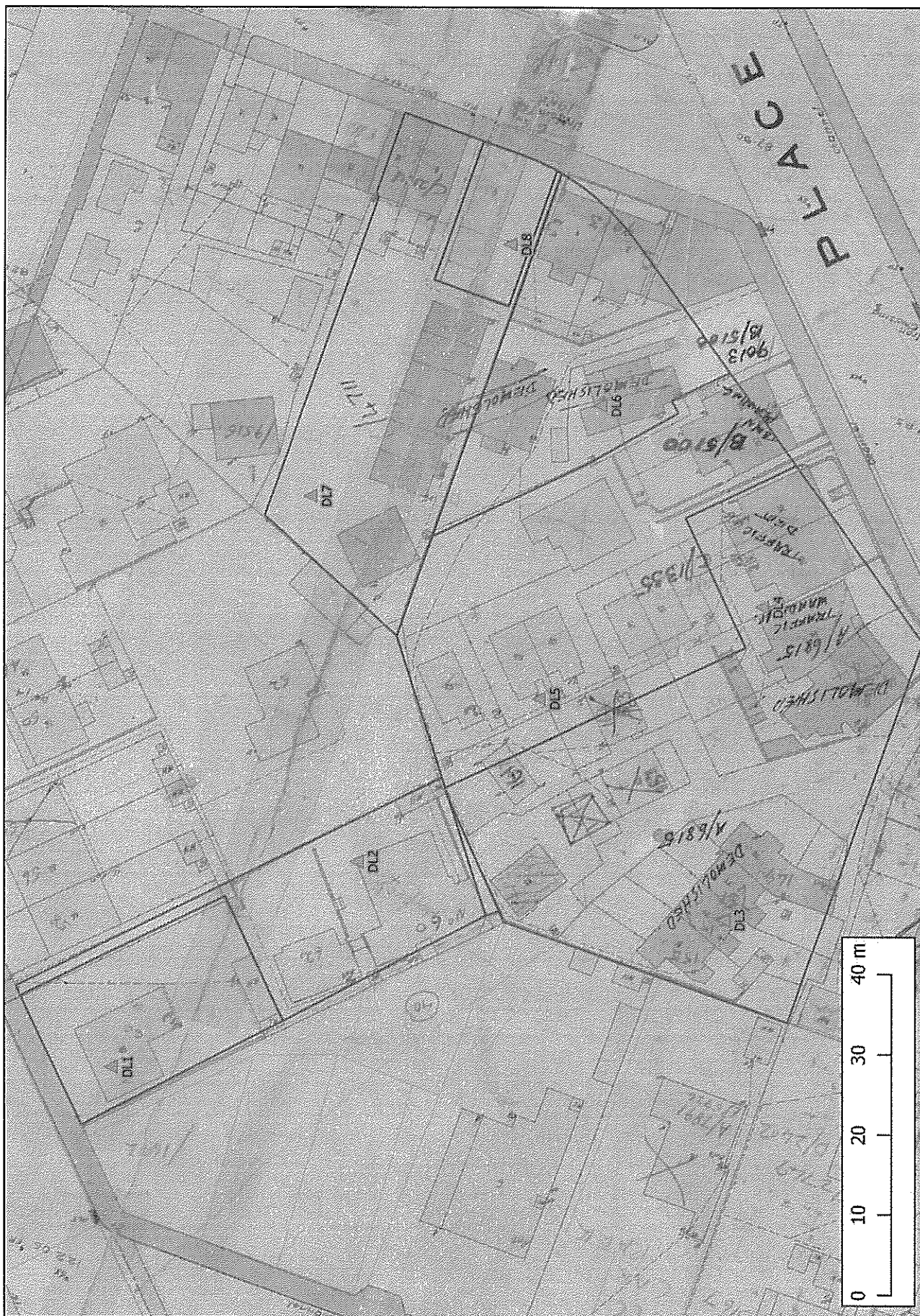


Figure 1-3. Dunedin Drainage and Sewerage Board plans sheet 32 overlaid with drill locations (blue triangles) and relevant modern property boundaries (red)

2 Description of Archaeological Work Undertaken

NZHP monitored the drilling of seven core samples between the 18th and 27th of October 2016. NZHP recorded the stratigraphy of the core samples once they had been extracted. When archaeological deposits were identified, they were recorded but left *in situ*.

3 Results

3.1 Core Sample 1

Core sample 1 is in the York Place car park in the north-west corner of PT Section 7 BLK XVII Town of Dunedin. No archaeological materials were identified in this sample. The stratigraphy of sample 1 consists of the aggregate carpark surface (50mm), a medium brown silt loam (2400) which transitions to a darker brown silt loam (200mm), and blue grey clay (at least 4000mm).

3.2 Core Sample 2

Core sample 2 is in the York Place car park in the south-east corner of PT Section 7 BLK XVII Town of Dunedin. No archaeological materials were identified in this sample. The stratigraphy of sample 2 consisted of the aggregate surface of the car park (50mm), Orange yellow clay (500mm), blue grey clay (350mm), and orange brown clay.

3.3 Core Sample 3

Core sample 3 is located at the top of the Filleul Street car park toward the western corner of Lot 1 DP 15383. An archaeological context was identified 2880mm below the surface in this sample. The stratigraphy of sample 3 consisted of the asphalt car park surface (50mm), fine aggregate fill (100mm), orange yellow clay (2370mm), brown silt loam mixed with brick fragments (70mm), and brown silt loam.



Figure 3-1. Photo of brick fragments identified in sample 3

3.4 Core Sample 4

Core sample 4 is located on the grassy bank to the south of the Filleul Street car park toward the eastern extent of Lot 1 DP 15383. An archaeological context was identified 300mm below the surface in this sample. The stratigraphy of sample consists of the topsoil (100mm), a lighter brown subsoil (200mm), brick rubble (50mm), and orange yellow clay.

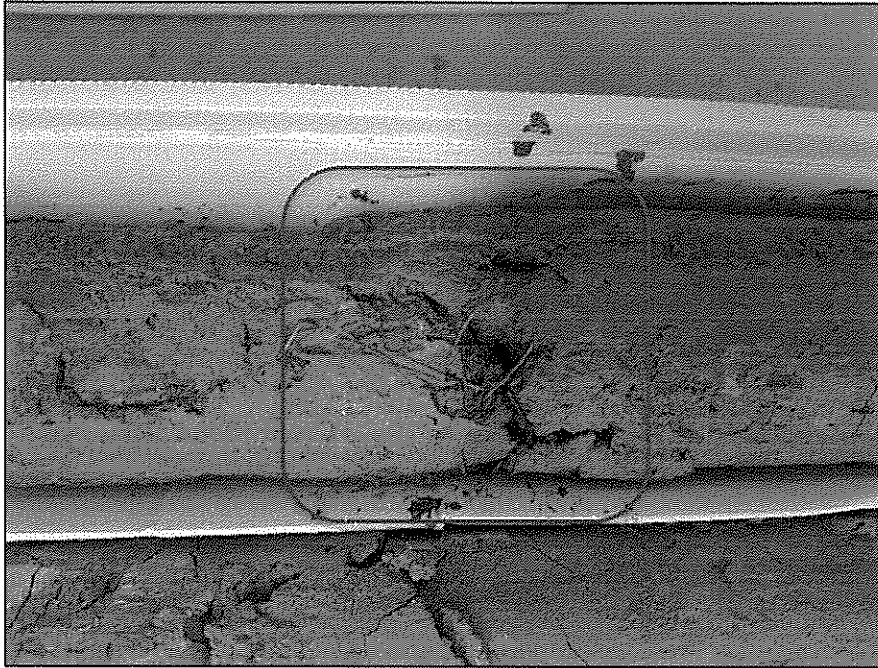


Figure 3-2. Photo of brick rubble identified in sample 4

3.5 Core Sample 5

Core sample 5 is in the Filleul Street car park in the north-west corner of Lot 2 DP 15383. Fragments of ceramic were identified 290mm below the surface. The stratigraphy of the sample consists of the asphalt car park surface (50mm), fine aggregate fill (240mm), fragments of ceramic in brown silt loam (60mm), and orange yellow clay .



Figure 3-3. Photo of ceramic fragments identified in sample 5

3.6 Core Sample 6

Core sample 6 is in the Filleul Street car park in Part Section 17 Block XVII TN of Dunedin. An archaeological context was identified 150mm below the car park surface in this sample. The stratigraphy of the sample consists of the asphalt car park surface (50mm), dark brown silt loam (400mm) with degraded brick rubble inclusions (100mm thick at a depth of 150mm), mottled brown yellow clay (200mm), and yellow clay.

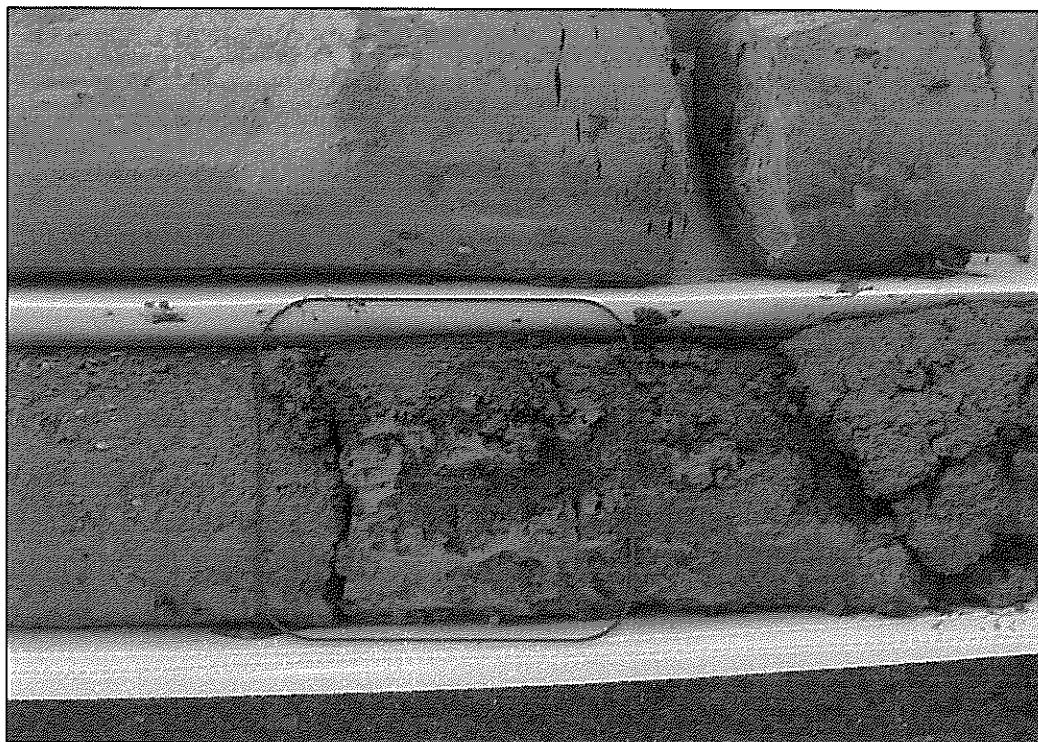


Figure 3-4. Photo of brick rubble identified in sample 6

3.7 Core Sample 7

Core sample 7 is in the Filleul Street car park in the north-west corner of Lot 2 DP 334892. During the works the decision was made to cancel this sample.

3.8 Core Sample 8

Core sample 8 is in the Filleul Street car park roughly central and close to the southern boundary of Part Section 16 Block XVII TN of Dunedin. Several cultural fill layers over a depth of 1260mm were identified in this sample some of which may be archaeological. The stratigraphy of the sample consists of the asphalt carpark surface (50mm), fine aggregate fill (200mm), very fine aggregate mixed with dark brown silt (460mm), coarse aggregate and dark brown silt (400mm), fine aggregate in grey brown silt (200mm), blue grey clay (200mm), and orange yellow clay.

4 Conclusions and recommendations

NZHP monitored the core sampling in the DCC Filleul Street and York Place car parks to identify the spatial patterning of archaeological material present across the site. Archaeological material was identified in four of the samples (3, 4, 5, and 6) not including the fill layers of sample 8. This indicates that the carpark has capped the previous occupation layers of the area potentially preserving the archaeology in excellent condition.

The monitoring of the core sampling shows the existence of archaeological contexts across the site. Should development proceed, it is recommended that a full archaeological assessment be undertaken in light of development plans, in order to establish the nature and extent of effects. This assessment will identify, in greater

detail, the likely nature of these archaeological contexts and further establish their distribution. An archaeological authority under section 44 of the Heritage New Zealand Pouhere Taonga Act (2014) should be applied for from Heritage New Zealand before development proceeds. The results of the core sampling suggest that archaeological monitoring during development is likely to be a condition of this authority.

5 References

Dunedin Drainage and Sewerage Board. (1903). Dunedin Drainage and Sewerage Board Plans. Map Sheets No. S1-S90, 101-132 [Map]. misc, Dunedin: City of Dunedin.

26 January 2017

Paterson Pitts Group
P O Box 5933
DUNEDIN 9058

Attn: Kurt Bowen

Preliminary Statement – [REDACTED] Hotel
Proposed Hotel – Moray Place, Dunedin

In regards to information received 16 December 2016. We have reviewed the information supplied to date, which at this stage of the project is limited. Our preliminary comments are as follows:

For Te Rūnanga o Ōtākou the issues would most likely focus on:

- Management of excess excavated material.
- Visual Impact.

Te Rūnanga o Ōtākou would request that the following be a condition of the resource consent:

- That the Heritage New Zealand Pouhere Taonga Archaeological Discovery Protocol (attached) should be adhered to.

Te Rūnanga o Ōtākou encourage and support the planting of appropriate native plants that are endemic to this area, in and around the proposed hotel. One plant suggested is the Kowhai.

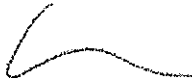
Māori History

Moray Place is located at the edge of Toitu Stream which ran down the hills into McLaggan Street, crossed underneath the present day Southern Cross Hotel, then flowed into the harbour, creating the ragged shoreline, shingly beach and shallow estuarine waters that characterised early Dunedin. By 1858, the town development had progressed to the point where the stream could be channelled completely underground and was soon forgotten (Reference: Website: Toitu Museum, Dunedin – Where Dunedin Began).

Please note that this reply is made without prejudice. The Runanga reserves the right to reconsider its position in light of additional information and/or research.

Thank you for seeking our feedback at this early stage and encourage consultation throughout the development of the above proposal.

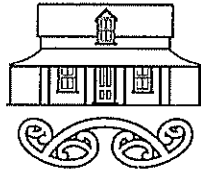
Nahaku noa
na



Chris Rosenbrock
Manager

cc Te Rūnanga o Ōtākou

G:\KTKO\1. RMA\3. Resource Consents\1. Consents and Submissions\2017\Reply Letters\20170126 - 4084-Moray Place, Dn-Paterson Pitts (Pullman)\Hotel.prelim.docx



HERITAGE NEW ZEALAND
POUHERE TAONGA

Heritage New Zealand Pouhere Taonga Archaeological Discovery Protocol

Under the Heritage New Zealand Pouhere Taonga Act (2014) an archaeological site is defined as any place in New Zealand that was associated with human activity that occurred before 1900 and provides or may provide, through investigation by archaeological methods, evidence relating to the history of New Zealand. For pre-contact Maori sites this evidence may be in the form of bones, shells, charcoal, stones etc. In later sites of European/Chinese origin, artefacts such as bottle glass, crockery etc. may be found, or evidence of old foundations, wells, drains or similar structures. Burials/koiwi tangata may be found from any historic period.

In the event that an unidentified archaeological site is located during works, the following applies;

1. Work shall cease immediately at that place and within 20m around the site.
2. The contractor must shut down all machinery, secure the area, and advise the Site Manager.
3. The Site Manager shall secure the site and notify the Heritage New Zealand Regional Archaeologist. Further assessment by an archaeologist may be required.
4. If the site is of Maori origin, the Site Manager shall notify the Heritage New Zealand Regional Archaeologist and the appropriate iwi groups or kaitiaki representative of the discovery and ensure site access to enable appropriate cultural procedures and tikanga to be undertaken, as long as all statutory requirements under legislation are met (*Heritage New Zealand Pouhere Taonga Act, Protected Objects Act*).
5. If human remains (koiwi tangata) are uncovered the Site Manager shall advise the Heritage New Zealand Regional Archaeologist, NZ Police and the appropriate iwi groups or kaitiaki representative and the above process under 4 shall apply. Remains are not to be moved until such time as iwi and Heritage New Zealand have responded.
6. Works affecting the archaeological site and any human remains (koiwi tangata) shall not resume until Heritage New Zealand gives written approval for work to continue. Further assessment by an archaeologist may be required.
7. Where iwi so request, any information recorded as the result of the find such as a description of location and content, is to be provided for their records.
8. Heritage New Zealand will determine if an archaeological authority under the *Heritage New Zealand Pouhere Taonga Act 2014* is required for works to continue.

It is an offence under S87 of the *Heritage New Zealand Pouhere Taonga Act 2014* to modify or destroy an archaeological site without an authority from Heritage New Zealand irrespective of

whether the works are permitted or a consent has been issued under the Resource Management Act.

Heritage New Zealand Regional archaeologist contact details:

Dr Matthew Schmidt
Regional Archaeologist Otago/Southland
Heritage New Zealand
PO Box 5467
Dunedin
Ph. +64 3 470 2364, mobile 027 240 8715
Fax. +64 3 4773893
mschmidt@heritage.org.nz