

Dunedin City Council – Land Information Memorandum

Property Address: 231 Stuart Street Dunedin

Prepared for: Dunedin City Council City Property
Prepared on: 09-Sep-2025

Property Details:

Property ID	5026819
Address	231 Stuart Street Dunedin
Parcels	PT SEC 16 BLK XIV SO 14194 TN OF DUNEDIN

Disclaimer:

Issued in accordance with Section 44A of the Local Government Official Information and Meetings Act 1987

Should you require further clarification of any of the information listed in this report, please phone our Customer Services Agency on 03 477 4000.

This Land Information Memoranda (LIM) has been prepared in accordance with Sections 44A, 44B, 44C, and 44D of the Local Government Official Information and Meetings Act 1987. It contains only information obtained from the records held by the Dunedin City Council as at 09-Sep-2025

The Dunedin City Council has not carried out an inspection of the land and/or buildings for the purposes of preparing this LIM. The Dunedin City Council records may not show illegal or unauthorised buildings or works on the land. Accordingly this report may not necessarily reflect the current status of the property. Examples of situations which affect the property but are not recorded in this report include: unauthorised work not known to Council and breaches of Consents or Licences that are not the subject of a formal Requisition or Notice. The applicant is solely responsible for ensuring that the land or any building or works on the land is suitable for a particular purpose. The applicant should check the Certificate(s) of Title as this report may not include information that is registered on the Certificate(s) of title. The Certificate(s) of title may record further information or obligations relating to the land.

Further information about this property may be available from other agencies such as the Otago Regional Council, Nova Gas, Telecom New Zealand (Chorus) or Delta Utility Services Limited.

Contents

Dunedin City Council – Land Information Memorandum	1
Property Address: 231 Stuart Street Dunedin.....	1
Prepared for: Dunedin City Council City Property.....	1
Prepared on: 09-Sep-2025.....	1
Property Details:.....	1
Disclaimer:	1
s44A(2)(a) Information identifying any special feature or characteristics of the land	4
District Plan Hazard Information	4
Other Natural Hazard Information.....	4
Flood Hazards.....	4
Land Stability Hazards	4
Coastal Hazards	4
Seismic Hazards.....	4
Other Natural Hazards.....	4
Otago Regional Council Hazard Information.....	4
Contaminated Site, Hazardous Substances and Dangerous Goods	4
Contaminated Site Information.....	4
Historic Dangerous Goods Licence(s)	4
Hazardous Substances.....	5
s44A(2)(b) Information on private and public stormwater and sewerage drains.....	5
Drainage	5
Foul Sewer and Waste Water.....	5
Public Sewer Sheets.....	6
Dunedin City Council Private Drainage plans incomplete	6
s44A(2)(bb) Information Council holds regarding drinking water supply to the land	6
Water Supply	6
s44A(2)(c) Information relating to any rates owing in relation to the land	8
Rates Details	8
Rates Assessment Details	8
s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land	9
(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and.....	9
(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004	9
Building and Drainage Consents.....	9
Building and Drainage Permits	10
Building Notices.....	11
Resource Consents	12
Consent Notices.....	12
Alcohol Licensing	12
Health Licensing.....	12
s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006	12

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use	13
District Plan	13
District Plan Map	13
s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation.....	14
s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004.....	14
Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.	14
Building Information.....	14
Drainage	14
Minimum Floor Levels	15
Planning.....	15
Resource Consents within 50m of 231 Stuart Street Dunedin.....	15
3 Waters	20
Information Regarding Watercourses	20
Transport	20
Glossary of Terms and Abbreviations.....	22
Consent, Permit, Licence & Complaint types	22
Terms used in Permits & Consents.....	22
General terms.....	23
Appendices	24

s44A(2)(a) Information identifying any special feature or characteristics of the land

District Plan Hazard Information

Refer to District Plan for Natural Hazards Information section: s44A (2)(f)

Other Natural Hazard Information

Flood Hazards

No information.

Land Stability Hazards

No information.

Coastal Hazards

No information.

Seismic Hazards

No information.

Other Natural Hazards

No information.

Otago Regional Council Hazard Information

The Regional Council is required to provide information that it holds on Natural Hazards:

<https://www.orc.govt.nz/managing-our-environment/natural-hazards/otago-natural-hazards-database>.

Contaminated Site, Hazardous Substances and Dangerous Goods

Contaminated Site Information

No information.

Historic Dangerous Goods Licence(s)

No information.

Hazardous Substances

No information.

WARNING – Change in legislation and management of hazardous substances

On 1 April 2004, all Dunedin City Council Dangerous Goods Licences expired. From this date they became the responsibility of the Environmental Protection Authority (EPA) under the Hazardous Substances and New Organisms Act 1996.

All new licences for hazardous substances were issued by independent Test Certifiers approved by the EPA. The Council no longer holds current information on the use of hazardous substances at these premises and hazardous substances may be present without the Council's knowledge.

The Council was advised by the EPA in 2016 that Worksafe had taken over responsibility for managing Location Test certificates under the Hazardous Substances and New Organisms Act 1996. The EPA no longer hold any information in relation to Location Test Certificates. If you have any questions, please contact Worksafe.

s44A(2)(b) Information on private and public stormwater and sewerage drains

Drainage

[Drainage plans on file are indicative only.](#)

Obtaining your own independent review may be required before commencing drainage works.

Foul Sewer and Waste Water

Drainage Reticulation Plans

A copy of the Dunedin City Council's drainage infrastructure in the vicinity of the subject property is attached. Public foul sewers are shown in red and stormwater sewers in green. All public drainage services are available to receive connections from the property and limited flows of stormwater may also be discharged to the street channel or an approved outfall.

Urban Stormwater Catchment

This property is located within an urban stormwater catchment that has been modelled in a study to determine the potential effects of land use and climate change that may occur over the next 50 years. This indicates that some areas of the catchment might be subject to a potential flooding risk or surface water ponding during particular rainfall events.

These effects are outlined in the Integrated Catchment Management Plans (ICMPs) that are available on the Council website. The ICMPs show the areas in the catchment that have been modelled which might be susceptible to a higher risk of flooding. The ICMPs contain maps that indicate a potential worst case scenario for a 1 in 100 year rainfall event. However, there are a series of maps also available that show modelling results from a range of other scenarios.

While the maps have been produced to help Council manage the reticulation networks, they are not sufficiently detailed to specifically account for individual properties which may be affected by local factors not included in the models.

For further information please contact 3 Waters Services at Dunedin City Council.

Public Sewer Sheets

WARNING. Please note that public sewer reticulation sheets are scaled in either Imperial feet or Metric metres. Please check with the Duty Drainage Inspector if in doubt.

Dunedin City Council Private Drainage plans incomplete

WARNING. The Dunedin City Council's private drainage records (plans) prior to 1 January 1993 may be incomplete or not clearly recorded. Owners therefore are advised to carry out work with due care to avoid damage to any private drain not detailed because of the lack of information filed in the Council's records.

s44A(2)(bb) Information Council holds regarding drinking water supply to the land

Water Supply

Urban water supply area – Connected

This property is connected to the Dunedin City Council's urban (on-demand) water supply. Indicative water pressures are available to view at www.dunedin.govt.nz/water-pressure, and flows available to the property can be provided on request. Any change in water use (e.g. for a new commercial activity) requires a new application to be made to the Council. It is recommended that the applicant check the property for the location and suitability of the water service.

Terms and conditions of supply

All new and existing connections to the Dunedin City Council's water supply network are subject to the terms and conditions of the Dunedin City Council Water Bylaw 2011. The bylaw is available to view at www.dunedin.govt.nz/water-bylaw.

Water pressure

Indicative network water pressure to the property is shown on maps available at www.dunedin.govt.nz/water-pressure. Specific detail is available on request.

Water reticulation maps

A copy of the water reticulation map of Dunedin City Council infrastructure in the vicinity of the subject property is attached. These show the location of the water main in the road. It may or may not show the water service to the property. It is recommended that the applicant check the property

Water meters

Any property with a connection to the Dunedin City Council's water supply, where the supply is used for non-domestic purposes (as defined by the Dunedin City Council Water Bylaw 2011), requires a water meter to be fitted at the point of supply.

Backflow prevention

Any property with a connection to the Dunedin City Council's water supply, where the supply is used for non-domestic purposes (as defined by the Dunedin City Council Water Bylaw 2011), requires a testable backflow prevention device to be fitted at the point of supply. The device must be of a type approved by the Council, and a building consent, or exemption from building consent, is required for its installation. For more information see www.dunedin.govt.nz/backflow.

s44A(2)(c) Information relating to any rates owing in relation to the land

Rates Details

Rates Assessment Details

Rate Account	2026819
Address	231 Stuart Street Dunedin
Valuation Number	27160-19500
Latest Valuation Details	
Capital Value	\$1,170,000
Land Value	\$780,000
Value of Improvements	\$390,000
Area (Hectares)	0.0468HA
Units of Use	1
Current Rates	
Current Rating Year Starting	01-Jul-2025
Dunedin City Council Rates	\$9,983.15
Rates Outstanding for Year	\$7,487.38

Water Assessment Details

Water Account	4001445
Outstanding Balance	\$0.00

For further explanation on the rate account, or to enquire about information referred to on this page, please contact Rates Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

s44A(2)(d) Consents, Certificates, Notices, Orders or Requisitions affecting the land or any buildings on the land

(da) the information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004:s44A and

(2)(e) Information concerning any Certificate issued by a Building Certifier pursuant to the Building Act 1991 or the Building Act 2004

Building and Drainage Consents

The following consents are recorded for this property:

Status Key:	BC	-	Building Consent Issued
	CCC	-	Code Compliance Certificate Issued
Archived	/CCC	-	In accordance with section 93(2)(b) of the Building Act, the consent was reviewed for code compliance after two years. Compliance with the Building Code could not be established and therefore the Code Compliance Certificate has been refused.
Refused		-	Work has not commenced and no extension of time applied for within 12 months of date of consent issue. Consent is of no further effect
Lapsed		-	

NOTE: This is not a comprehensive list of all building consent statuses

[ABA-2005-310127](#) Building Consent - Install Emergency Lighting & Avoidance of Panic System,

No Plan

Lodgement Date	26-Oct-2005
Decision	Granted
Decision Date	28-Oct-2005
Current Status	CCC Issued
Previous Number	ABA53554

(Applications before 2007)

[ABA-1996-335995](#) Building Consent - Dge Repair, No Plan

Dbtr Citiworks

Lodgement Date	26-May-1996
Decision	Granted
Decision Date	06-Jun-1996
Current Status	CCC Issued
Previous Number	ABA961951

(Applications before 2007)

[BCC-2003-349083](#) Building Compliance Certificate - Building Compliance certificate

Lodgement Date	19-Jun-2003
Decision	
Decision Date	
Current Status	Completed
Previous Number	BCC20030031

(Applications before 2007)

Building and Drainage Permits

[H-1930-15073](#) AAB19300429

2419 - Add to and Alter Church (Trinity Wesleyan Church). The permit was lodged on 27-Mar-1930.

[H-1943-25125](#) AAB19430263

960 - Repair Parapets, No Plan (Trinity Wesleyan Church). The permit was lodged on 13-May-1943.

[H-1960-54713](#) AAB19600841

5393 - New Toilet Block (Trinity Wesleyan Church). The permit was lodged on 17-Nov-1960.

[H-1965-63317](#) AAB19650655

13878 - Strengthen and Repair Church Exterior (Trinity Wesleyan Church). The permit was lodged on 18-Oct-1965.

[H-1966-64924](#) AAB19660661

15195 - Strengthen Floor (Trinity Wesleyan Church) *supplementary to 13878*. The permit was lodged on 01-Jul-1966.

[H-1966-64925](#) AAB19660662

16083 - Alter Interior (Trinity Wesleyan Church) *supplementary to permit 13878*. The permit was lodged on 21-Dec-1966.

[H-1978-85133](#) AAB19780625

5968 - Alter Church to Theatre (Fortune Theatre). The permit was lodged on 02-Feb-1978.

[H-1978-85134](#) AAB19780626

6474 - Alter Church to Theatre Stage II (Fortune Theatre). The permit was lodged on 21-Jun-1978.

[H-1979-86633](#) AAB19790650

7454 - Alter Staff Toilets and Backstage Area (Fortune Theatre). The permit was lodged on 22-Feb-1979.

[H-1980-88232](#) AAB19800727

8984 - Reinstate Fire Damage, No Plan (Fortune Theatre). The permit was lodged on 05-Feb-1980.

[H-1910-121500](#) AAD19101109

6057 - Plumbing and Drainage (Trinity Wesleyan Church). The permit was lodged on 17-Feb-1910.

[H-1910-121501](#) AAD19101110

6133 - Plumbing, No Plan (Trinity Wesleyan Church). The permit was lodged on 01-Jan-1910.

[H-1918-134669](#) AAD19180458

A13403 - Stormwater to Stormwater Sewer (line of drain in church uncertain), No Plan (Trinity Wesleyan Church). The permit was lodged on 01-Jan-1918.

[H-1918-134697](#) AAD19180487

A12683 - Drainage (Trinity Wesleyan Church). The permit was lodged on 10-Jan-1918.

[H-1942-158900](#) AAD19420561

D8466 - Stormwater Drain and Boiler Tube, No Plan (Trinity Wesleyan Church). The permit was lodged on 01-Jan-1942.

[H-1947-163595](#) AAD19471206

E3256 - Repair Stormwater Drain, No Plan (Trinity Wesleyan Church). The permit was lodged on 01-Jan-1947.

[H-1960-181918](#) AAD19601591

G3717 - Plumbing and Drainage Alterations (Trinity Wesleyan Church). The permit was lodged on 17-Nov-1960.

[H-1973-202539](#) AAD19731887

J1568 - Two Boiler Tubes and Offset Two Boundary Traps, No Plan. The permit was lodged on 01-Jan-1973.

[H-1978-210267](#) AAD19781457

J8977 - Plumbing and Drainage Alterations (Fortune Theatre). The permit was lodged on 30-Mar-1978.

[H-1979-211630](#) AAD19791350

K256 - Alter Plumbing and Drainage (Methodist Trust). The permit was lodged on 22-Mar-1979.

[H-1979-211631](#) AAD19791351

K305 - Footpath Opening, No Plan (Fortune Theatre). The permit was lodged on 01-Jan-1979.

[H-1979-211632](#) AAD19791352

K472 - Connect Stormwater for DCC Works, No Plan. The permit was lodged on 01-Jan-1979.

[H-1992-234494](#) AAD19921749

M2667 - New Plumbing, New Plumbing, No Plan (Fortune Theatre). The permit was lodged on 01-Jan-1992.

Earthquake Prone Building

The following information is recorded for this property:

Earthquake Prone Status	Not Earthquake Prone
Assessment Due Date	
Extension Granted	
Extension Description	
Assessment Status	Initial Evaluation
Assessment Result (%)	67
Earthquake Rating Category	
EPB Notice Issued	

If Earthquake Prone status is set to EPB Methodology, it has been assessed under the Building Amendment Act 2016. This status will remain in place under the Building Amendment Act 2016.

Otherwise, the building was identified as potentially earthquake prone under the Dunedin City Council Earthquake prone buildings policy. This work predates the Building (earthquake-prone buildings) Amendment Act 2016. New or additional information may be requested to establish whether or not the building is deemed earthquake prone under the current legislation.

Information regarding managing earthquake-prone buildings is available on the Ministry of Business, Innovation and Employment's web site <https://www.building.govt.nz/managing-buildings/managing-earthquake-prone-buildings/>

For further information refer to the Dunedin City Council Earthquake Prone Buildings information on the website: <https://www.dunedin.govt.nz/services/building-services/earthquake-prone-buildings>

Building Notices

Notice To Fix

The following is a list of Notices To Fix for this property.

Notice Number	NTF-2015-137
Status	Resolved
Description	Non-compliance with sections 106(2)(b)(i)(ii) & 2A of the Building Act 2004 in that the owner of the building has not applied to the Dunedin City Council to amend the compliance schedule for the Building Warrant of Fitness WOF-300237.

Building Warrant of Fitness

The following Warrant(s) of Fitness are recorded for buildings on this property.

Warrant Number	WOF-300237
Status	Current WOF
Issue Date	08-Mar-1994

Resource Consents

The following Resource Consent(s) are recorded for this property:

[POL-2003-350148](#) - Planning Other Legislation

Description	PLANNING CERTIFICATE FOR A LIQUOR LICENCE
Lodgement Date	23-Jun-2003
Decision	Granted
Decision Date	03-Jul-2003
Current Status	Consent Issued

Consent Notices

There are no Consent Notices recorded for this property. It is recommended that the applicant check the Record of Title for any notices or covenants that may affect the property.

Alcohol Licensing

There are no records of any Alcohol Licences for this property.

Health Licensing

There are no records of any Health Licences for this property.

s44A(2)(ea) Information notified under Section 124 of the Weathertight Homes Resolution Services Act 2006

No information.

s44A (2)(f) Information relating to the use to which the land may be put and any conditions attached to that use

District Plan

The information on district plan requirements is correct at the date this LIM is issued. Note that the Dunedin City Second Generation District Plan (“The 2GP”) is subject to change at any time. To check whether any changes have occurred since the date this LIM was issued, consult the information and relevant planning maps in the 2GP, which can be found on our website at <https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan> as well as at all Dunedin City Council service centres and libraries.

SECOND GENERATION DISTRICT PLAN INFORMATION

Zoning

- Central Business District (refer Section 18, Commercial and Mixed Use)

Scheduled Items

- Heritage Buildings and Structures
 - Type: Heritage Building
 - Plan ID: B574
 - Name: Fortune Theatre
 - Address: 231 Stuart Street Dunedin
 - Protection Required: Entire external building envelope
 - Heritage New Zealand Category: 1

Overlay Zones

- Heritage Precinct Overlay Zone
 - Type: Commercial
 - Name: Moray Place - Dowling Street

Mapped Areas

- Archaeological Alert Layer
- Pedestrian Street Frontage (check 2GP maps to see which frontages are affected)
 - Type: Secondary Frontage
- Road Classification Hierarchy (main roads within 30m of site)
 - Moray Pl is a Commercial Centre road
 - Stuart St is a Commercial Centre road

District Plan Map

The District Plan map is available [online here](#). Instructions on how to use the map are [available here](#).

You can also access the District Plan map and instructions by visiting the Dunedin City Council 2GP Website at:

<https://www.dunedin.govt.nz/council/district-plan/2nd-generation-district-plan>

s44A(2)(g) Information regarding the land which has been notified to Council by another statutory organisation

No information.

s44A(2)(h) Information regarding the land which has been notified to Council by any network utility operator pursuant to the Building Act 1991 or Building Act 2004

No information.

Section 44A(3) Information concerning the land as the authority considers, at its discretion, to be relevant.

Building Information

Drainage

Form 5 (building consent) copy

This property contains building consent application/s where a copy of the building consent (Form 5) is not able to be provided.

This may be due to the age of the consent and/or processes that were in place at the time.

Foul Sewer and Waste Water

Trade waste

Any non-residential premise which discharges liquid commercial or industrial waste into the Dunedin City Council sewerage system must meet the requirements of the Dunedin City Council Trade Waste Bylaw 2008, and may require a Trade Waste Consent.

Grease Traps

Any food business or premises engaged in the cooking, preparation or sale of food (e.g. restaurants, takeaways, hospitals, hotels, bakeries, butcheries and supermarkets) will be required to install and regularly maintain a system to remove fats, oils and greases from the wastewater discharged from the premises.

For more information on the Council's trade waste regulations and any site-specific conditions which may apply, contact the Dunedin City Council on 477 4000.

Minimum Floor Levels

Clause E1.3.2 of the New Zealand Building Code requires that surface water, resulting from an event having a 2% probability of occurring annually, shall not enter buildings. This requirement applies to Housing, Communal Housing, Communal Residential and Communal non-residential buildings. For guidance when establishing minimum floor levels please refer to : <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels> and for links to specific areas: <https://www.dunedin.govt.nz/services/building-services/minimum-floor-levels/mfl-guidance>

For further explanation on the current status of any consent, or to enquire about information referred to on this page, please contact Building Control Staff between 8:30am and 5:00pm weekdays at the enquiries counter on the Ground floor of the Civic Centre, 50 The Octagon, Dunedin, or by phoning 477 4000.

Planning

Resource Consents within 50m of 231 Stuart Street Dunedin

5026455 228 Stuart Street Dunedin

[LUC-2023-382](#) Land Use Consent alterations to St Paul's Cathedral; placement of shipping container housing boiler in the church grounds; and works within the dripline of scheduled trees T1052 & 1053. The outcome was Granted on 09/02/2024.

[LUC-2022-231](#) Land Use Consent The installation of an electric radiant heating system to the interior of St Paul's Cathedral.. The outcome was Granted on 04/07/2022.

[LUC-2020-29](#) Land Use Consent land use consent for the replacement of skylights in the apse of St Paul's Cathedral. The outcome was Granted on 04/03/2020.

[LUC-2018-450](#) Land Use Consent tree maintenance work on a Significant Tree - T1052 & T1053 - Poplar and Ash. The outcome was Granted on 30/08/2018.

[LUC-2011-403](#) Land Use Consent Maintenance or emergency works on a significant tree - T1052 Poplar. The outcome was Granted on 06/09/2011.

[LUC-2009-123](#) Land Use Consent Tree maintenance or emergency works on a significant tree - T1052 Poplar.. The outcome was Granted on 07/04/2009.

[LUC-2008-572](#) Land Use Consent to undertake alterations to the car parking area and establish eleven commercial car parks at the rear of St Paul's Cathedral, and to authorise the St Paul's Cathedral community support activity following the loss of existing use rights. The outcome was Granted on 11/11/2008.

5026497 199 Stuart Street Dunedin

[LUC-2018-490](#) Land Use Consent land use consent to establish in two terrace houses fronting Stuart Street, residential activity on the ground and first floors not meeting acoustic and ventilation requirements. The outcome was Granted on 18/09/2018.

[RMA-1997-360678](#) Resource Management Act (Historical Data) Planning Certificate for the Sale of Liquor (Other). The outcome was Granted on 26/03/1997.

[POL-2004-350256](#) Planning Other Legislation RESTAURANT LICENCE/ON LICENCE (Other). The outcome was Granted on 29/07/2004.

5026504 217 Stuart Street Dunedin

[RMA-1994-356967](#) Resource Management Act (Historical Data) ER FLAT SINGLE SIDED SIGN ON SITE Ownr:R RANSLEY / App: J RANSLEY C- TOTALLY WIRED (Non-Notified - Non Complying). The outcome was Granted on 20/10/1994.

[5026507 221 Stuart Street Dunedin](#)

[RMA-1996-359748](#) Resource Management Act (Historical Data) ALTER BLDG - N Z HISTORIC BUILDING (Non-Notified - Restricted Discretionary). The outcome was Granted on 01/07/1996.

[5026509 118 Moray Place Dunedin](#)

[RMA-1999-363109](#) Resource Management Act (Historical Data) C.O.C. (SALE OF LIQUOR ACT) Hazards Comments: (Other). The outcome was Granted on 14/07/1999.

[POL-2004-350288](#) Planning Other Legislation PLANNING CERTIFICATE FOR SALE OF LIQUOR (Other). The outcome was Granted on 15/12/2004.

[5026511 112 Moray Place Dunedin](#)

[POL-2008-24](#) Planning Other Legislation right of way. The outcome was Granted on 13/05/2008.

[5026761 1 - 236 Stuart Street Dunedin](#)

[RMA-1996-360249](#) Resource Management Act (Historical Data) ALTER/ADD TO DWELLING (Non-Notified - Restricted Discretionary). The outcome was Granted on 13/11/1996.

[5026763 139 Moray Place Dunedin](#)

[LUC-1985-534463](#) Land Use Consent dispensation from car parking and the corner cut off. The outcome was Granted on 11/10/1985.

[LUC-2008-549](#) Land Use Consent construct additional floor to existing commercial building. The outcome was Granted on 06/11/2008.

[5026780 233 Stuart Street Dunedin](#)

[RMA-2004-368029](#) Resource Management Act (Historical Data) ADDITION TO REAR OF BUILDING INCORPORATING EXISTING TOI LET FACILITIES AND CREATE STORAGE AREA WITH INTERNAL ACCESS TO BUILDING. (Non-Notified - Restricted Discretionary). The outcome was Granted on 28/07/2004.

[5026782 235 Stuart Street Dunedin](#)

[RMA-1988-354583](#) Resource Management Act (Historical Data) ESTABLISH OFFICES AND ASSOCIATED CAR PARKING IN THE RESIDENTIAL 1 ZONE ON LOTS 5 AND 6 DP 7947 (CONSENT REQUIRED AS PART OF DEVELOPMENT FOR GALLAWAY HAGGITT SINCLAIR LAW FIRM) (Notified - Non Complying). The outcome was Granted on 08/03/1989.

[5026784 241 Stuart Street Dunedin](#)

[RMA-1988-354583](#) Resource Management Act (Historical Data) ESTABLISH OFFICES AND ASSOCIATED CAR PARKING IN THE RESIDENTIAL 1 ZONE ON LOTS 5 AND 6 DP 7947 (CONSENT REQUIRED AS PART OF DEVELOPMENT FOR GALLAWAY HAGGITT SINCLAIR LAW FIRM) (Notified - Non Complying). The outcome was Granted on 08/03/1989.

[5026817 97 Moray Place Dunedin](#)

[RMA-1995-358504](#) Resource Management Act (Historical Data) ERECT FOUR SIGNS (Non-Notified Controlled). The outcome was Granted on 14/08/1995.

[5026818 111 Moray Place Dunedin](#)

[RMA-1999-362694](#) Resource Management Act (Historical Data) COMPLIANCE CERTIFICATE UNDER SALE OF LIQUOR ACT (Other). The outcome was Granted on 12/02/1999.

[RMA-1997-361462](#) Resource Management Act (Historical Data) Planning Certificate for the Sale of Liquor Cafe Tangente (Other). The outcome was Granted on 17/11/1997.

[5043542 258 Stuart Street Dunedin](#)

[RMA-2000-364207](#) Resource Management Act (Historical Data) PLACEMENT OF TWO SIGNS ON THE SUBJECT BUILDING (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 09/08/2000.

[5068969 110 Moray Place Dunedin](#)

[POL-2023-38](#) Planning Other Legislation Planning Certificate for the sale of liquor. The outcome was Granted on 27/07/2023.

[POL-2019-36](#) Planning Other Legislation planning certificate for the purpose of sale of liquor. The outcome was Granted on 13/06/2019.

[POL-2016-24](#) Planning Other Legislation planning certificate for the purpose of sale of liquor. The outcome was Granted on 24/06/2016.

[POL-2012-19](#) Planning Other Legislation sale of liquor. The outcome was Granted on 03/04/2012.

[POL-2007-350567](#) Planning Other Legislation planning certificate for the sale of liquor. The outcome was Granted on 26/10/2007.

[RMA-1999-363132](#) Resource Management Act (Historical Data) SALE OF LIQUOR COMPLIANCE CERTIFICATE (Other). The outcome was Granted on 14/07/1999.

[RMA-1996-360475](#) Resource Management Act (Historical Data) Planning Certificate for the Sale of Liquor (Other). The outcome was Granted on 18/12/1996.

[POL-2005-350318](#) Planning Other Legislation planning certificate for a liquor licence (Other). The outcome was Granted on 18/04/2005.

[5069681 258 Stuart Street Dunedin](#)

[RMA-2000-364490](#) Resource Management Act (Historical Data) TO ERECT TWO ILLUMINATED SIGNS (Non-Notified - Restricted Discretionary). The outcome was Granted on 21/12/2000.

[5101644 110 Moray Place Dunedin](#)

[RMA-1999-363132](#) Resource Management Act (Historical Data) SALE OF LIQUOR COMPLIANCE CERTIFICATE (Other). The outcome was Granted on 14/07/1999.

[RMA-1996-360475](#) Resource Management Act (Historical Data) Planning Certificate for the Sale of Liquor (Other). The outcome was Granted on 18/12/1996.

[5101850 97 Moray Place Dunedin](#)

[LUC-2016-13](#) Land Use Consent establish a mural on the northern wall at 97 Moray Place. The outcome was Granted on 22/02/2016.

[RMA-1993-357927](#) Resource Management Act (Historical Data) Subdivision Boundary Adjustment Ownr:YWCA / App: K.G. Harford Private Bag (Non-Notified - Non Complying). The outcome was Granted on 18/08/1993.

[RMA-1994-357084](#) Resource Management Act (Historical Data) DEMOLISH MORAY PL FACADE Ownr:PATRICIA KEEN / App: PATRICIA KEEN 97 MORAY PLACE DUNEDIN (Non-Notified - Non Complying). The outcome was Granted on 23/12/1994.

[RMA-1993-355766](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT SUBDIVISION / App: WORKS CONSULTANCY PRIVATE BAG DN (Non-Notified - Non Complying). This consent has since Lapsed.

[5104358 118 Moray Place Dunedin](#)

[LUC-2020-387](#) Land Use Consent the establishment of residential activity on the ground and first floors not meeting acoustic requirements, and to undertake alterations including earthquake strengthening and energy insulation, including double glazing of the frontage windows. The outcome was Granted on 10/11/2020.

[LUC-2018-490](#) Land Use Consent land use consent to establish in two terrace houses fronting Stuart Street, residential activity on the ground and first floors not meeting acoustic and ventilation requirements. The outcome was Granted on 18/09/2018.

[LUC-2018-236](#) Land Use Consent land use consent to establish in the terrace house fronting Stuart Street a residential activity on the ground and first floors not meeting acoustic and ventilation requirements, and undertake alterations including earthquake strengthening and energy insulation, including double glazing of the frontage windows, and continue the existing non-compliance with verandah and yard requirements. The outcome was Granted on 22/06/2018.

[POL-2015-52](#) Planning Other Legislation planning certificate for the sale of liquor. The outcome was Granted on 01/09/2015.

[POL-2007-350574](#) Planning Other Legislation liquor certificate for the French Cafe. The outcome was Granted on 19/11/2007.

[RMA-1999-363109](#) Resource Management Act (Historical Data) C.O.C. (SALE OF LIQUOR ACT) Hazards Comments: (Other). The outcome was Granted on 14/07/1999.

[RMA-1996-359748](#) Resource Management Act (Historical Data) ALTER BLDG - N Z HISTORIC BUILDING (Non-Notified - Restricted Discretionary). The outcome was Granted on 01/07/1996.

[RMA-1994-356967](#) Resource Management Act (Historical Data) ER FLAT SINGLE SIDED SIGN ON SITE Ownr:R RANSLEY / App: J RANSLEY C- TOTALLY WIRED (Non-Notified - Non Complying). The outcome was Granted on 20/10/1994.

[5104384 258 Stuart Street Dunedin](#)

[RMA-2000-364490](#) Resource Management Act (Historical Data) TO ERECT TWO ILLUMINATED SIGNS (Non-Notified - Restricted Discretionary). The outcome was Granted on 21/12/2000.

[RMA-2000-364207](#) Resource Management Act (Historical Data) PLACEMENT OF TWO SIGNS ON THE SUBJECT BUILDING (Non-Notified - Unrestricted Discretionary). The outcome was Granted on 09/08/2000.

[5104388 97 Moray Place Dunedin](#)

[LUC-2016-13](#) Land Use Consent establish a mural on the northern wall at 97 Moray Place. The outcome was Granted on 22/02/2016.

[RMA-1999-362776](#) Resource Management Act (Historical Data) CHANGES TO THE EXTERNAL APPEARANCE OF AN EXISTING BUILDING AT 97 MORAY PLACE (Non-Notified - Restricted Discretionary). The outcome was Granted on 05/03/1999.

[RMA-1995-358504](#) Resource Management Act (Historical Data) ERECT FOUR SIGNS (Non-Notified Controlled). The outcome was Granted on 14/08/1995.

[RMA-1993-355766](#) Resource Management Act (Historical Data) BOUNDARY ADJUSTMENT SUBDIVISION / App: WORKS CONSULTANCY PRIVATE BAG DN (Non-Notified - Non Complying). This consent has since Lapsed.

[5105450 IS Garden Bush Road Waikouaiti](#)

[SUB-2022-156](#) Subdivision Consent two lot subdivision. The outcome was Granted on 18/01/2023.

[5118111 251 Stuart Street Dunedin](#)

[LUC-2011-286](#) Land Use Consent demolition of building in a Townscape Precinct and establishment of a stand-alone car park at 251 and 253 Stuart Street - Dainty Dairy. The outcome was Granted on 23/08/2011.

[RMA-1988-354583](#) Resource Management Act (Historical Data) ESTABLISH OFFICES AND ASSOCIATED CAR PARKING IN THE RESIDENTIAL 1 ZONE ON LOTS 5 AND 6 DP 7947 (CONSENT REQUIRED AS PART OF DEVELOPMENT FOR GALLAWAY HAGGITT SINCLAIR LAW FIRM) (Notified - Non Complying). The outcome was Granted on 08/03/1989.

5118112 245 Stuart Street Dunedin

RMA-1988-354583 Resource Management Act (Historical Data) ESTABLISH OFFICES AND ASSOCIATED CAR PARKING IN THE RESIDENTIAL 1 ZONE ON LOTS 5 AND 6 DP 7947 (CONSENT REQUIRED AS PART OF DEVELOPMENT FOR GALLAWAY HAGGITT SINCLAIR LAW FIRM) (Notified - Non Complying). The outcome was Granted on 08/03/1989.

The information provided with this LIM on District Plan requirements and resource consents has been verified by City Planning in relation to the subject property only. All information included in relation to other land surrounding the site is indicative.

Accuracy of Boundaries

Knowing the true location of the property boundaries on the ground is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. Please note that the Council's aerial photographs may not accurately depict the extent of the property. The Record of Title for the site should be checked in the first instance. A surveyor may need to be consulted to establish the true location of the title boundaries on the ground.

Access to Site

The legality of any access to the site is important in determining what can be carried out on the land under the District Plan and in determining whether the current activity complies with the District Plan or any resource consent. It is recommended that the Record of Title and/or a lawyer be consulted regarding the legality of any legal and/or physical access to the site (and the maintenance thereof).

Heritage New Zealand Pouhere Taonga Act 2014

The Heritage New Zealand Pouhere Taonga Act 2014 applies in addition to any protection provided to a building or site by the District Plan. The Heritage New Zealand Pouhere Taonga Act 2014 makes it unlawful for any person to destroy, or modify the whole or any part of an archaeological site, whether or not the land on which the site is located is designated, or a resource or building consent has been issued, without the prior authority of Heritage New Zealand. The Heritage New Zealand Pouhere Taonga Act 2014 defines an archaeological site as a place associated with pre-1900 activity, where there may be evidence relating to the history of New Zealand. Pre-1900 buildings are considered archaeological sites under the Heritage New Zealand Pouhere Taonga Act 2014 and are also often associated with subsurface archaeological remains that provide evidence of pre-existing use of the site. Council records may not necessarily identify the precise date upon which an existing building was constructed. Contact the Dunedin office of Heritage New Zealand for further information: infodeepsouth@heritage.org.nz; 03 477 9871.

Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011

The Resource Management (National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health) Regulations 2011 came into force on 1 January 2012. The National Environmental Standard applies to any piece of land on which an activity or industry described in the current edition of the Hazardous Activities and Industries List (HAIL) is being undertaken, has been undertaken or is more likely than not to have been undertaken. (The current edition of the HAIL is available on the Ministry for the Environment website at www.mfe.govt.nz.) Activities on HAIL sites may need to comply with permitted activity conditions specified in the National Environmental Standard and/or might require resource consent. (The Otago Regional Council should also be consulted for any rules it might have in regards to the use or development of contaminated sites.)

If a person wishes to establish whether a piece of land has had hazardous activities or industries conducted on it, and thus whether activities on that land are controlled by the National Environmental Standard, then the person must pay for a review of the information about the land held by the Council, or pay for a suitably qualified and experienced practitioner to undertake a preliminary site inspection. Formal confirmation from the Council that resource consent is not required under the National Environmental Standard can only be given through a certificate of compliance application.

If you would like a copy of any Resource Consent decision or advice on the current status and relevance of any planning matter referred to in the LIM, enquiries may be made at the Planning Enquiries desk on the Ground Floor of the Civic Centre, 50 The Octagon, or by phoning 477 4000 and asking for the Duty Planner. Planners are available at the Planning Enquiries desk to answer your enquiries between 8:30am and 5:00pm weekdays.

3 Waters

Information Regarding Watercourses

The controlling authority for all water and waterbodies in Dunedin City is the Otago Regional Council. The Regional Plan: Water addresses water take and use, diversions, damming, discharges and bed alteration under the Resource Management Act 1991. They are also responsible for the Flood Protection Management Bylaw 2012.

The controlling authority for watercourses in relation to stormwater drainage, and removal of obstructions in accordance with Local Government Act 1974 is the Dunedin City Council. The Council also issues building and resource consents for certain works around watercourses.

Not all watercourses within Dunedin City are recorded or known to the Council, therefore it is recommended that the applicant inspect the property for watercourses.

For further information on watercourses it is recommended the applicant read the Watercourse Information Sheet. A copy of this document is available on request or for download from the Dunedin City Council website www.dunedin.govt.nz.

Transport

DCC Transport has carried out a desktop inspection of this property and found the following:

Vehicle crossing - no vehicle access

This property appears to have no vehicle access, pedestrian access only.

Private stormwater lateral.

Private stormwater laterals collect stormwater from private properties guttering and runs under the footpath to the kerb and channel on the roadside. The stormwater laterals are private pipes and are the responsibility of the landowner who they service, the repair and maintenance of these pipe's rests solely with the property owner. As the landowner you must maintain your stormwater lateral to ensure that it doesn't become a safety hazard for pedestrians or other road users.

For further explanations on property owner obligations in regard to local road encroachments, vehicle entrances, vegetation management or retaining structures please refer to the Dunedin City Council website at <http://www.dunedin.govt.nz/services/roads-and-footpaths> or contact Transport on 477 4000.

For properties abutting the state highway, Waka Kotahi NZ Transport Agency is the Road Controlling Authority.

Glossary of Terms and Abbreviations

The following are abbreviations and terms that may appear as a part of a LIM.

Consent, Permit, Licence & Complaint types

AAB	DCC Building permit
AAD	DCC Drainage permit
AAG	Green Island drainage permit
AAH	Hyde permit
AAK	St Kilda permit
AAM	Mosgiel permit
AAP	Port Chalmers permit
AAS	Silverpeaks permit
AAT	Maniototo permit
ABA	Application Building Act 1991
AMD	Amendment to a Building Consent
BC	Building Consent
BCC	Building Compliance Certificate - Sale and Supply of Alcohol Act
BCM	Building Complaint
CER	Certifier
COA	Certificate of Acceptance
DGL	Dangerous Goods Licensing
ENV	Health complaint
HTH	Health licence
LIQ	Alcohol licence
NTF	Notice to Fix
NTR	Notice to Rectify
PIM	Project Information Memorandum
POL	Planning Other Legislation
RMA	Resource Management Act - Resource consent
RMC	Resource consent complaint
WOF	Building Warrant of Fitness

Terms used in Permits & Consents

ALT	Alteration
ADD	Addition
BD D/C	Board drain in common
BLD	Building
BLDNG	Building
BT	Boundary trap
B/T	Boiler tube
CCC	Code Compliance Certificate
DAP	Drainage from adjacent property
DGE	Drainage

DIC	Drain in common
DR	Drainage
DWG	Dwelling
FS	Foul sewer
HEA	Heater
ICC	Interim Code Compliance
MH	Manhole
PL	Plumbing
PLB	Plumbing
PTE	Private
SIS	Sewer in section
WC	Water course
WT	Water table
SW	Stormwater

General terms

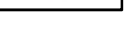
RDMS Records and Document Management System

Appendices



Scale at A4:
1:750
 2/09/2025
 8:02:02 PM

Photographic Map



PARCEL LINES CAN VARY FROM
 LEGAL PARCEL BOUNDARIES
 This map is for illustration purposes only
 and is not accurate to surveying, engineering
 or photogrammetric standards. Every effort
 has been made to ensure the accuracy and
 timeliness of the information presented.

2018-2019 Urban, Copyright DCC/Aerial Surveys
 Ltd, Rural, GRC/Aerial Surveys Ltd, CC BY 4.0 NZ
 2013 Urban and rural photography Jan/Feb 2013.
 Copyright DCC, CC BY 3.0 NZ.
 2006/2007 Urban photography March 2007.
 copyright NZAM, Rural photography March 2007.
 2005, copyright Terralink International Ltd.

Legend

Water Supply

- Manifold Box
- Water Meter
- Toby
- Meter without manifold box
- Retic Flow Meter
- Combination Meter
- Manifold Box With Restrictor
- Water Valve - Zone
- Non Return Valve
- Water Valve - Gate
- Water Valve - Sluice
- Water Hydrant
- Water Backflow Preventor - RPZ
- Water Pump Station
- Water Bore
- Water Treatment Plant
- Water Storage Tank
- Supply Main
- Trunk Main
- Disused
- Reticalation
- Rider
- Scour
- Water Service Lateral
- Water Service Lateral
- Water Critical Service Lateral
- Water Zone Boundary
- Water Reservoir
- Redundant Water Main

NOTE: Private water services have the same symbols as those above, however they are coloured pink.

Foul Sewerage

- Standard Manhole
- Valve Chamber (pressurised)
- Boundary Kit Non-Return Valve
- Pump Station Domestic
- Drop Manhole
- Inspection Manhole
- Inspection Opening
- Lampshade
- Outlet
- Pump Station
- Treatment Plant
- Vent
- Foul Sewer Node
- Foul Drains in Common (public)
- Sewer
- Trunk Sewer
- Vent Line
- Rising Main
- Redundant Foul Sewer Pipe

NOTE: Private foul drains have the same symbols as those above, however they are coloured orange.

Stormwater

- Reading Bubble-Up Tank
- Reading Mudtank
- Stormwater Main
- Stormwater Trunk Main
- DCC Open Channel
- Piped WC
- Open WC
- Culvert
- Stormwater Midtank Pipe
- Redundant Stormwater Main
- SW Sump
- SW Pump Station
- SW Bubble-Up Tank
- SW Drop Manhole
- SW Insp Chamber and Grating Inlet
- SW Inspection Manhole
- SW Inspection Opening
- SW Lampshade
- SW Mudtank Inlet
- SW Outlet
- SW Pipe Inlet
- SW Pressure Manhole
- SW Standard Manhole
- SW Stormwater Node

NOTE: Private stormwater drains have the same symbols as those above, however they are coloured light green.

General

- DCC Water & Waste Structure
- Railway Centreline
- Parcel
- Hydro
- Motorway
- Parcels
- Strata
- Easment (where recorded)
- Road/Rail

Full legend can be viewed at <https://www.dunedin.govt.nz/council-online/webmaps/water-services>

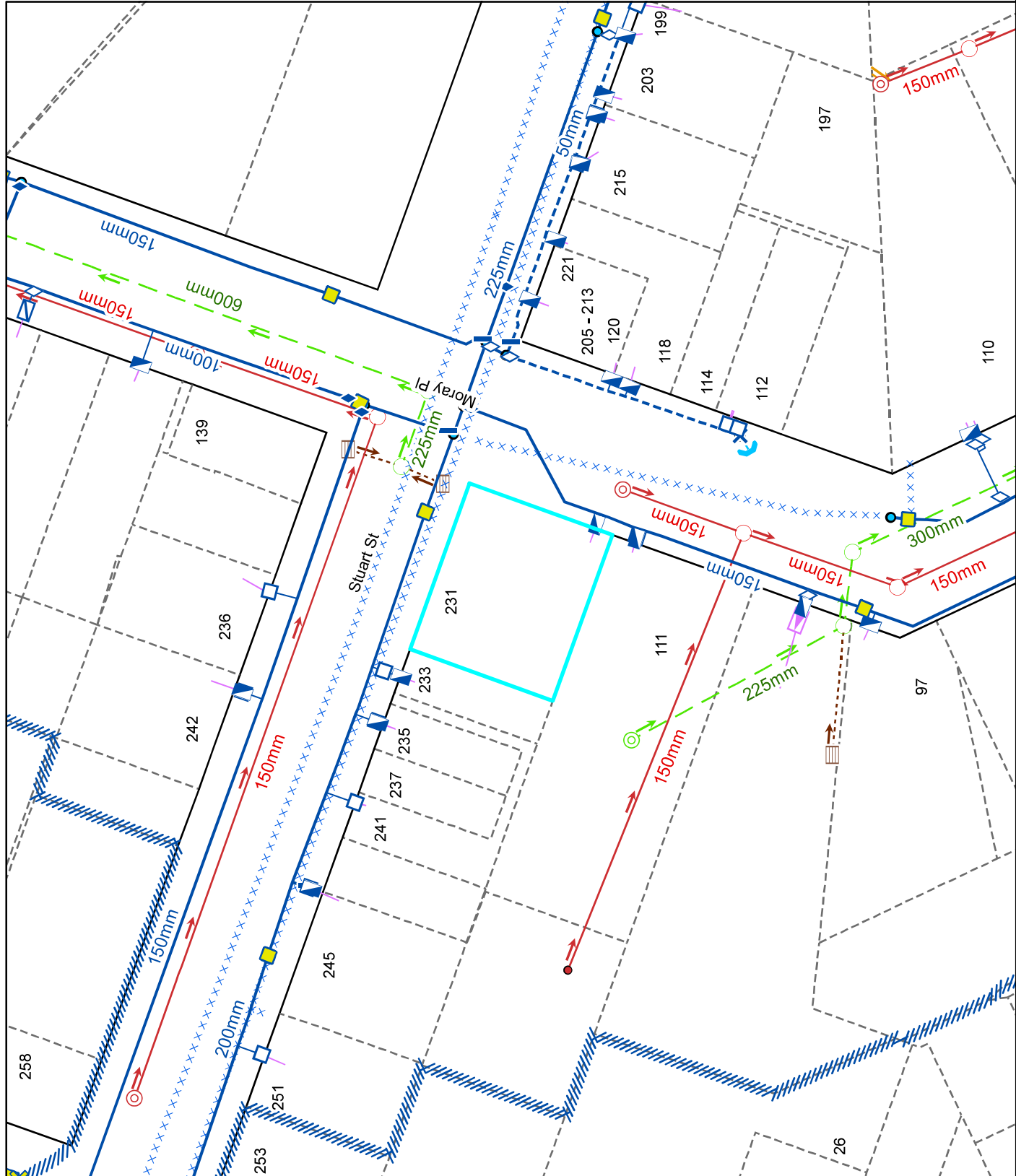
PARCEL LINES CAN VARY FROM LEGAL PARCEL BOUNDARIES

This map is for illustration purposes only and is not accurate to surveying or photogrammetric standards. Every effort has been made to ensure the timeliness of the information presented.

2018, 2019 Urban, Copyright DCC/Aerial Surveys Ltd, Urban, ORCA/Aerial Surveys Ltd, CC BY 4.0 NZ

2013 Urban and rural photography Jan/Feb 2013, Copyright DCC, CC BY 3.0 NZ

2006, 2007 Urban photography March 2007, copyright NZAM, Rural photography March 2007, copyright Terralink International Ltd.



Scale at A4:
1:750

2/09/2025
8:02:11 PM

Information shown is the best available at the time of publishing. The accuracy and completeness of this information is variable. Private assets are typically not mapped. Recent changes may not be reflected. Verify on site before commencing work.

For all enquiries phone 03 477 4000.

Council Water & Drainage Services



6057

Trinity Wesleyan Church
on Moray Place Street St
Block 11 Section 16

Storm Water to channel

The storm water from the back of the
Building is to be drain running
at the back of the millars property & connect
to the sewer running through Moray Place
to the main sewer. The above branch is
to be 4" dia & vented N/131/32

- LEGEND
- Existing Drains
 - - - New Foul Drains
 - - - - New Stormwater Drain

C. L. Murray (C. S. D. Dept)

Stuart Street

Moray Place

2037

W.C. E.V. 11/3/10

W.C. 11/3/10

Sink

6057



Binding margin to be left blank

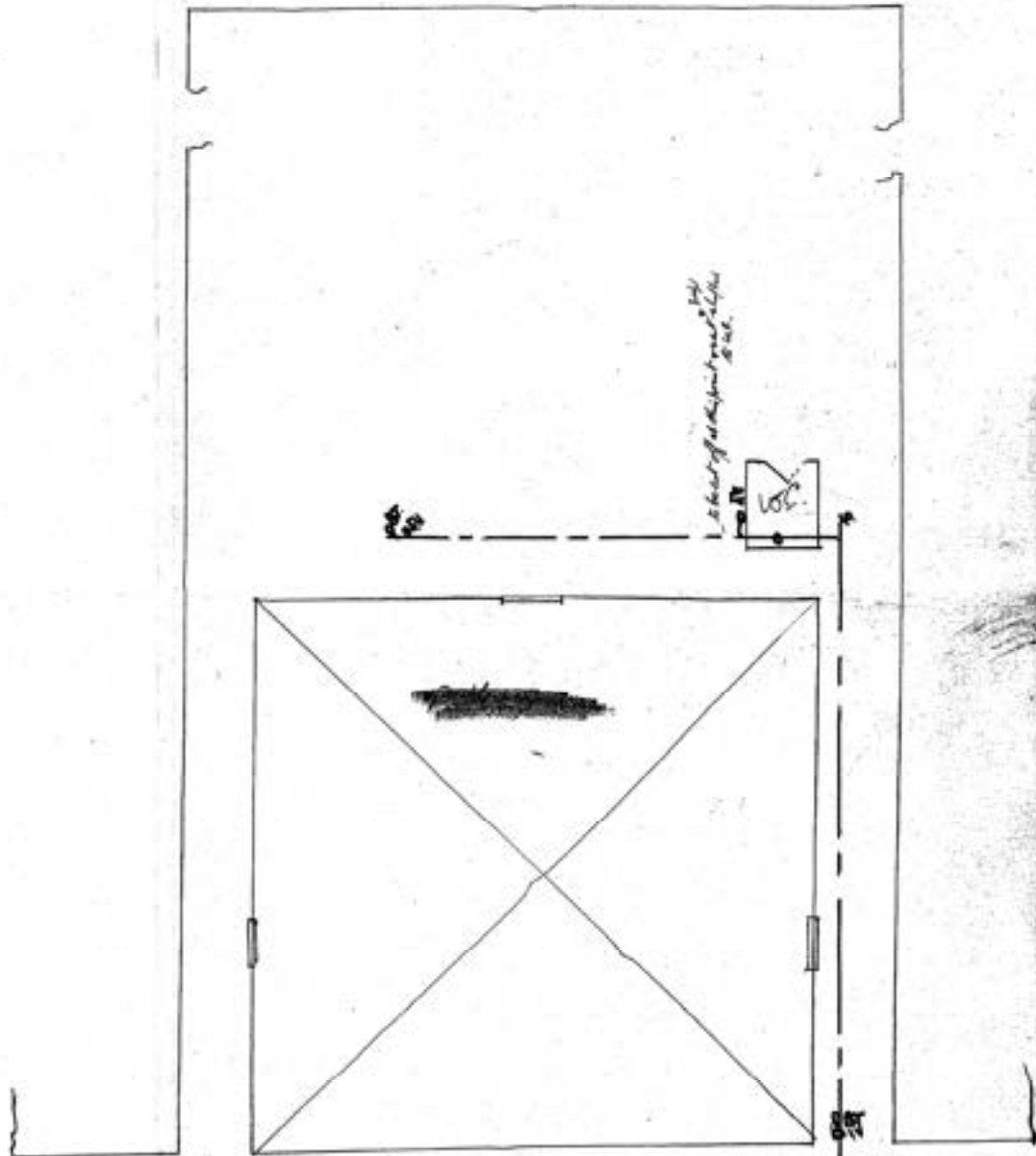
DUNEDIN DRAINAGE AND SEWERAGE BOARD

HOUSE CONNECTION PLAN.

APPLICATION NO A/12683
DATE 10.1.18

SCALE: $\frac{1}{4}$ in. to a Foot.

NEW SEWAGE DRAINS: RED
STORM WATER: DOTTED BLACK
OLD DRAINS: FULL BLACK



LEGEND

- Existing Drains
- New Foul Drains
- New Stormwater Drains

Street St

*could have
been used
444 8/5214*

Owner Trinity Malayan Church
Minister

Street 28 Street St

Locality Dunedin

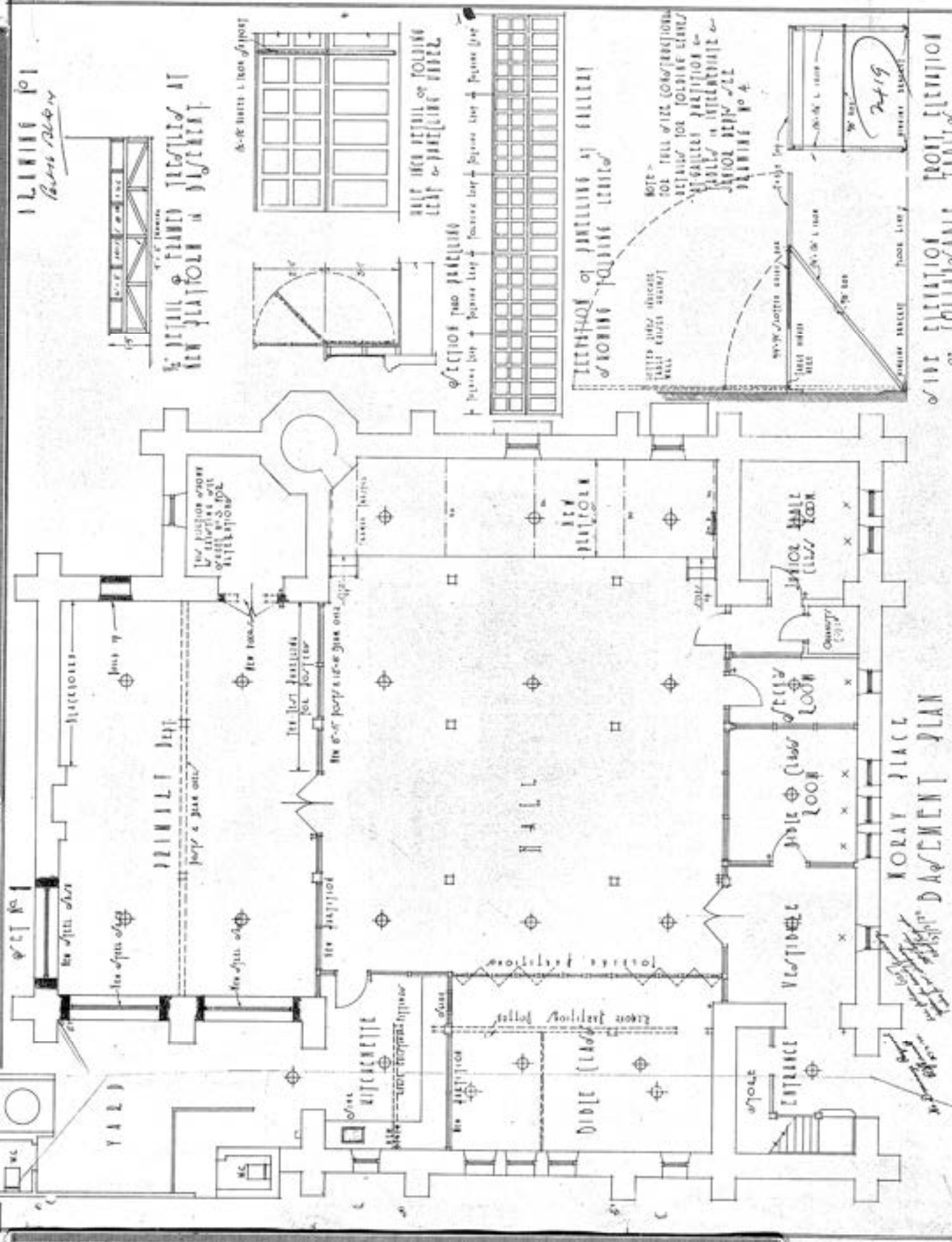
Block NX 14

Section pt X 123 16

Allotment _____

Signature of Drainer George Dyer + Co.

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT HIS WRITTEN CONSENT.



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40

PLAN OF THE BASEMENT OF THE CHURCH
MORAY PLACE
DASHMENT PLAN

SECTION THROUGH WALL
SECTION THROUGH WALL
SECTION THROUGH WALL

SECTION THROUGH WALL
SECTION THROUGH WALL
SECTION THROUGH WALL

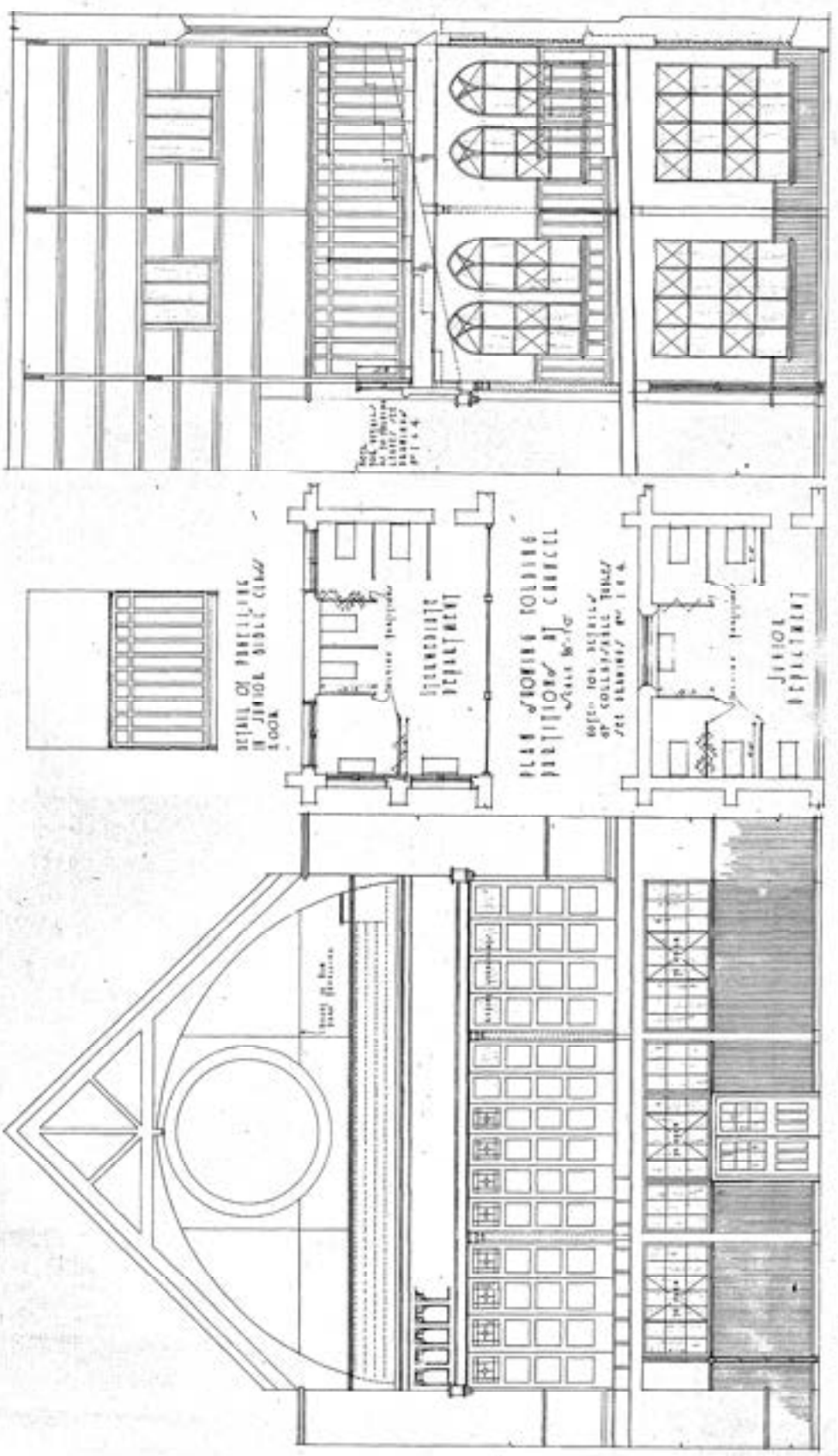
ALTERATION TO TRINITY METHODIST CHURCH
MORAY PLACE
DASHMENT PLAN
SECTION THROUGH WALL
SECTION THROUGH WALL
SECTION THROUGH WALL

THESE PLANS ARE THE PROPERTY OF THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT HIS WRITTEN CONSENT.

SECTION ON LINE A-A

SECTION AT FOOTING
 SECTION ABOVE THE

SECTION THROUGH WALLS



SECTION No. 2

DETAIL OF NEW WALL
 IN JUNCTION WITH OLD
 LOOK

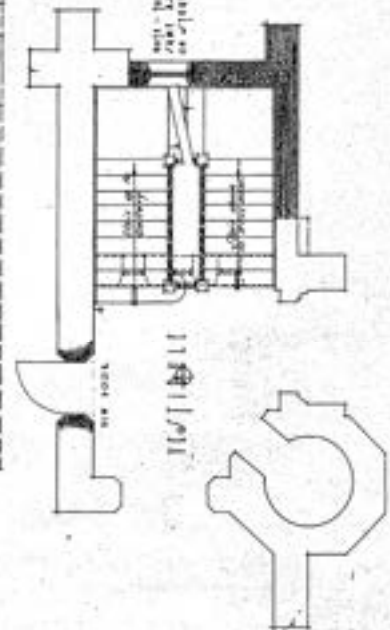
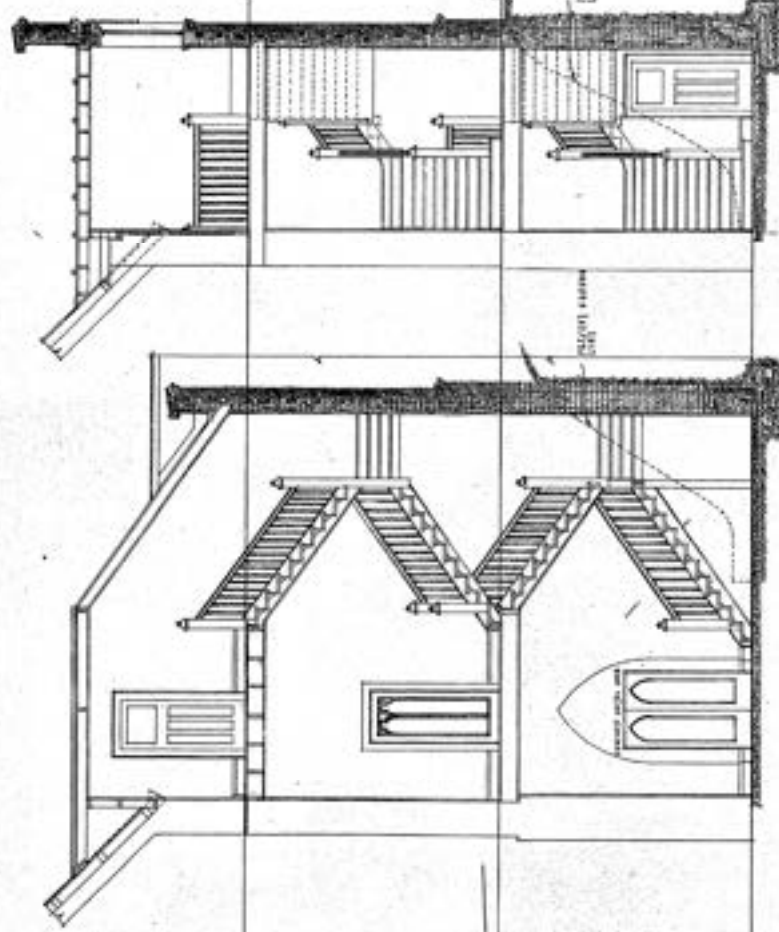
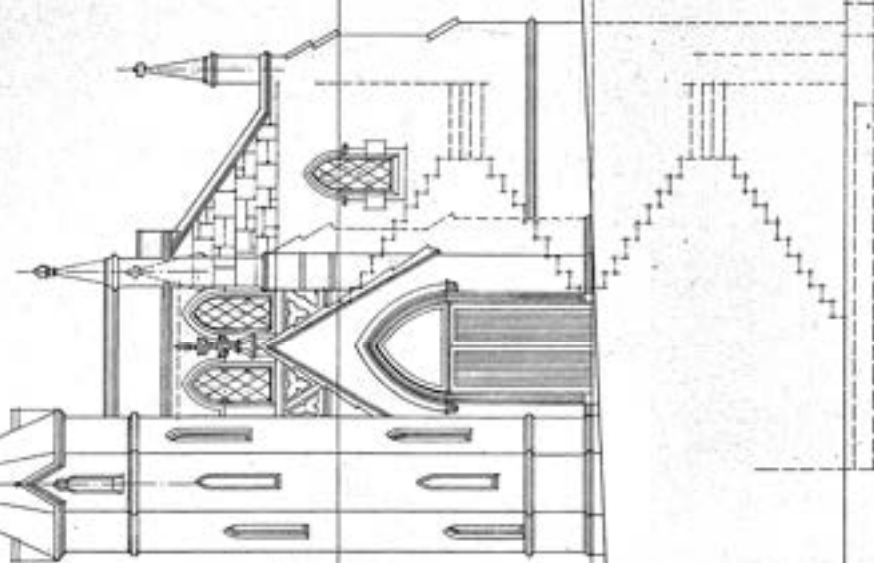
DETAIL OF NEW WALL
 IN JUNCTION WITH OLD
 LOOK

DETAIL OF NEW WALL
 IN JUNCTION WITH OLD
 LOOK

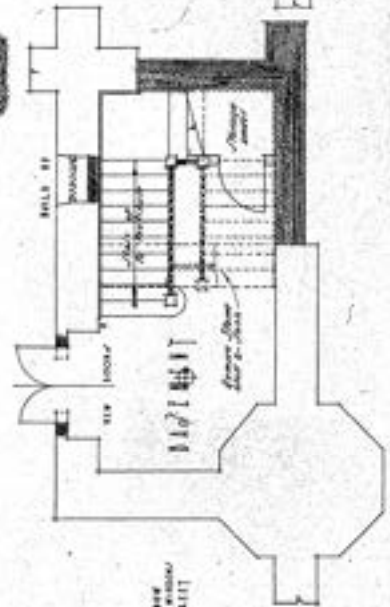
110

DRAWING No. 3

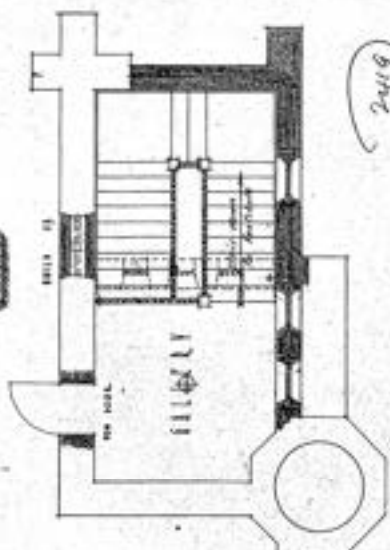
5117



GROUND FLOOR PLAN

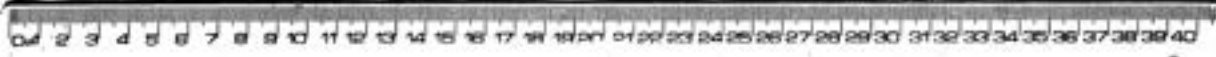


BASMENT FLOOR PLAN



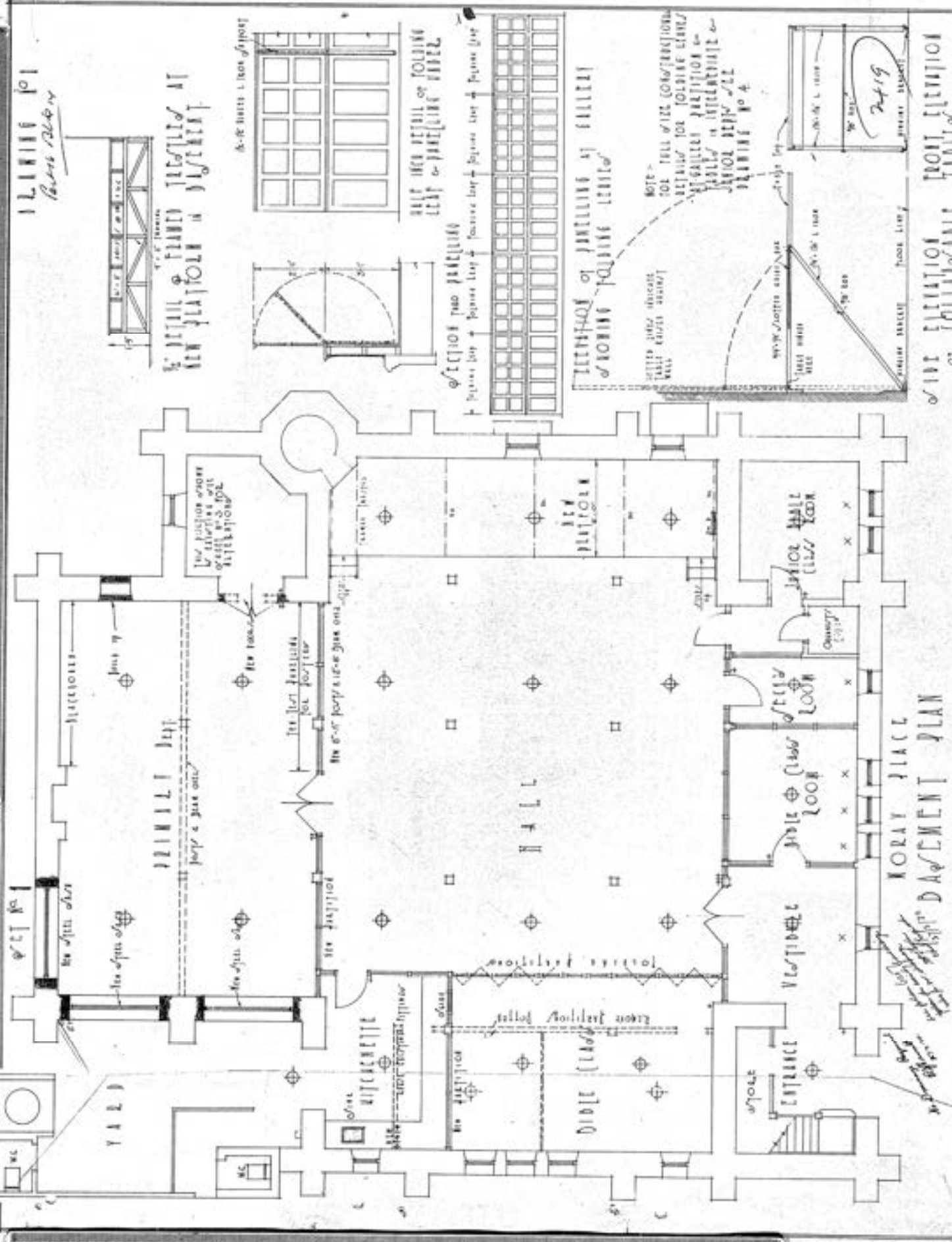
GALLERY FLOOR PLAN

2419



MEASUREMENTS TO BE TAKEN BY THE ARCHITECT TO TRINITY METHODIST CHURCH CORNER OF STUART ST. MILLER & WHITE BROS. ARCHT. ENGRS. 14-15-18

THE ARCHITECTS AND ENGINEERS
 100 N. 10th St. St. Paul, Minn.
 1911



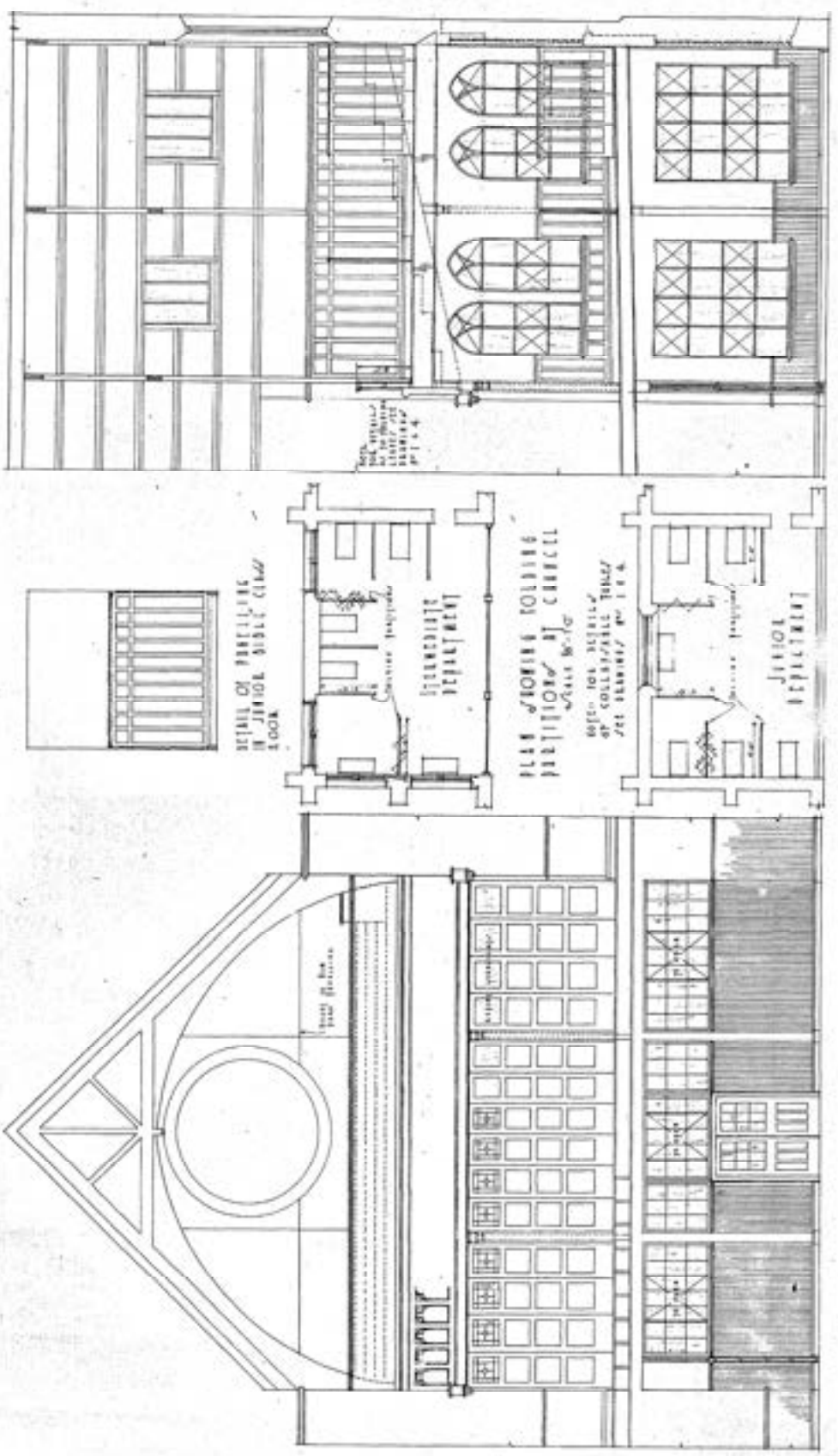
ALTERATION TO TRINITY METHODIST CHURCH
 OF THE CITY OF ST. PAUL, MINN.
 BASEMENT PLAN
 MORAY PLACE
 DORMER
 VESTIBULE
 SEE PLAN ABOVE
 SEE PLAN BELOW
 NOTE: THE SEATING IS TO BE PLACED AS SHOWN IN THE ATTACHED SKETCHES. THE SEATING IS TO BE PLACED AS SHOWN IN THE ATTACHED SKETCHES. THE SEATING IS TO BE PLACED AS SHOWN IN THE ATTACHED SKETCHES.

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40

SECTION ON LINE A-A

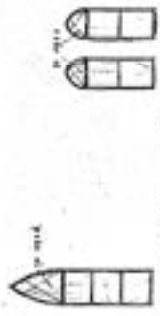
SECTION ON LINE B-B

SECTION ON LINE C-C



SECTION ON LINE D-D

SECTION ON LINE E-E

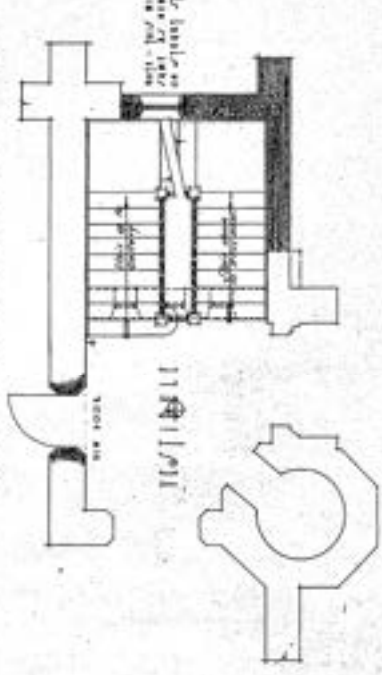
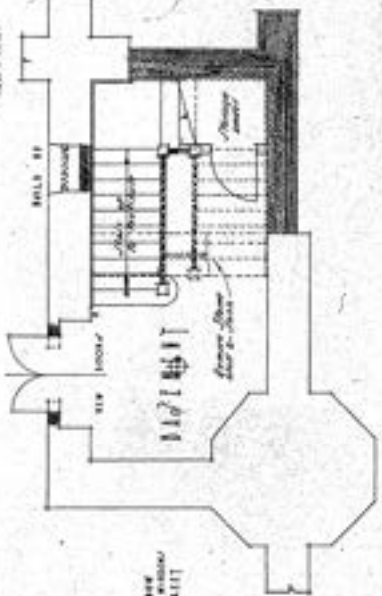
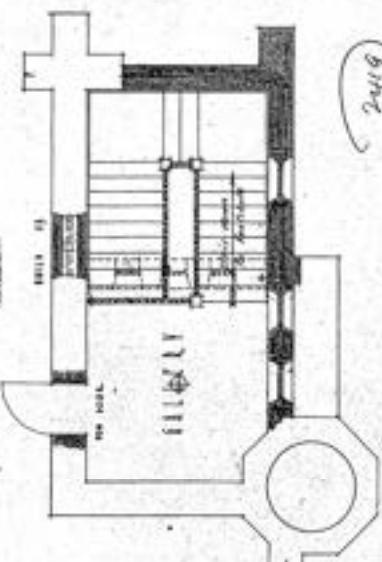
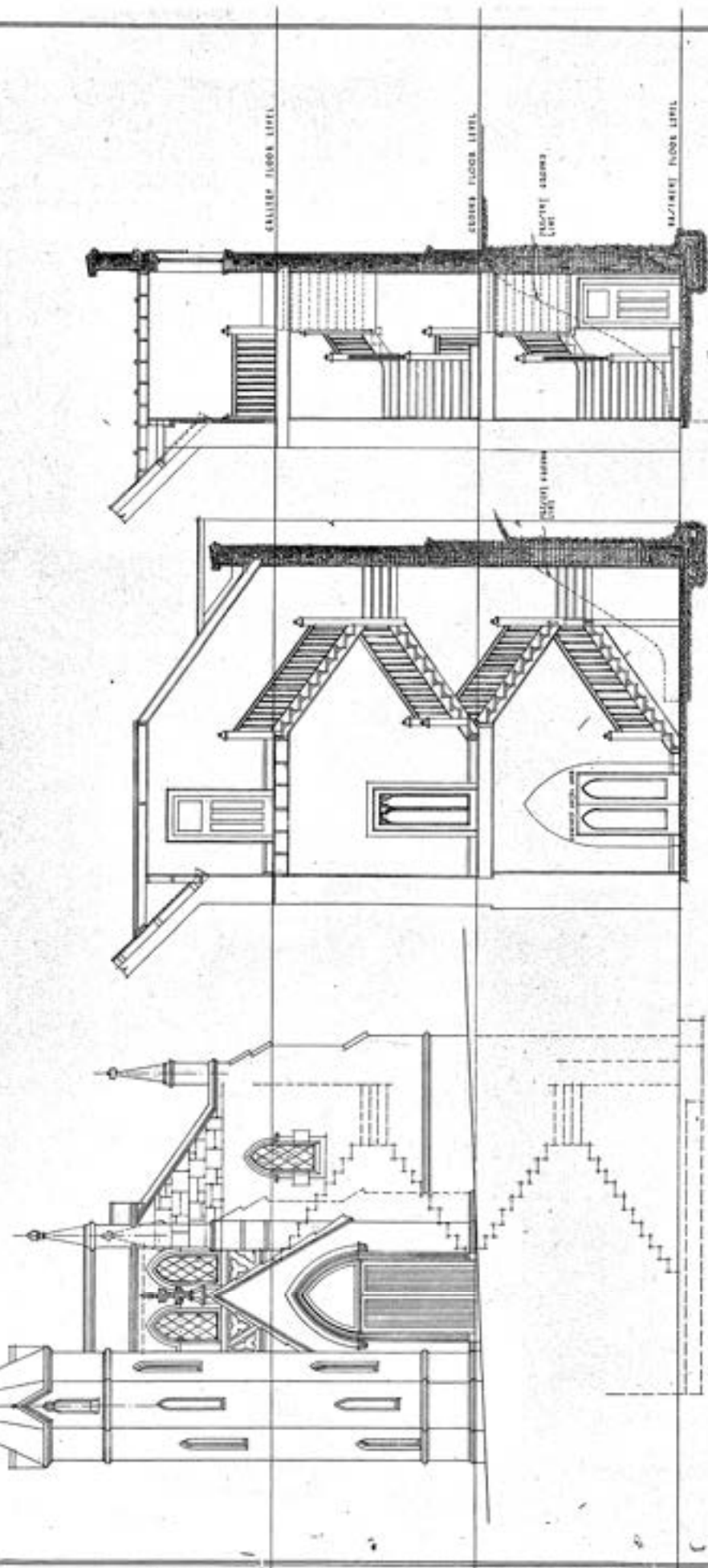


SECTION NO. 2

110

DRAWING No. 3

577



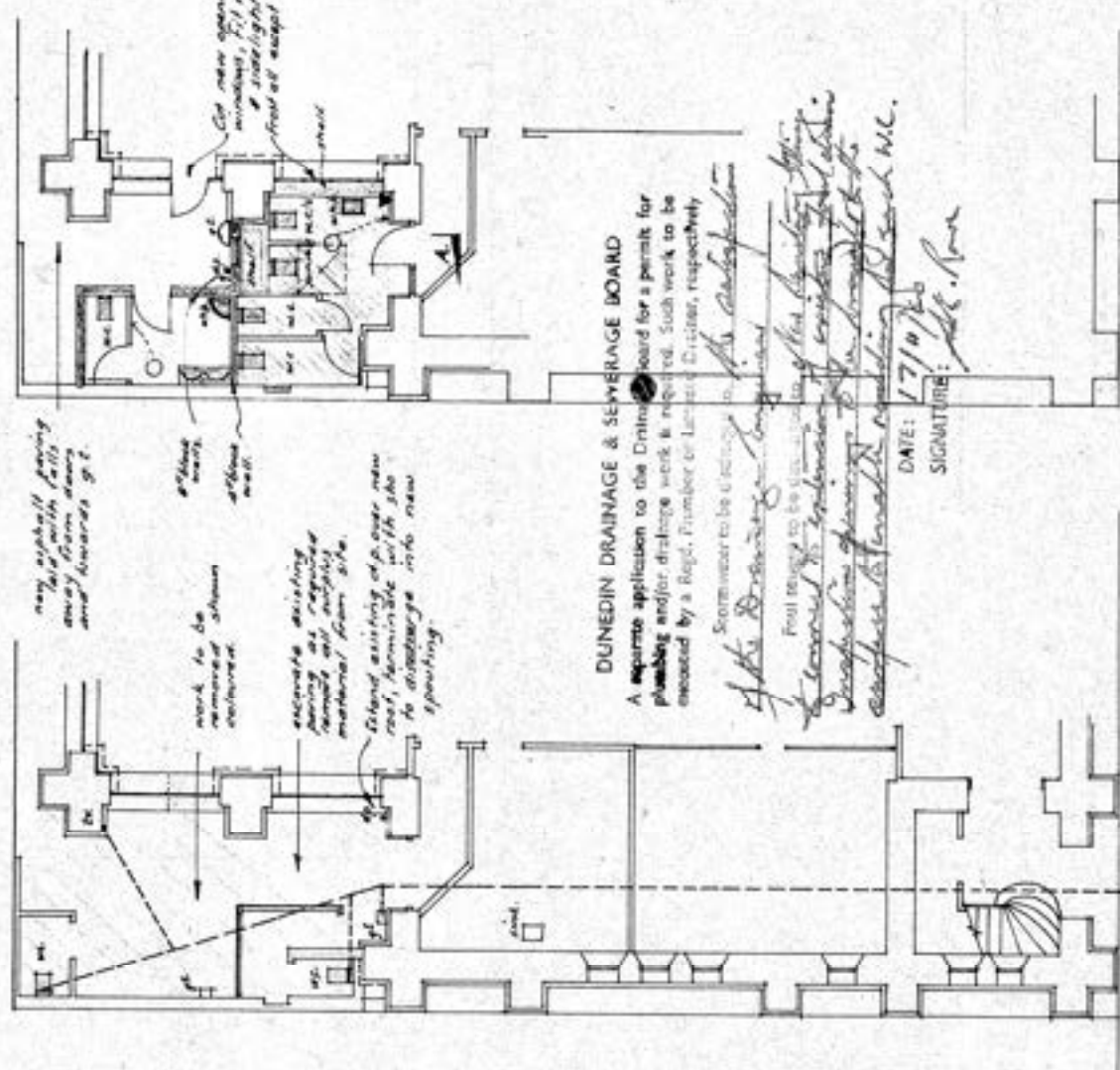
GALLERY FLOOR PLAN

BASMENT FLOOR PLAN

GROUND FLOOR PLAN

MEASUREMENTS TO BE TAKEN BY THE ARCHITECT TO TRINITY METHODIST CHURCH CORNER OF STUART ST. MILLER & WHITE BROS. ARCHT. ENGRS. 14-15-05





DUNEDIN DRAINAGE & SEWERAGE BOARD

A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be executed by a Regd. Plumber or Licensed Drainier, respectively.

Seen & approved to be in accordance with the Specifications of the Board of the City of Dunedin
 Approved by the Board of the City of Dunedin
 Specifications of the Board of the City of Dunedin
 Approved by the Board of the City of Dunedin

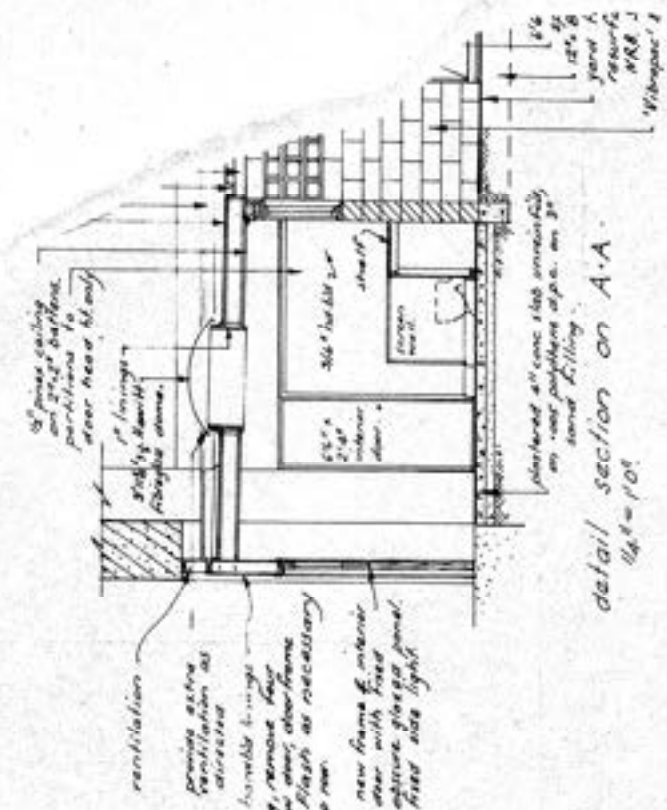
DATE: 17/10/50
 SIGNATURE: [Signature]

plan as existing.

proposed work.

NEW TOILET BLOCKS. TRINITY METHODIST CHURCH. DUNEDIN
 METHODIST CENTRAL CHURCH & MISSION. CONTRACT NO. 1150. OCTOBER 1950.

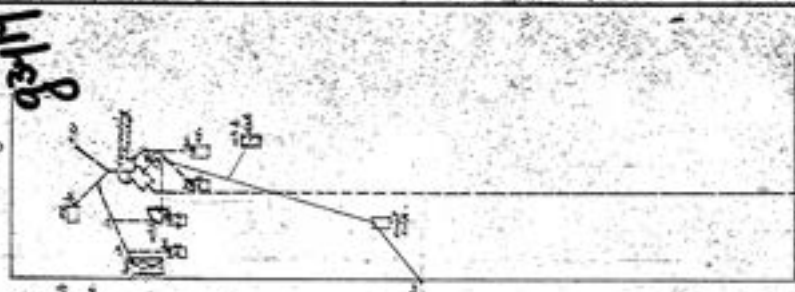
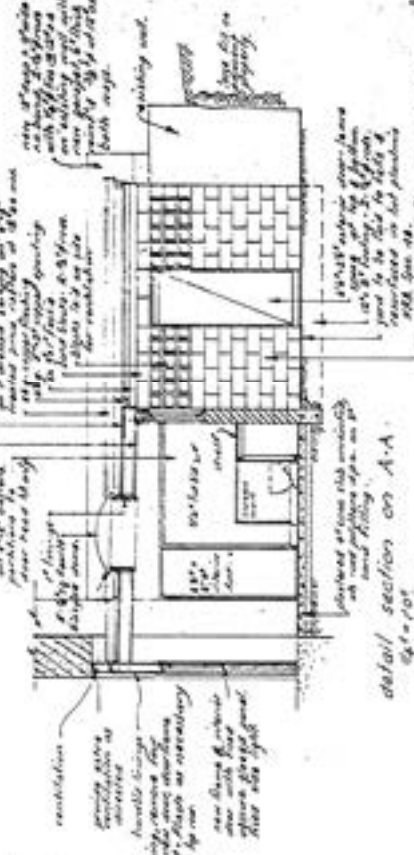
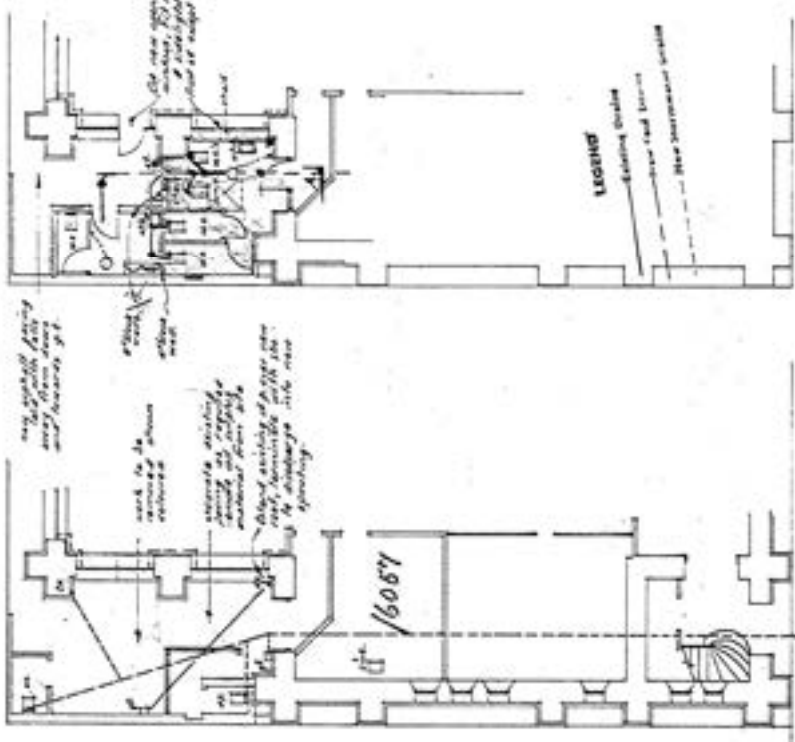
MCDONNELL &
 ARCHITECTS &
 108 EAST PLACE.



detail section on A.A.
 1/4" = 1'-0"

Specification: Contractor to comply with N.Z.I.R. Conditions of Owner responsible for insurance of building; Contractor responsible for Public Risk Insurance. Contractor shall apply for & obtain at & shall comply with all by-laws & requirements of Local Authority having jurisdiction over the works. Excavate yard to new grade required, carry out all demolition so as to cause no damage to work. Provide new asphalt paving to yard & to men's conveniences. All concrete to be Roman 87 1/2 strength & placed in accordance with tender floor of women's toilet block for future time. All framing timber framing grade treated preservative. All framing timber to be D.P. Timber frames will be tied with 3/8" hardwood, burred joints. C to be 2" pins on 2 1/2" battens. Fix to walls with screws. Spouting Architraves at 3/4". Electrician to provide two points of light for future overhead zip heater. Plumber to provide two new horizontal 1/2" diameter steel valves, three new 1/2" complete & run existing day nursery & re-erect two prior w.c.'s. Provide flushing & connect to water supply, connect to drains or new gully through works, backwatered if required, all to Local Authority's requirements. Extend existing G.I. drains as necessary and stop off drains no longer required. Extend existing stormwater drain to pick up new & existing. All interior work new & existing in toilet area to be painted in coat work to approval.

105118
105118



Specification: Contractor to comply with 1916 Conditions of Contract. Owner responsible for maintenance of building. Contractor responsible for...
 1. Contractor to supply with all labor & materials required for...
 2. Contractor to provide...
 3. Contractor to provide...
 4. Contractor to provide...
 5. Contractor to provide...
 6. Contractor to provide...
 7. Contractor to provide...
 8. Contractor to provide...
 9. Contractor to provide...
 10. Contractor to provide...
 11. Contractor to provide...
 12. Contractor to provide...
 13. Contractor to provide...
 14. Contractor to provide...
 15. Contractor to provide...
 16. Contractor to provide...
 17. Contractor to provide...
 18. Contractor to provide...
 19. Contractor to provide...
 20. Contractor to provide...
 21. Contractor to provide...
 22. Contractor to provide...
 23. Contractor to provide...
 24. Contractor to provide...
 25. Contractor to provide...
 26. Contractor to provide...
 27. Contractor to provide...
 28. Contractor to provide...
 29. Contractor to provide...
 30. Contractor to provide...
 31. Contractor to provide...
 32. Contractor to provide...
 33. Contractor to provide...
 34. Contractor to provide...
 35. Contractor to provide...
 36. Contractor to provide...
 37. Contractor to provide...
 38. Contractor to provide...
 39. Contractor to provide...
 40. Contractor to provide...
 41. Contractor to provide...
 42. Contractor to provide...
 43. Contractor to provide...
 44. Contractor to provide...
 45. Contractor to provide...
 46. Contractor to provide...
 47. Contractor to provide...
 48. Contractor to provide...
 49. Contractor to provide...
 50. Contractor to provide...
 51. Contractor to provide...
 52. Contractor to provide...
 53. Contractor to provide...
 54. Contractor to provide...
 55. Contractor to provide...
 56. Contractor to provide...
 57. Contractor to provide...
 58. Contractor to provide...
 59. Contractor to provide...
 60. Contractor to provide...
 61. Contractor to provide...
 62. Contractor to provide...
 63. Contractor to provide...
 64. Contractor to provide...
 65. Contractor to provide...
 66. Contractor to provide...
 67. Contractor to provide...
 68. Contractor to provide...
 69. Contractor to provide...
 70. Contractor to provide...
 71. Contractor to provide...
 72. Contractor to provide...
 73. Contractor to provide...
 74. Contractor to provide...
 75. Contractor to provide...
 76. Contractor to provide...
 77. Contractor to provide...
 78. Contractor to provide...
 79. Contractor to provide...
 80. Contractor to provide...
 81. Contractor to provide...
 82. Contractor to provide...
 83. Contractor to provide...
 84. Contractor to provide...
 85. Contractor to provide...
 86. Contractor to provide...
 87. Contractor to provide...
 88. Contractor to provide...
 89. Contractor to provide...
 90. Contractor to provide...
 91. Contractor to provide...
 92. Contractor to provide...
 93. Contractor to provide...
 94. Contractor to provide...
 95. Contractor to provide...
 96. Contractor to provide...
 97. Contractor to provide...
 98. Contractor to provide...
 99. Contractor to provide...
 100. Contractor to provide...

proposed work. 1/4" = 1ft Scale

NEW TOILET BLOCKS, TRINITY METHODIST CHURCH, DUNEDIN

MISSION, CONTRACT NO. 1190 - OCTOBER 1920.

1/8" = 1ft Scale

1/8" = 1ft Scale

MICHAEL JOHN GIBBY & PARTNERS
 ARCHITECTS & ENGINEERS
 105 RANGITIKEI STREET, DUNEDIN

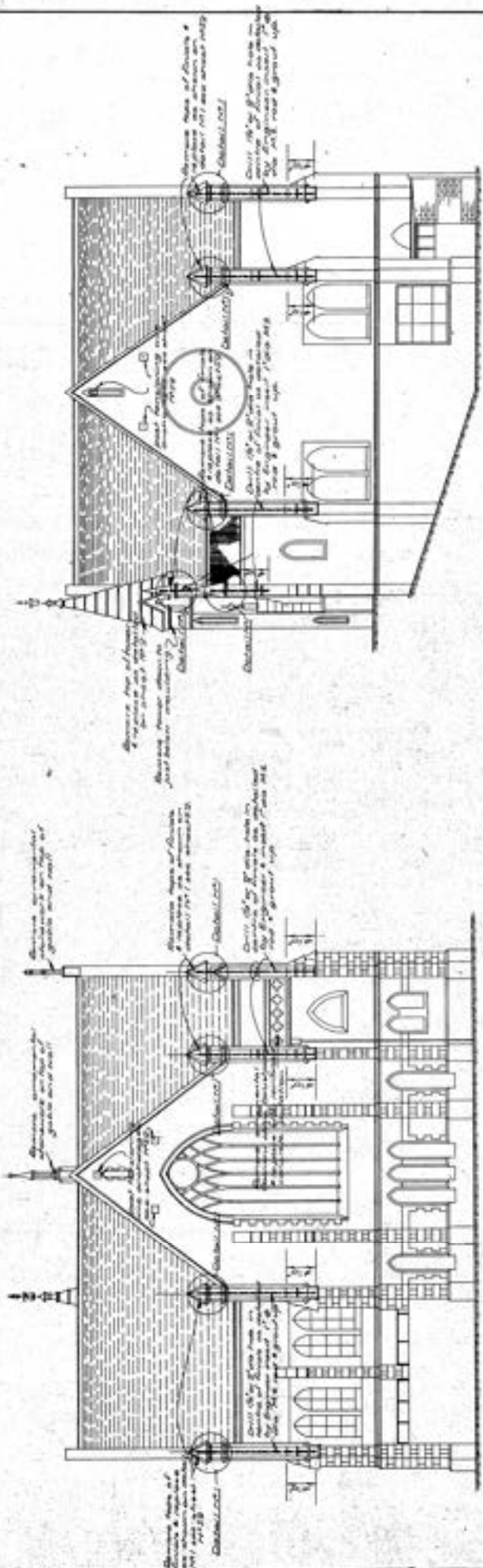
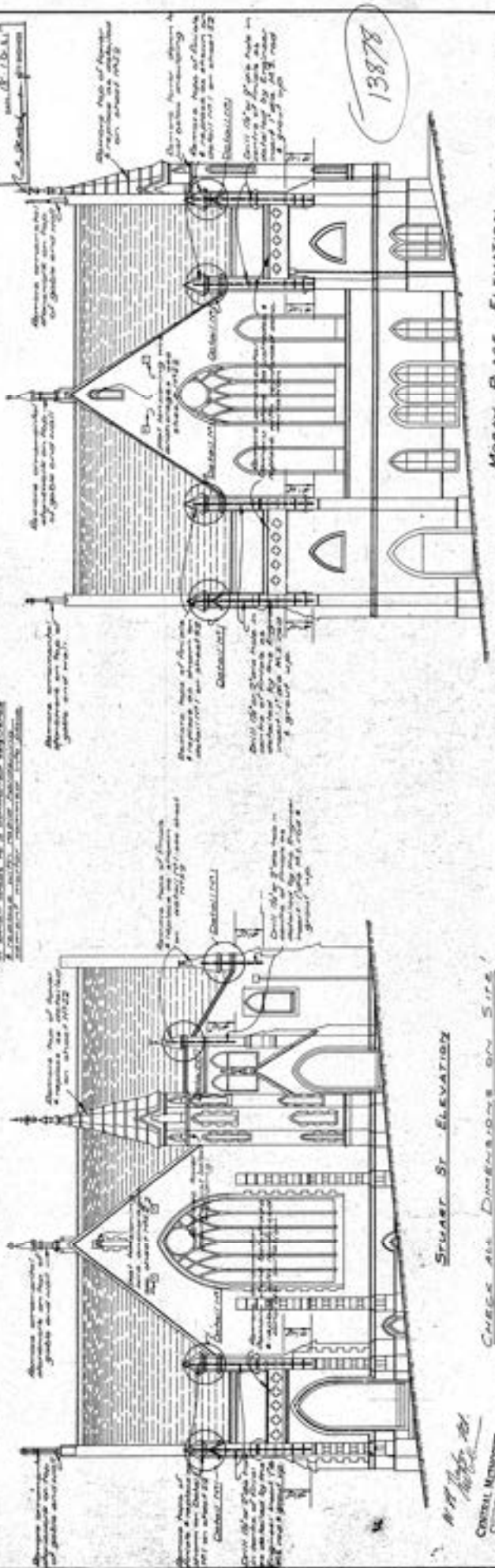


EXHIBIT CITY COMMISSION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETURNED ON PROOF
 AND RECORDED IN THE OFFICE
 OF THE ENGINEER.
 1917. (L.S.A.)

REAR ELEVATION

REAR ELEVATION



STUART ST. ELEVATION

MERRY PLACE ELEVATION

13878

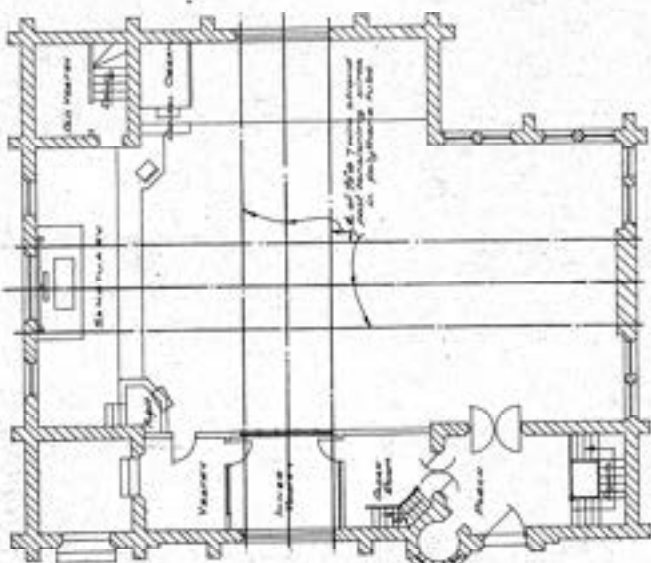
W. H. B. B. B.
 CENTRAL MASONRY
 CONTRACTORS AND DESIGNERS

Check all Dimensions on Site!

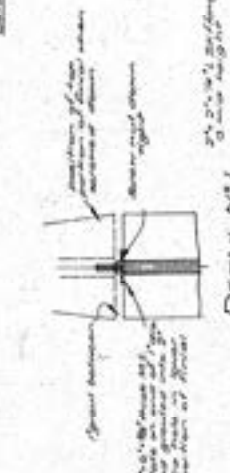
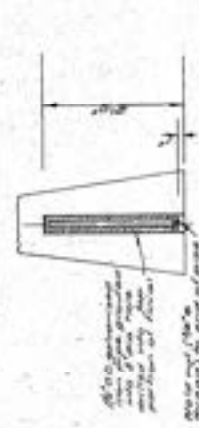
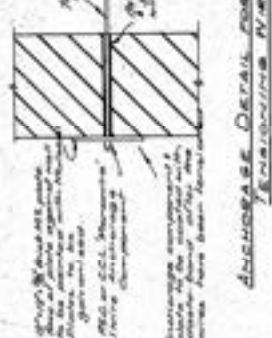
Approved Drawings may be used
 in connection with
 drawings

PROPOSED STRENGTHENING OF TRINITY METHODIST CHURCH STUART ST. - DUNEDIN	ELEVATIONS	No. 51	SALMOND & GIBB ENGINEERS	J. H. S. KIRKTON ARCHITECT REGISTERED ARCHITECT
		51	51	

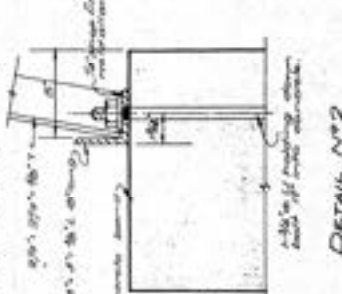
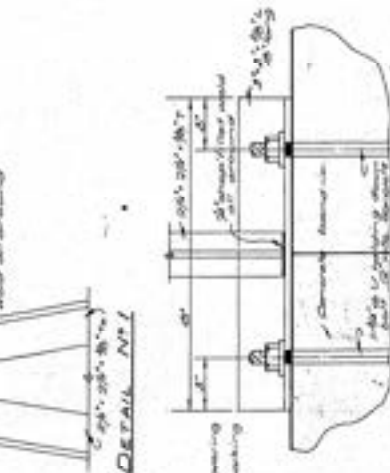
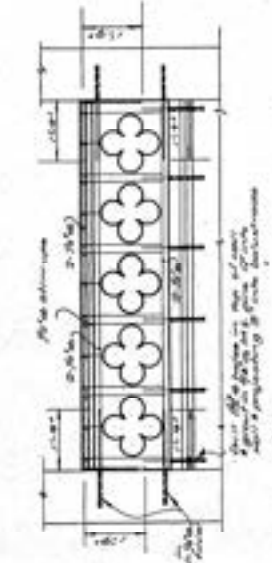
FOR THE ARCHITECT AND ENGINEER'S USE ONLY. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND ENGINEER. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT AND ENGINEER.



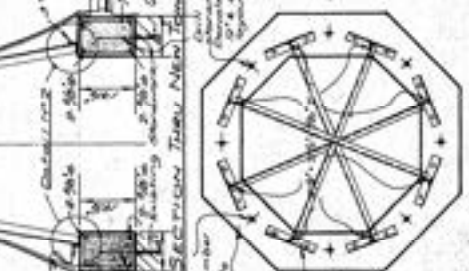
2000
 Proposed New Layer Base Supports
 Location of Post-Embedding Walls



2000
 Check All Dimensions on Site!



2000
 Detail No. 2



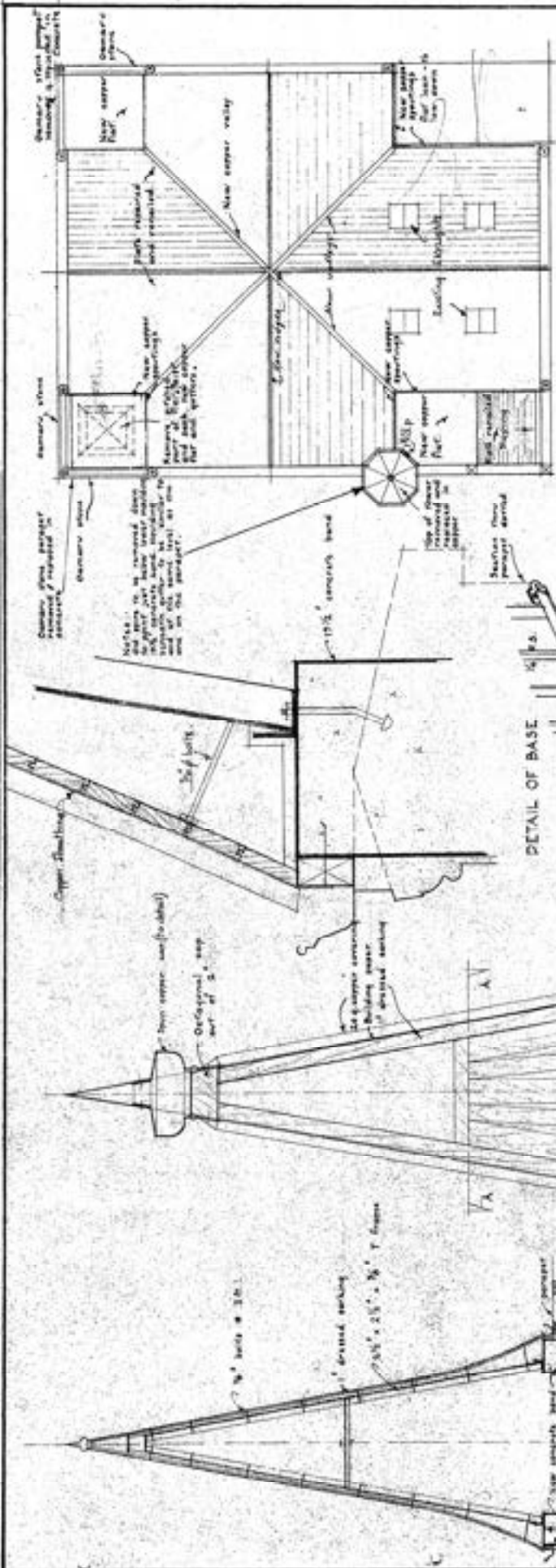
2000
 Plan of Tower at Base

Structural drawings and details
 prepared by
 J. G. BARKER
 ARCHITECTS
 100 RANGITIKEI STREET
 WELLINGTON

PROPOSED STRENGTHENING OF TRINITY METHODIST CHURCH
 STUART ST. - DUNEDIN

DATE: 1971
 DRAWING NO: 52
 SHEET NO: 1

DATE: 1971
 DRAWING NO: 52
 SHEET NO: 1



ROOF PLAN 1/2" = 1'-0"

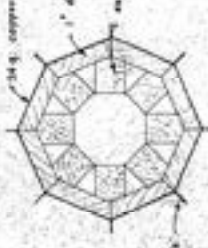
DETAIL OF BASE

DETAIL OF FINIAL 3/4" = 1'-0"

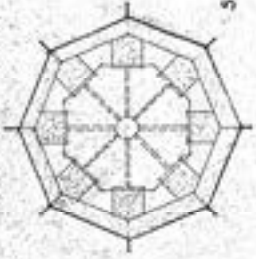
SECTION THRU SPIRE 1/2" = 1'-0"



PLAN OF BASE 1/2" = 1'-0"

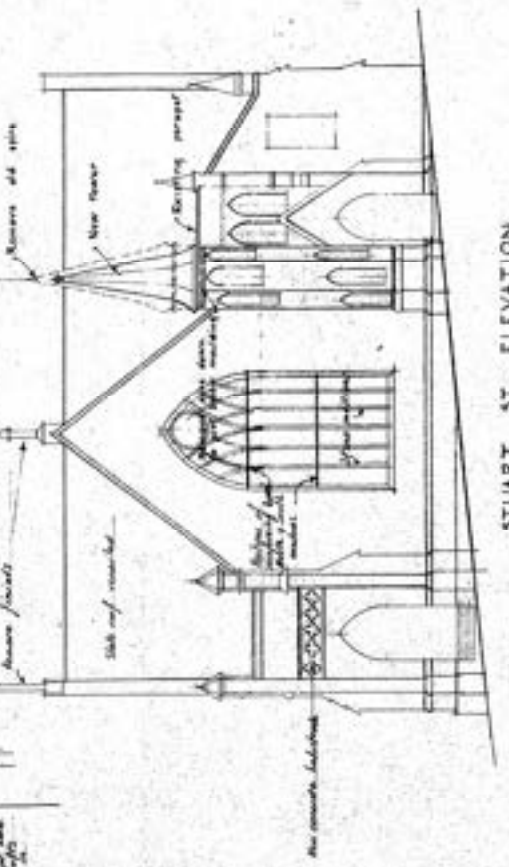


SECTION A-A



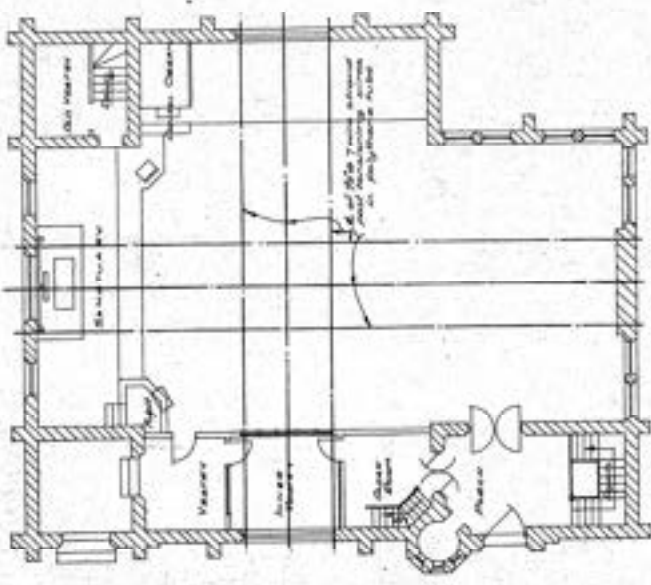
SECTION B-B

SKETCH REINFORCING BARS AT MULLIONED WINDOWS

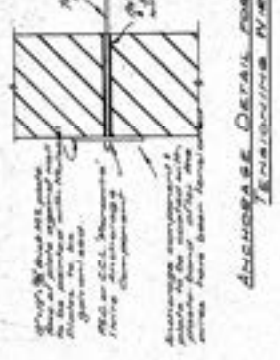


STUART ST. ELEVATION

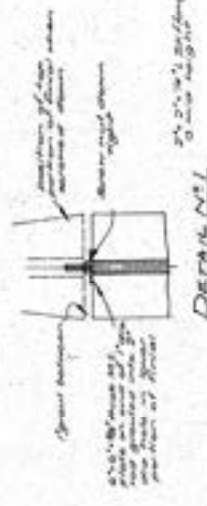
TRINITY CHURCH STUART STREET DUNEDIN	
PROPOSED NEW SPIRE	
DESIGNED BY	W. G. BURNETT
DRAWN BY	A. G. BURNETT
DATE	1914
DATE	1914
DATE	1914



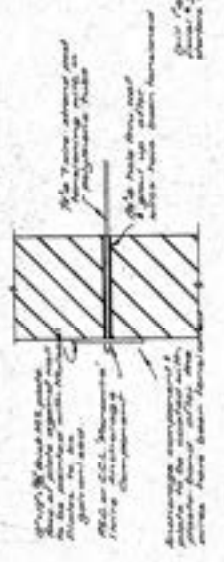
284a. SECTION OF FOOT BRACING IN
 Proposed New Layer Base Support
 Below of Foot Bracing Walls



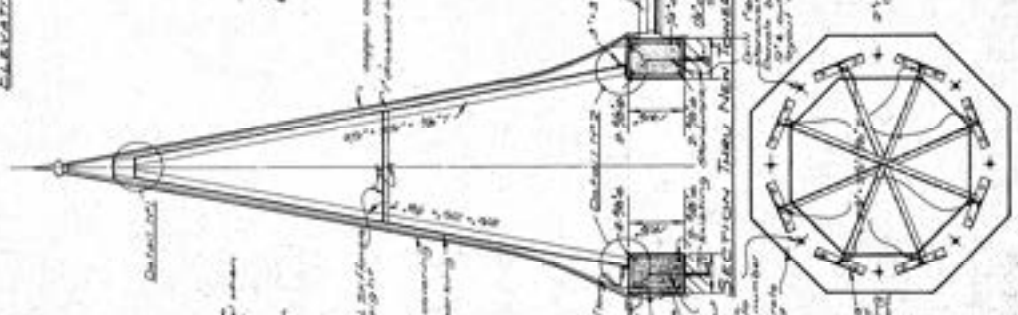
284b. SECTION OF FOOT BRACING IN
 Masonry Pier



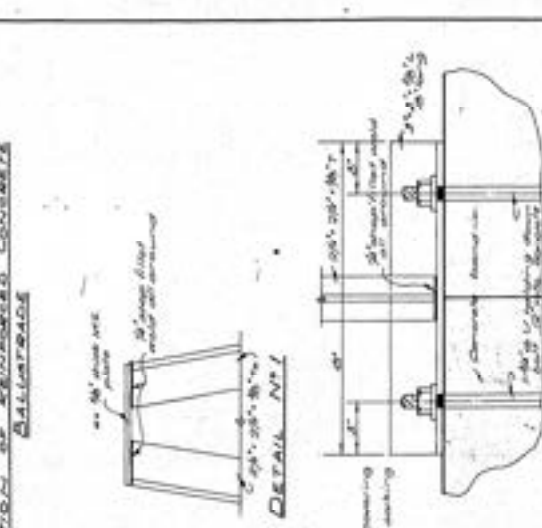
284c. SECTION OF FOOT BRACING IN
 Masonry Pier



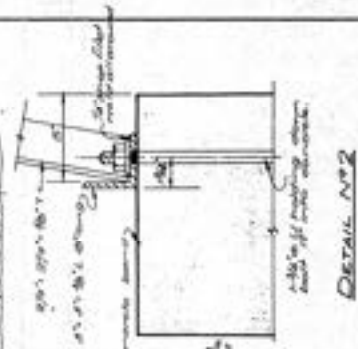
284d. SECTION OF FOOT BRACING IN
 Masonry Pier



284e. SECTION OF TOWER AT BASE



284f. SECTION OF STEEPLE



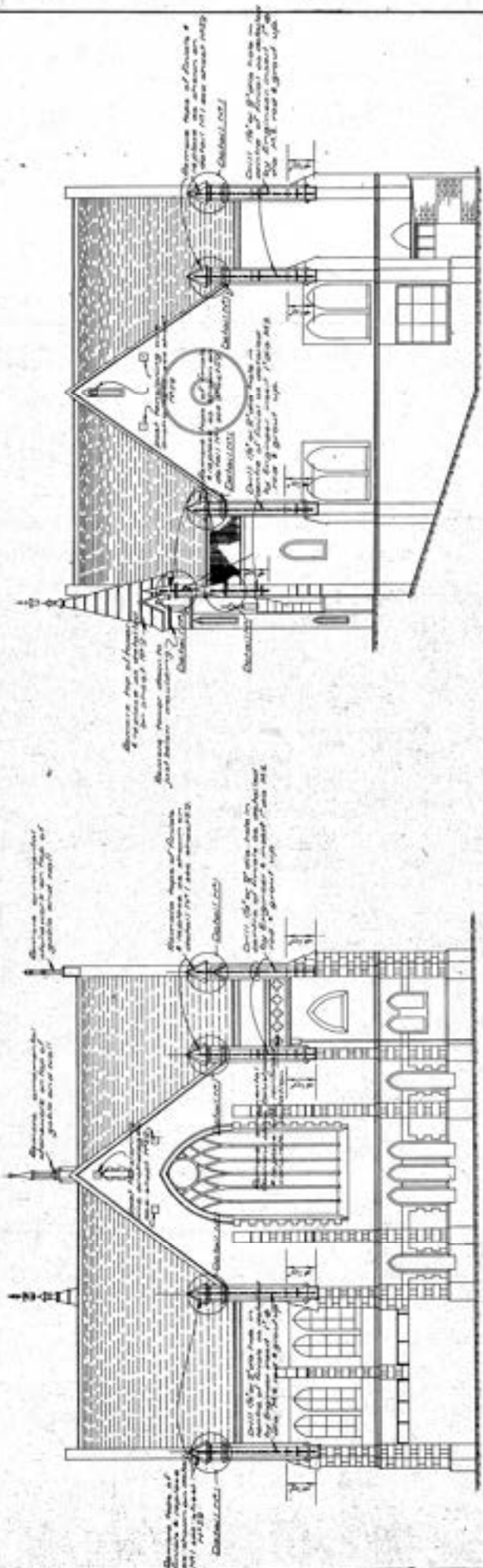
284g. SECTION OF ROOF JOINT

Structural drawings and details
 prepared by
 J. C. BARKER
 ARCHITECT
 100 RIVER STREET
 DUNEDIN

PROPOSED STRENGTHENING OF TRINITY METHODIST CHURCH
 STUART ST. - DUNEDIN

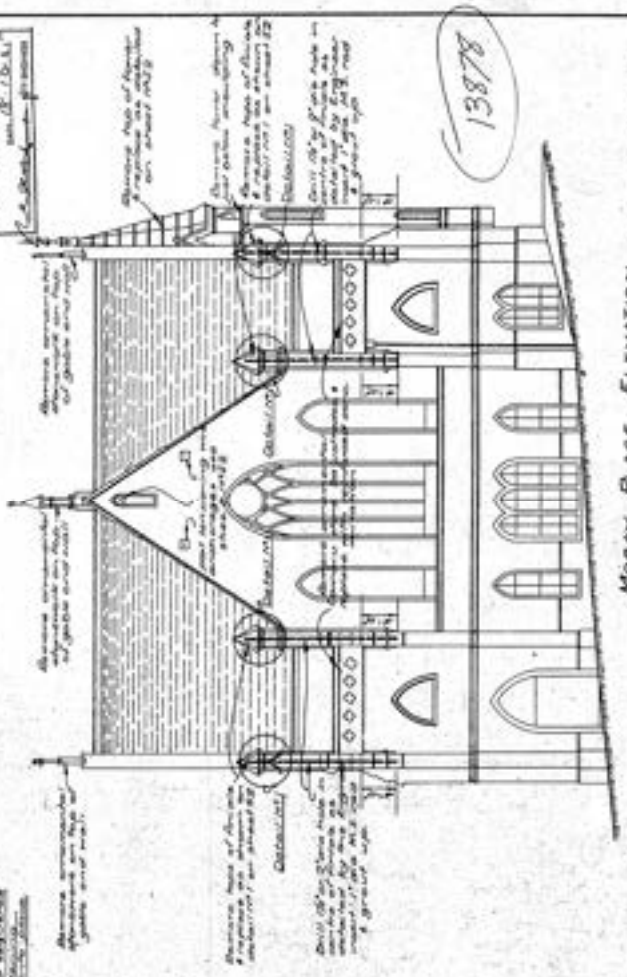
Strengthening Details
 SHEET NO. 52
 OF 52

SHELDON & JUNT
 ARCHITECTS
 100 RIVER STREET
 DUNEDIN



DUNEDIN CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETURNED ON FORMS
 AND PROVIDED TO THE OFFICE
 OF BUILDING INSPECTION.
 (S.E.L.D.A.)

REAR ELEVATION

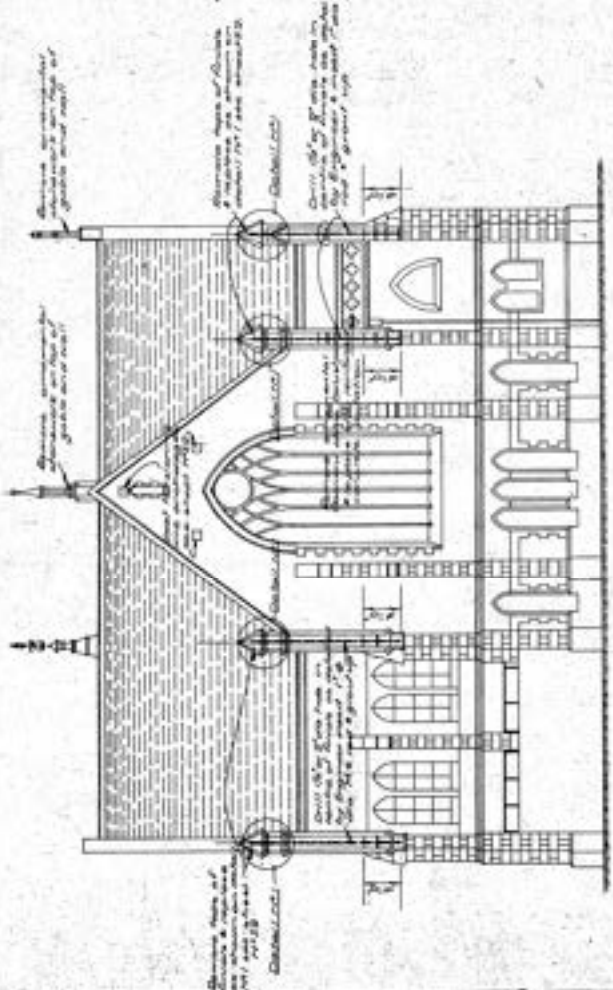


13878

MERRY PLACE ELEVATION

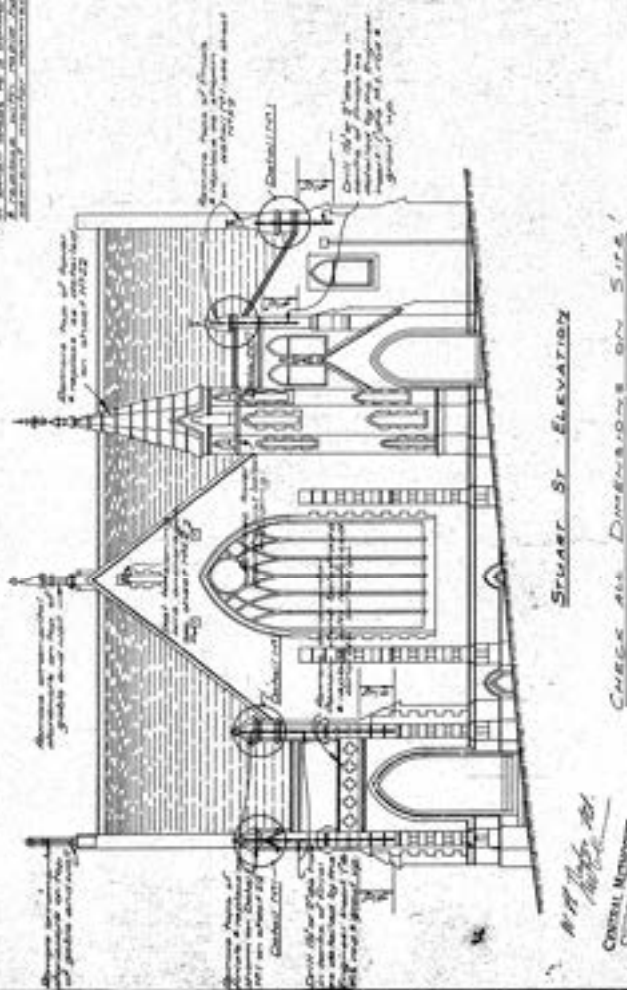
Revised Drawing may be used
 in conjunction with original
 Drawing

J. H. S. RANKIN
 ARCHITECT
 100, RIVER STREET
 DUNEDIN



DUNEDIN CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETURNED ON FORMS
 AND PROVIDED TO THE OFFICE
 OF BUILDING INSPECTION.
 (S.E.L.D.A.)

REAR ELEVATION



STUART ST. ELEVATION

CHECK ALL DIMENSIONS ON SITE!

W. H. B. B. B.
 CIVIL ENGINEER
 100, RIVER STREET
 DUNEDIN

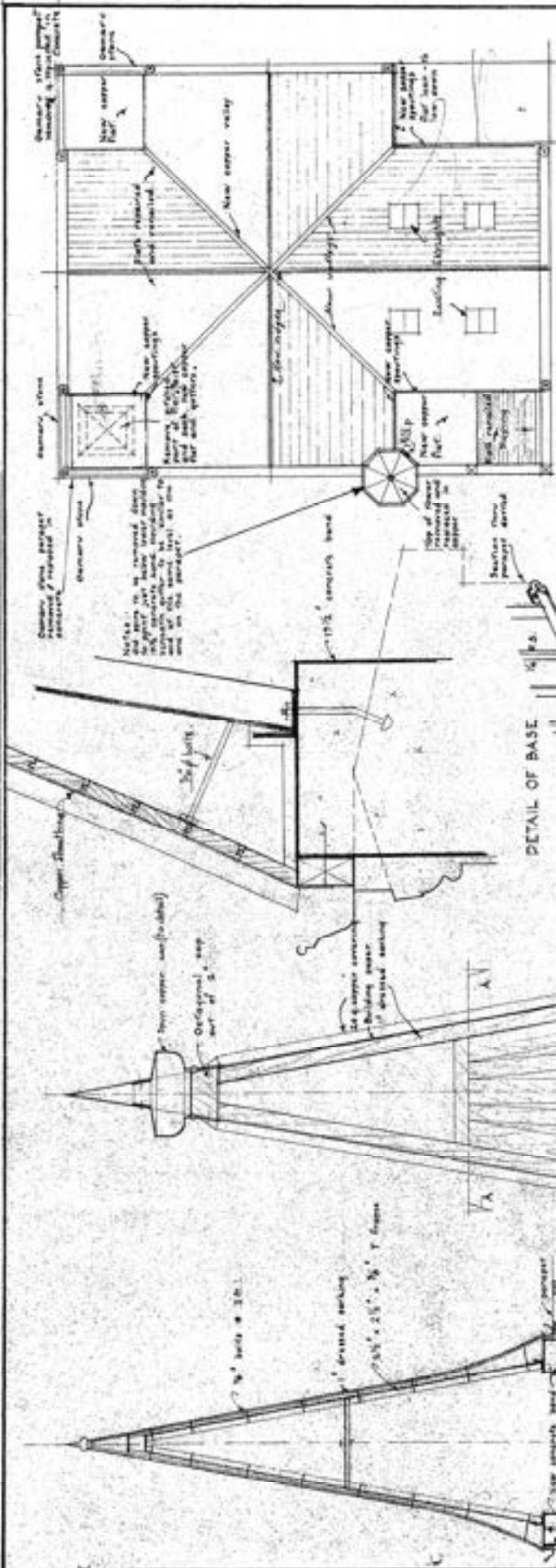
SALMOND & GIBB
 ARCHITECTS
 51, RIVER STREET
 DUNEDIN

ELEVATIONS

PROPOSED STRENGTHENING OF TRINITY METHODIST CHURCH
 STUART ST. - DUNEDIN

PROPOSED STRENGTHENING OF TRINITY METHODIST CHURCH
 STUART ST. - DUNEDIN

W. H. B. B. B.
 CIVIL ENGINEER
 100, RIVER STREET
 DUNEDIN



ROOF PLAN 1/2" = 1'-0"

DETAIL OF BASE 1/4" = 1'-0"

DETAIL OF FINIAL 1/4" = 1'-0"

SECTION THRU SPIRE 1/2" = 1'-0"

PLAN OF BASE 1/2" = 1'-0"

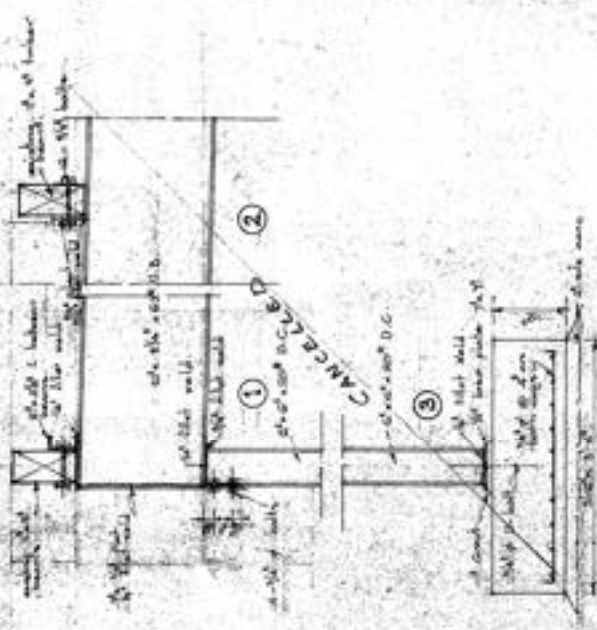
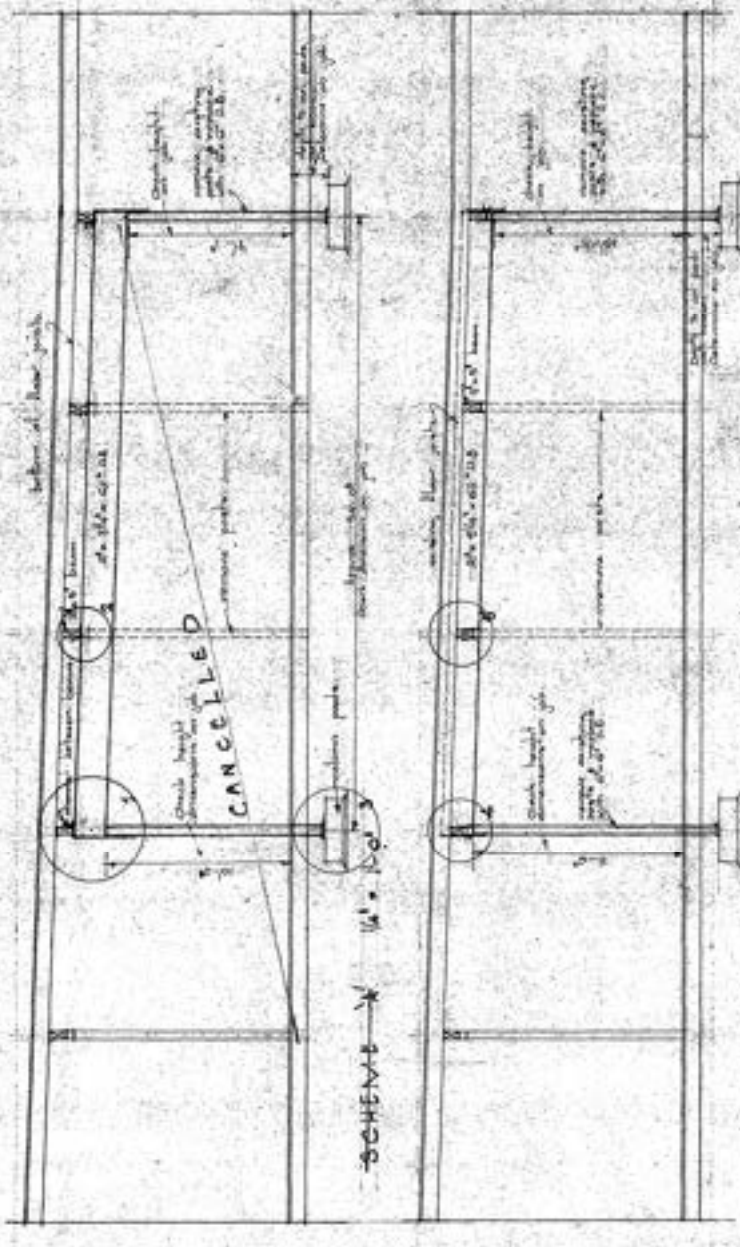
SECTION A-A

SECTION B-B

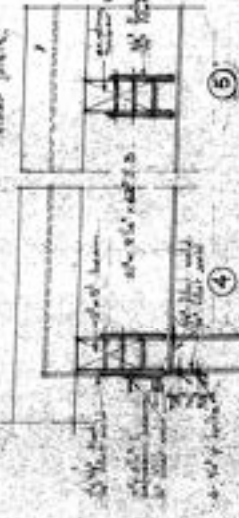
Sketch Reinforcing Bars at Mullioned Windows

STUART ST. ELEVATION

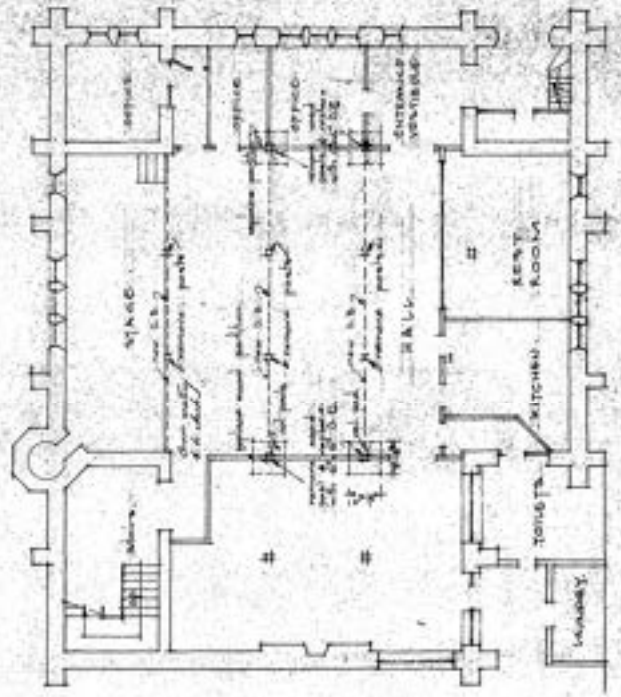
TRINITY CHURCH STUART STREET DUNEDIN	
PROPOSED NEW SPIRE	
DESIGNED BY	19
DATE	1922
DRAWN BY	
DATE	



DETAILS OF SCHEME A
10' x 10'



DETAILS OF SCHEME B
10' x 10'



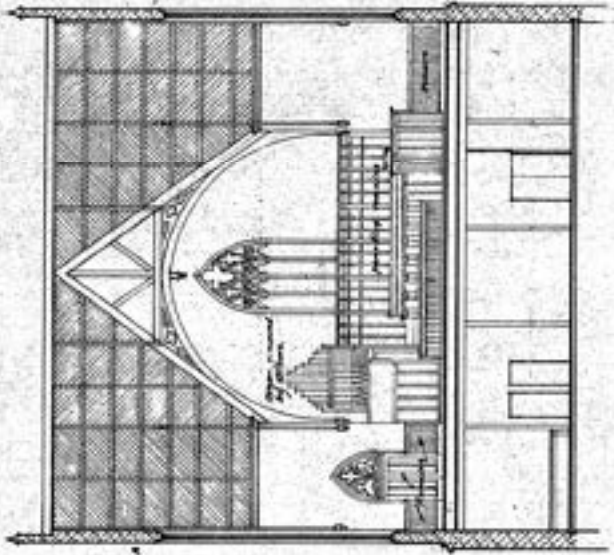
DESIGNED CITY CONSULTANTS
COPY OF APPROVED PLANS
OR SPECIFICATIONS
TO BE RETURNED TO WORK
AND PROVIDED TO THE
OFFICE OF BUILDING INSPECTION
DATE 11.7.16.6

CROSS SECTION THRU
U. B.

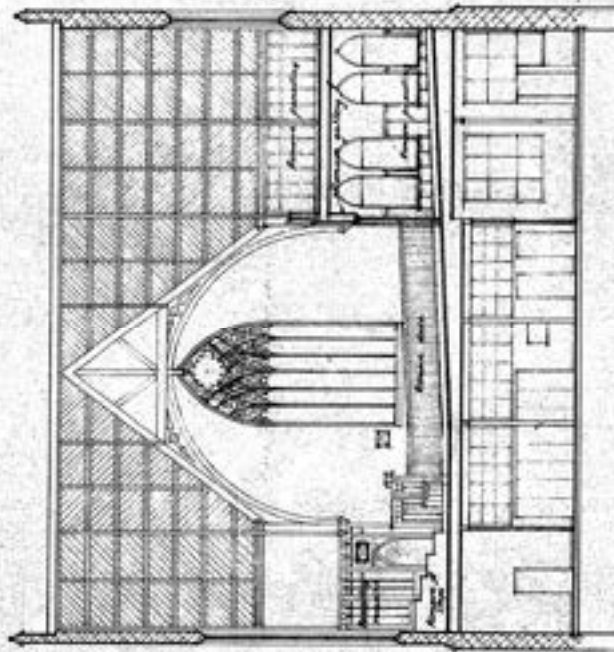
DETAILS OF SCHEME 'B'

15195

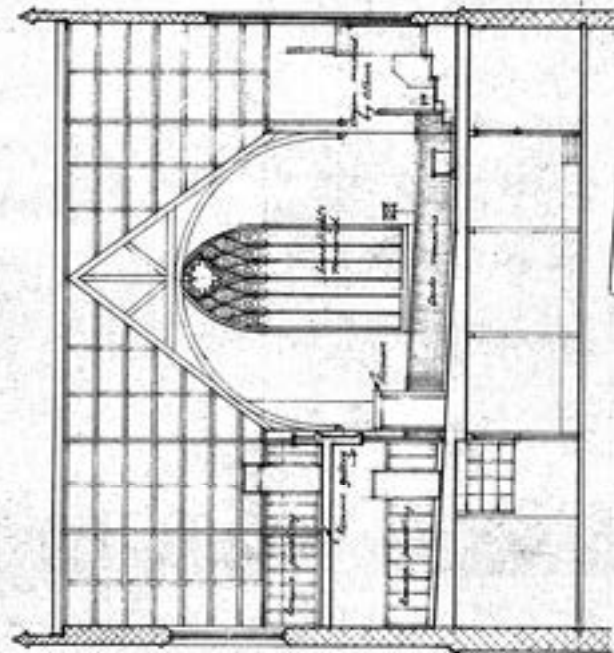
TRINITY METHODIST CHURCH STUART STREET BUNEDIN	DATE OF ISSUE 1952	DATE OF REVISION 1
DETAILS OF BASEMENT BEAMS	DATE OF ISSUE 1952	DATE OF REVISION 1



SECTION A-A



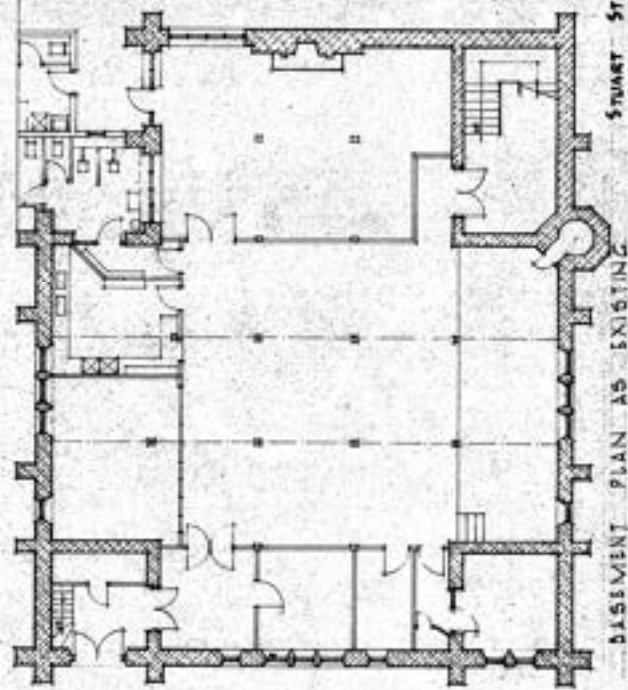
SECTION B-B



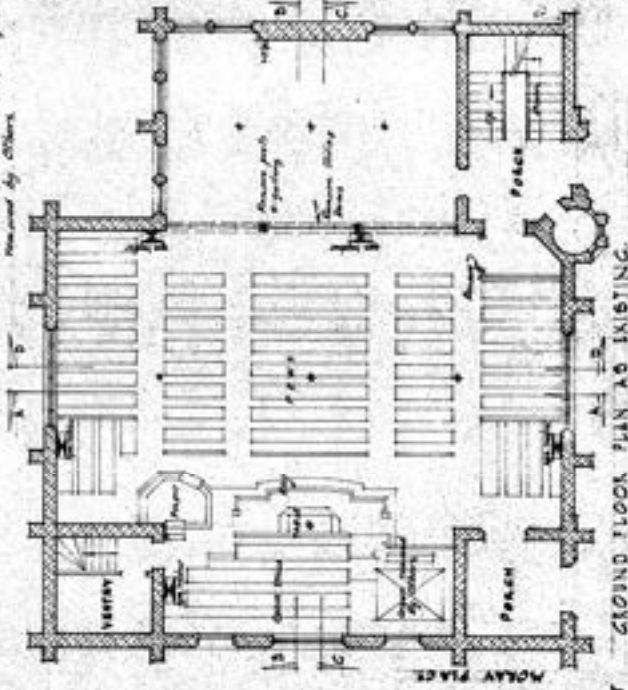
SECTION C-C

DUNSMUIR CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETURNED ON WORKS
 AND REPRODUCED ON REQUEST
 OF BUILDING INSPECTOR.
 1874

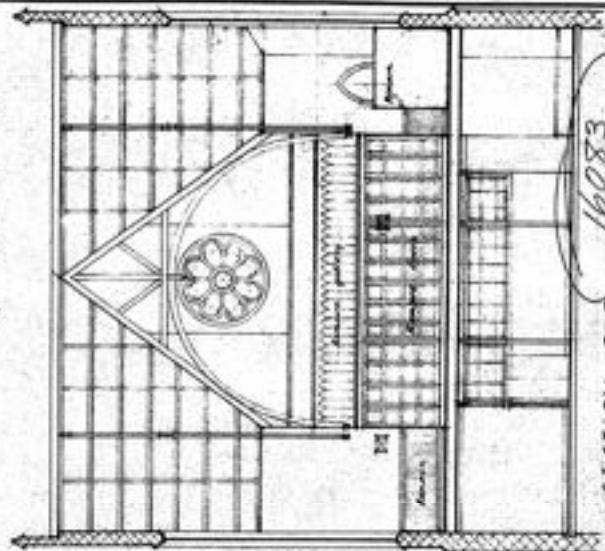
*Notes: Church shall remain Rectory,
 Parsonage, Choir, Vestry, Chapel,
 Communion Table & Sacristy,
 Unchanged by others*



BASEMENT PLAN AS EXISTING



GROUND FLOOR PLAN AS EXISTING

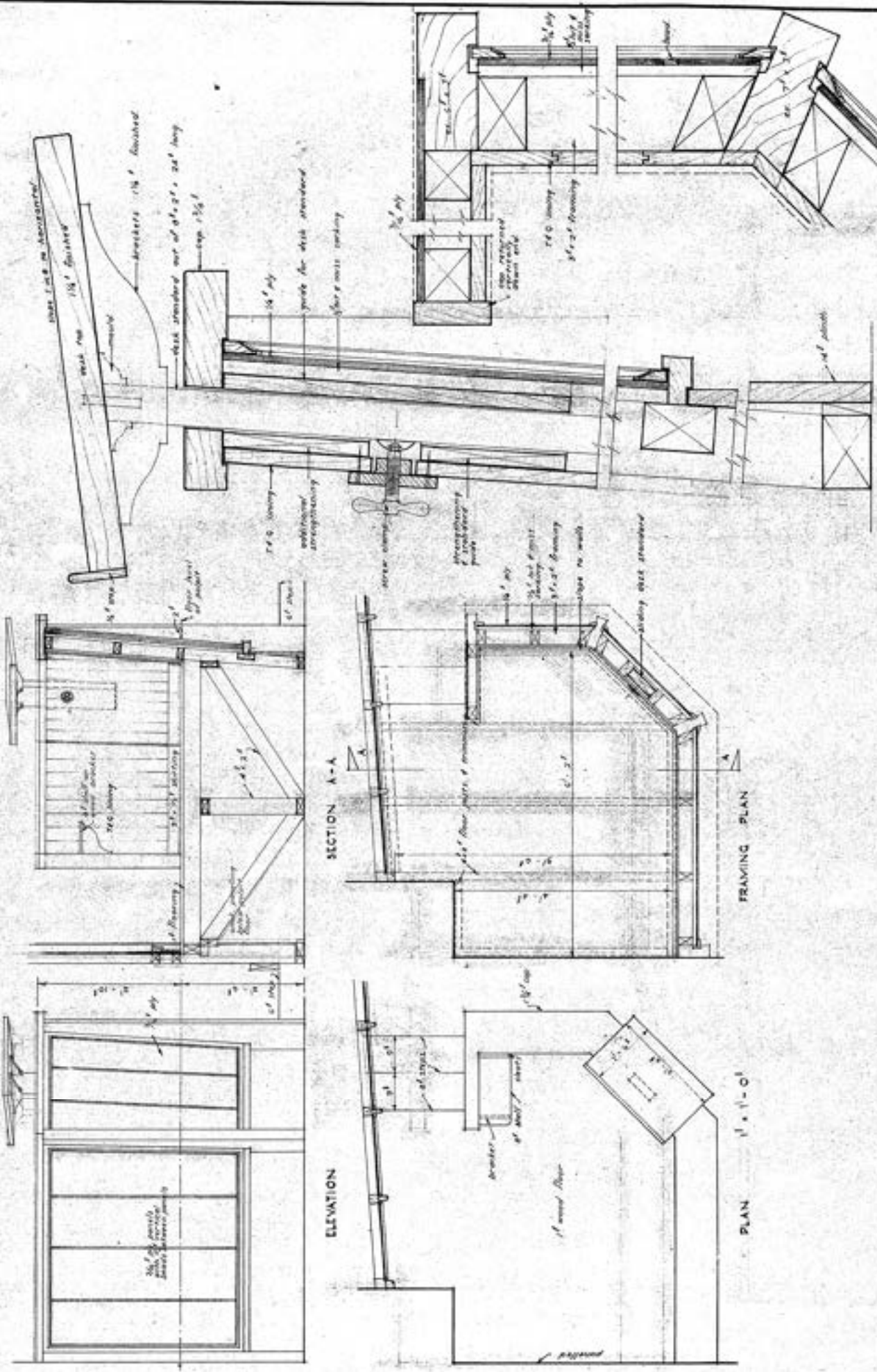


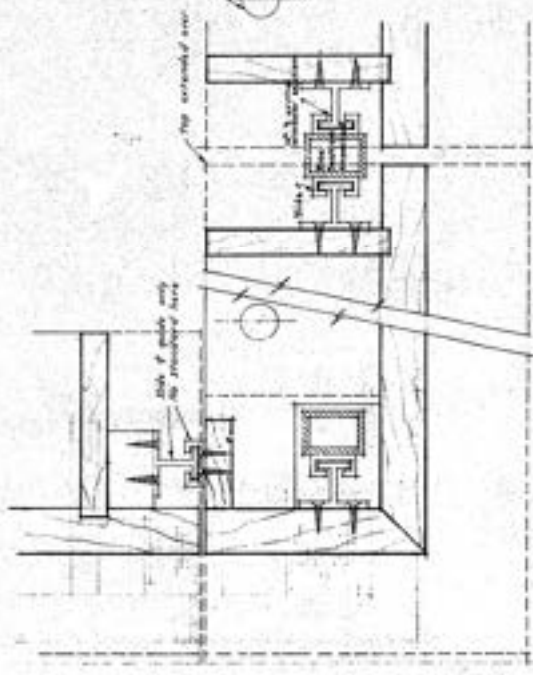
SECTION D-D

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH
 PLANS OF CHURCH AS EXISTING AT FEB. 1906

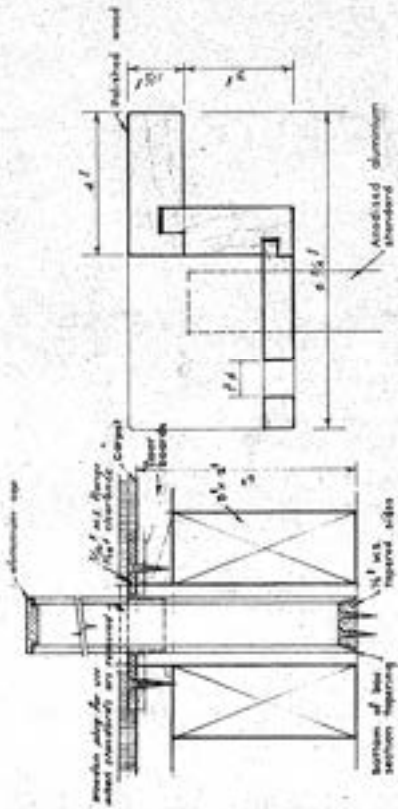
16083

DATE RECEIVED	1906
NO. OF SHEETS	352
SHEET NO.	1
PROJECT	TRINITY METHODIST CHURCH
DESIGNED BY	W. C. C. O.
CHECKED BY	
APPROVED BY	



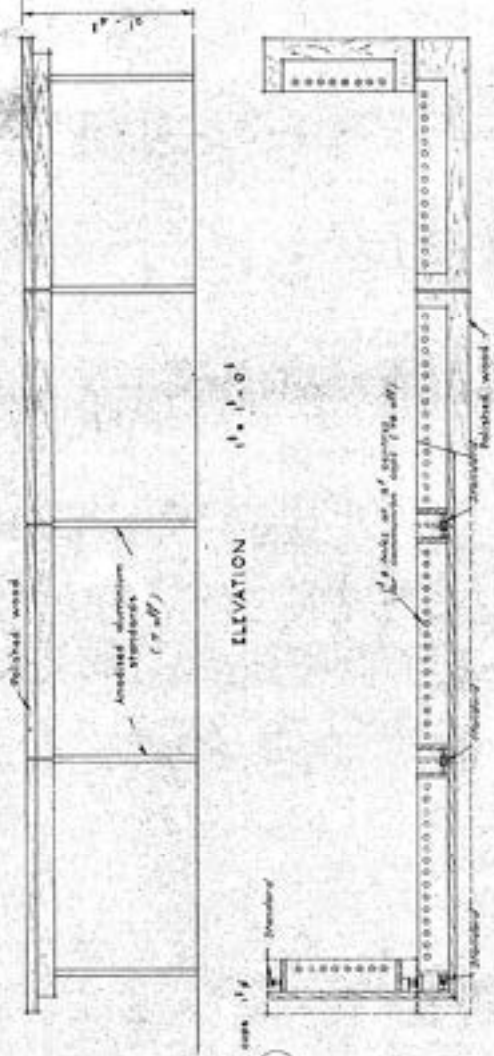


HALF P.S. PLAN DETAIL OF COMMUNION RAIL



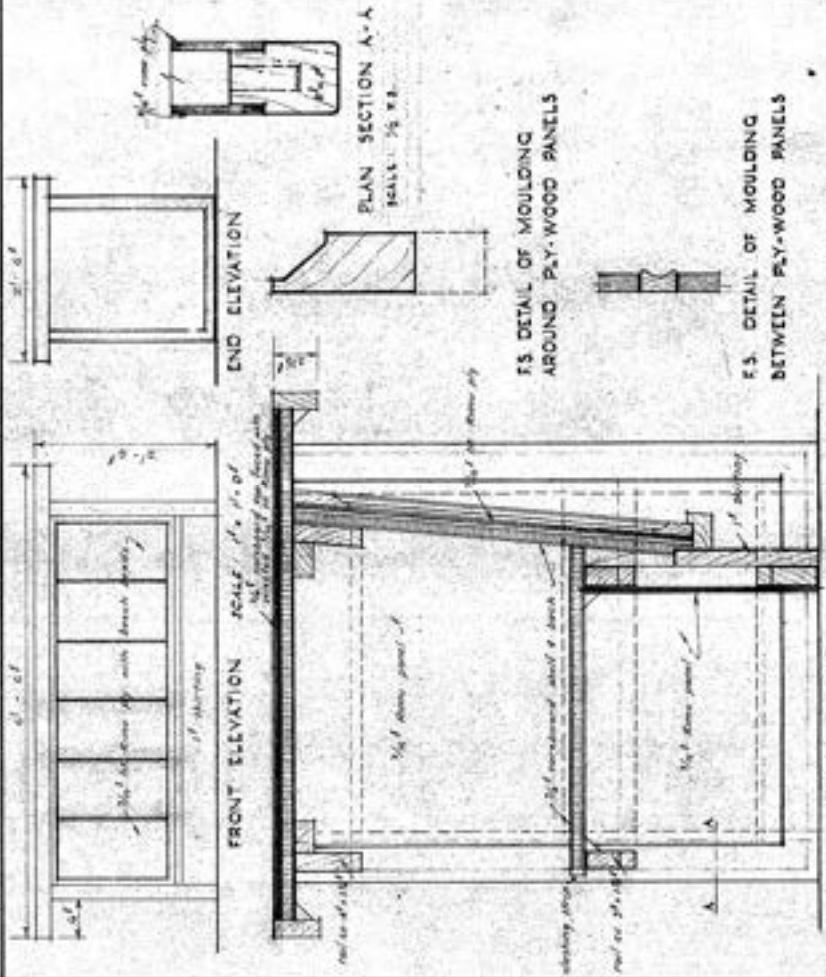
DETAIL AT BASE OF STANDARD SECTION THROUGH COMMUNION RAIL 1/2 P.S. SCALE: HALF FULL SIZE

COMMUNION RAIL - REMOVABLE



ELEVATION 1/2 P.S.

PLAN 1/2 P.S.



END ELEVATION

PLAN SECTION A-A SCALE: 1/2 P.S.

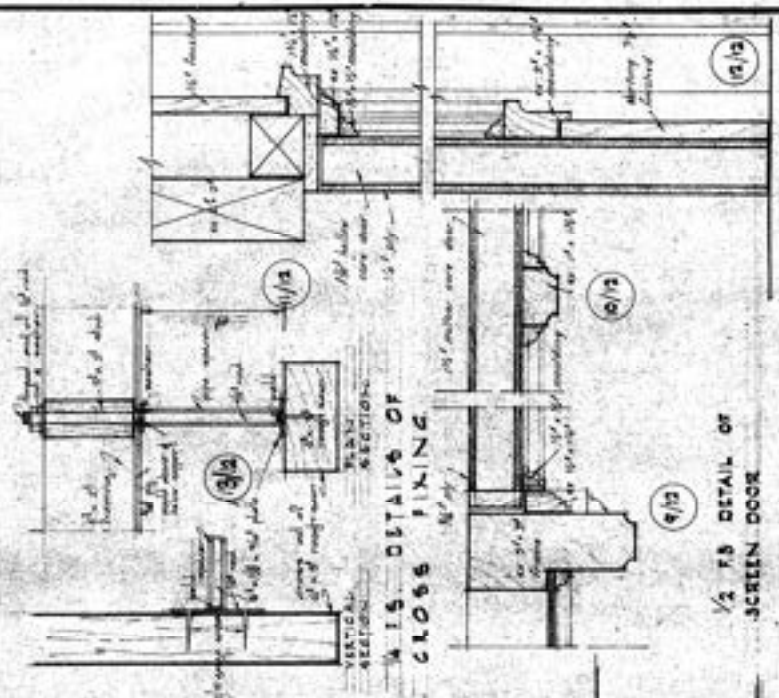
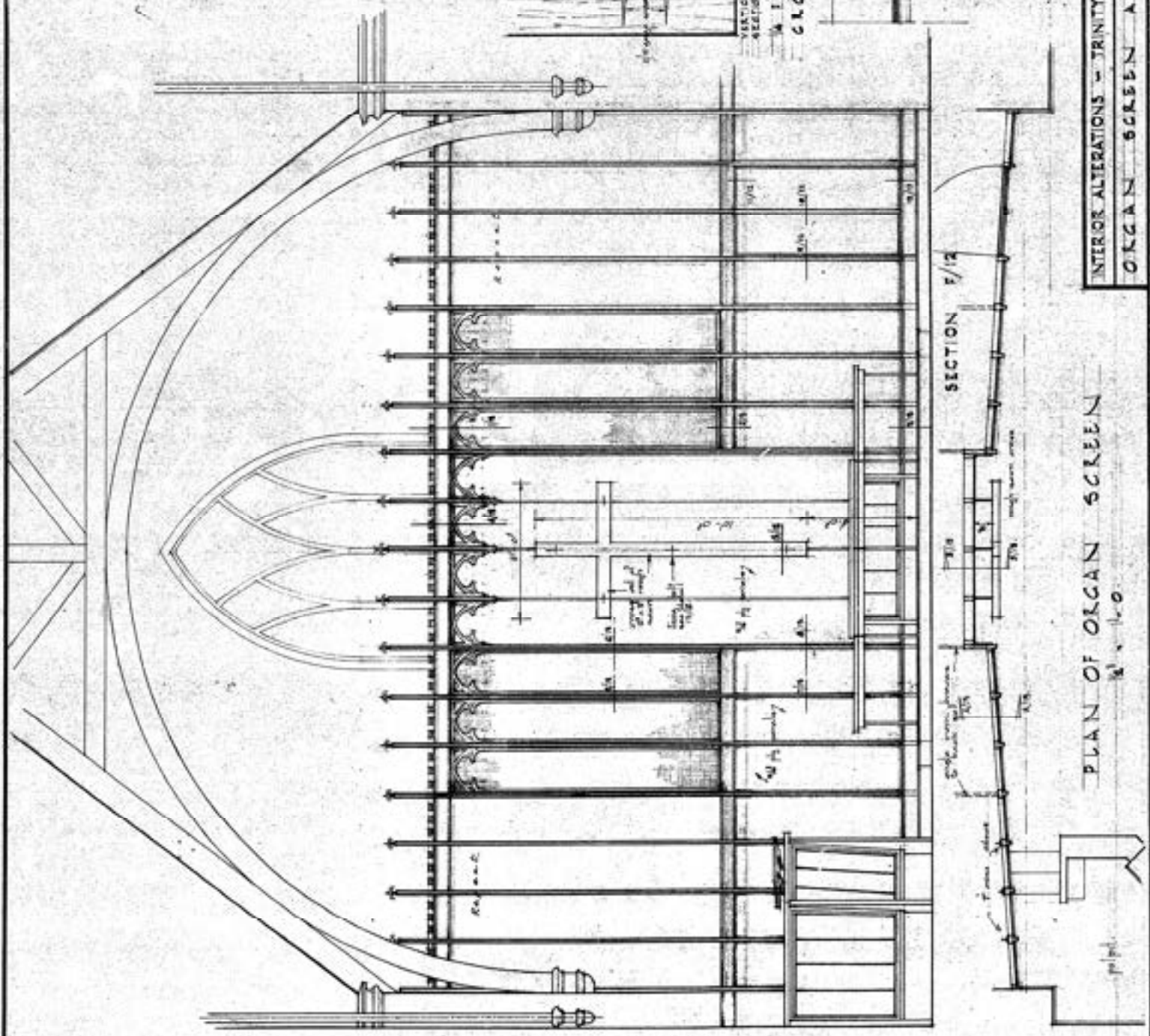
F.S. DETAIL OF MOULDING AROUND PLY-WOOD PANELS

F.S. DETAIL OF MOULDING BETWEEN PLY-WOOD PANELS

1/4 P.S. SECTION COMMUNION TABLE

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

DETAILS OF COMMUNION RAIL & TABLE



PLAN SECTION
VERTICAL SECTION

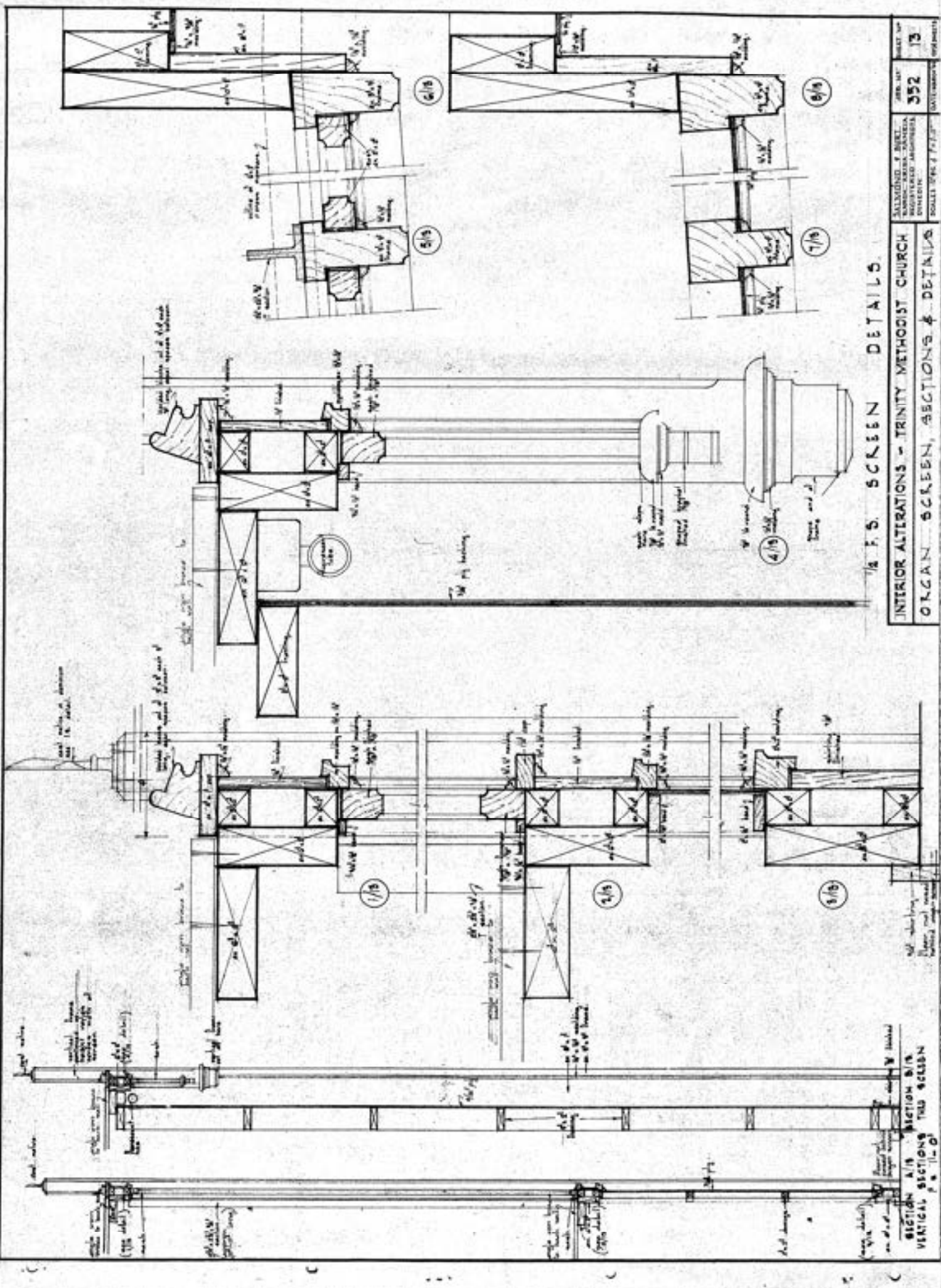
1/2 TO DETAIL OF SCREEN DOOR

PLAN OF ORGAN SCREEN

N. L. O.

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH.
ORGAN SCREEN AND DETAILS.

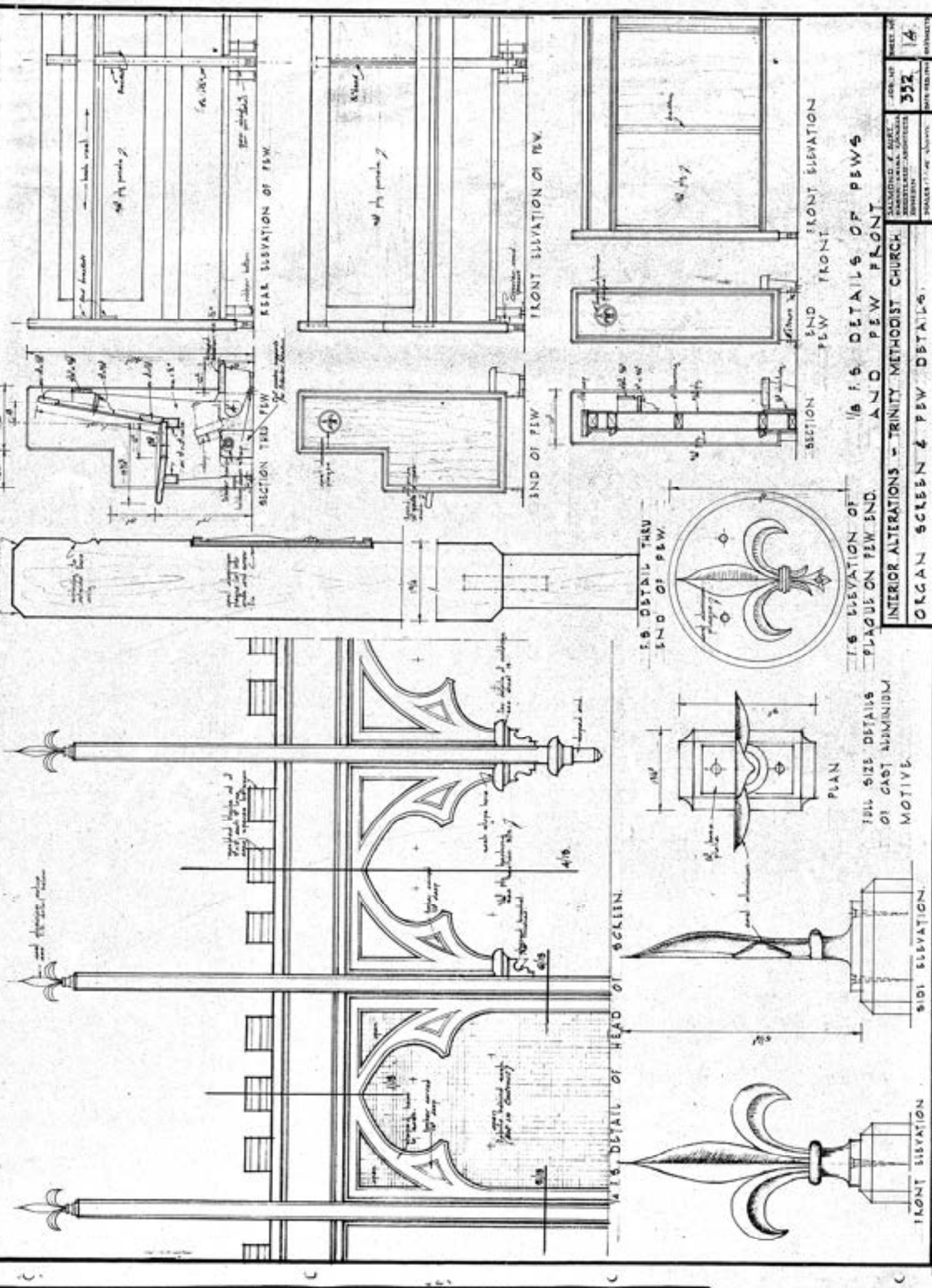
WALTON & BATES
REGISTERED ARCHITECTS
MINNEAPOLIS, MINN.
SHEET NO. 352 12



W. F. S. SCREEN DETAILS

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH ORGAN SCREEN, SECTIONS & DETAILS	ARCHITECT WASHINGTON, D. C.	SHEET NO. 352	SHEET OF 13
---	--------------------------------	-------------------------	-----------------------

SECTION 1/8 SECTION 9/8
 VERTICAL SECTIONS THROUGH SCREEN
 P. 11-0



REAR ELEVATION OF PEW

FRONT ELEVATION OF PEW

SECTION THROUGH PEW

END OF PEW

1/8" DETAIL THROUGH END OF PEW

SECTION

END PEW FRONT

FRONT ELEVATION

1/8" ELEVATION OF PLAQUE ON PEW END

1/8" 1/8" DETAILS OF PEWS AND PEW FRONT

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

ORGAN SCREEN & PEW DETAILS

FULL SIZE DETAILS OF CAST ALUMINUM MOTIVE

PLAN

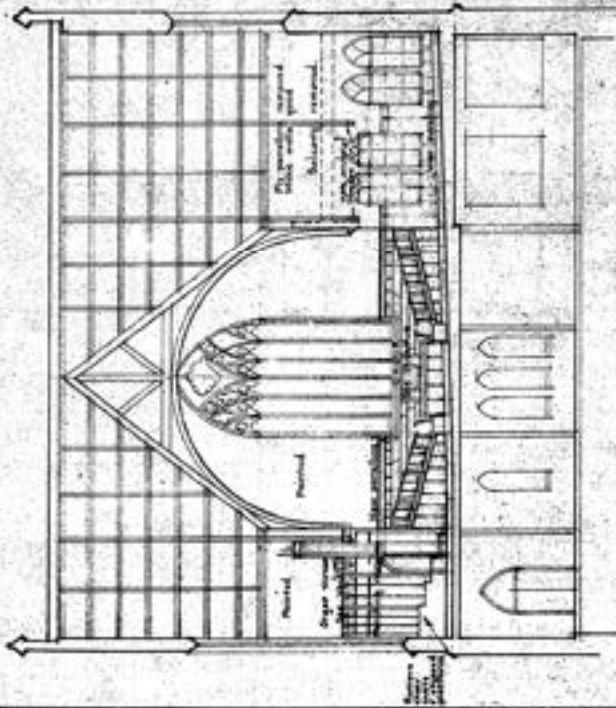
SIDE ELEVATION

FRONT ELEVATION

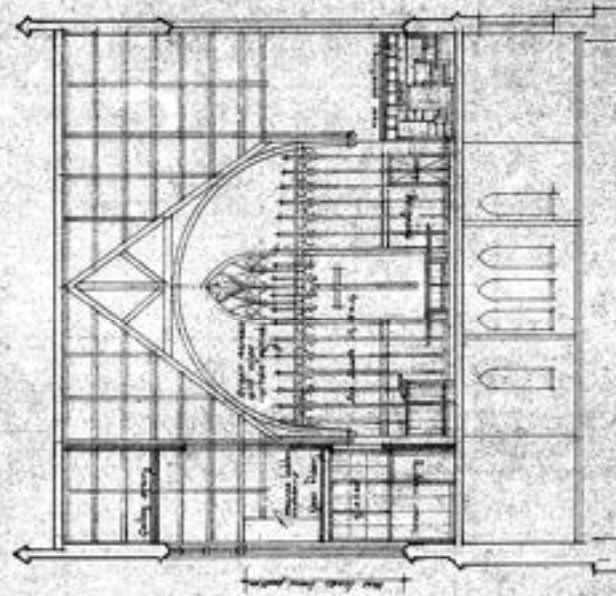
DATE	1/16
NO. OF SHEETS	332
PROJECT NO.	14

DESIGNED BY
 DRAWN BY
 CHECKED BY
 APPROVED BY

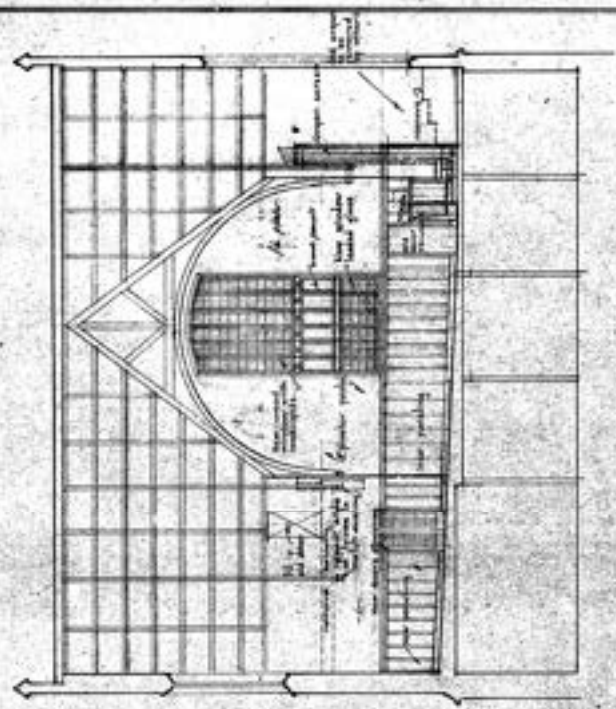
SCALE 1/4" = 1'-0"



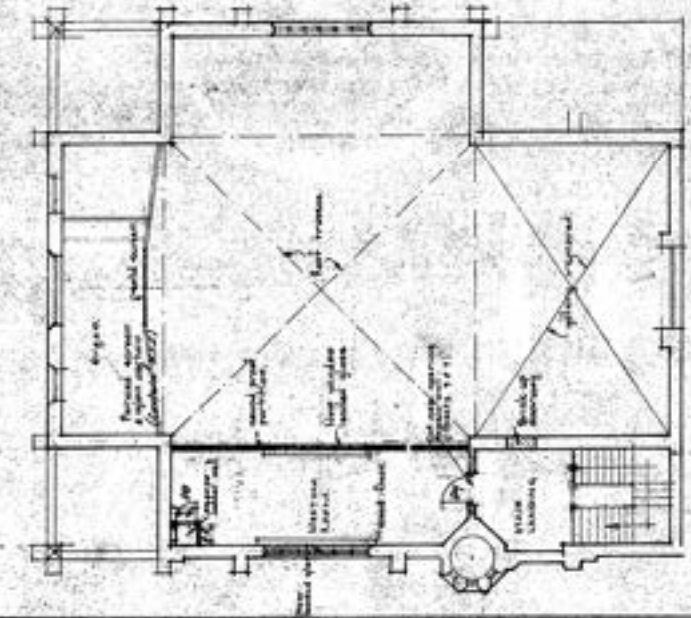
SECTION SOUTH WALL



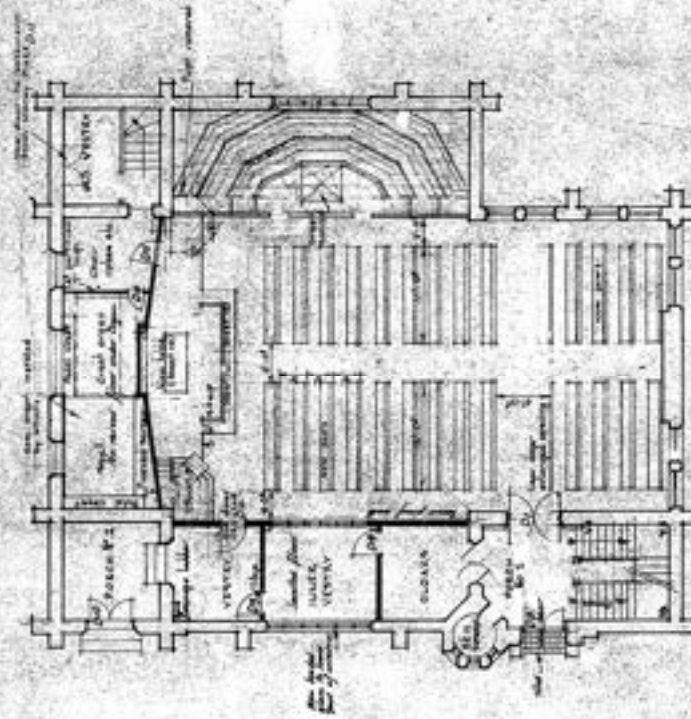
SECTION MORLEY PLACE WALL



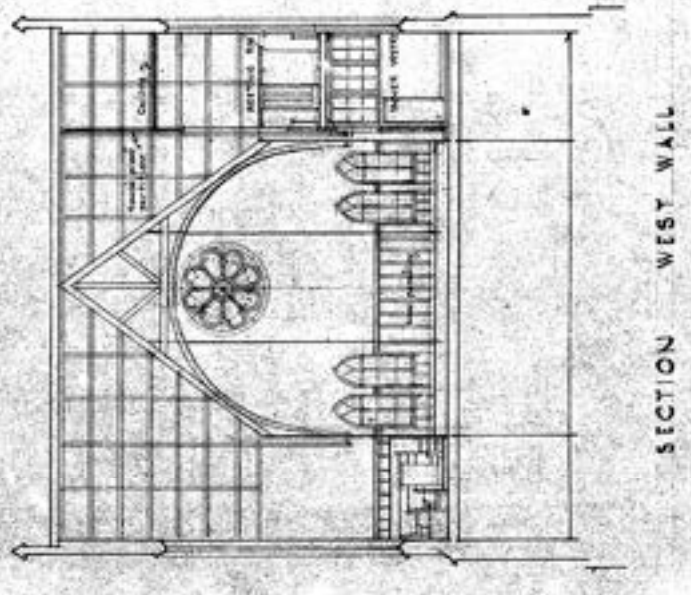
SECTION STUART ST. WALL



GROUND FLOOR PLAN UPPER PORTION



GROUND FLOOR PLAN



SECTION WEST WALL

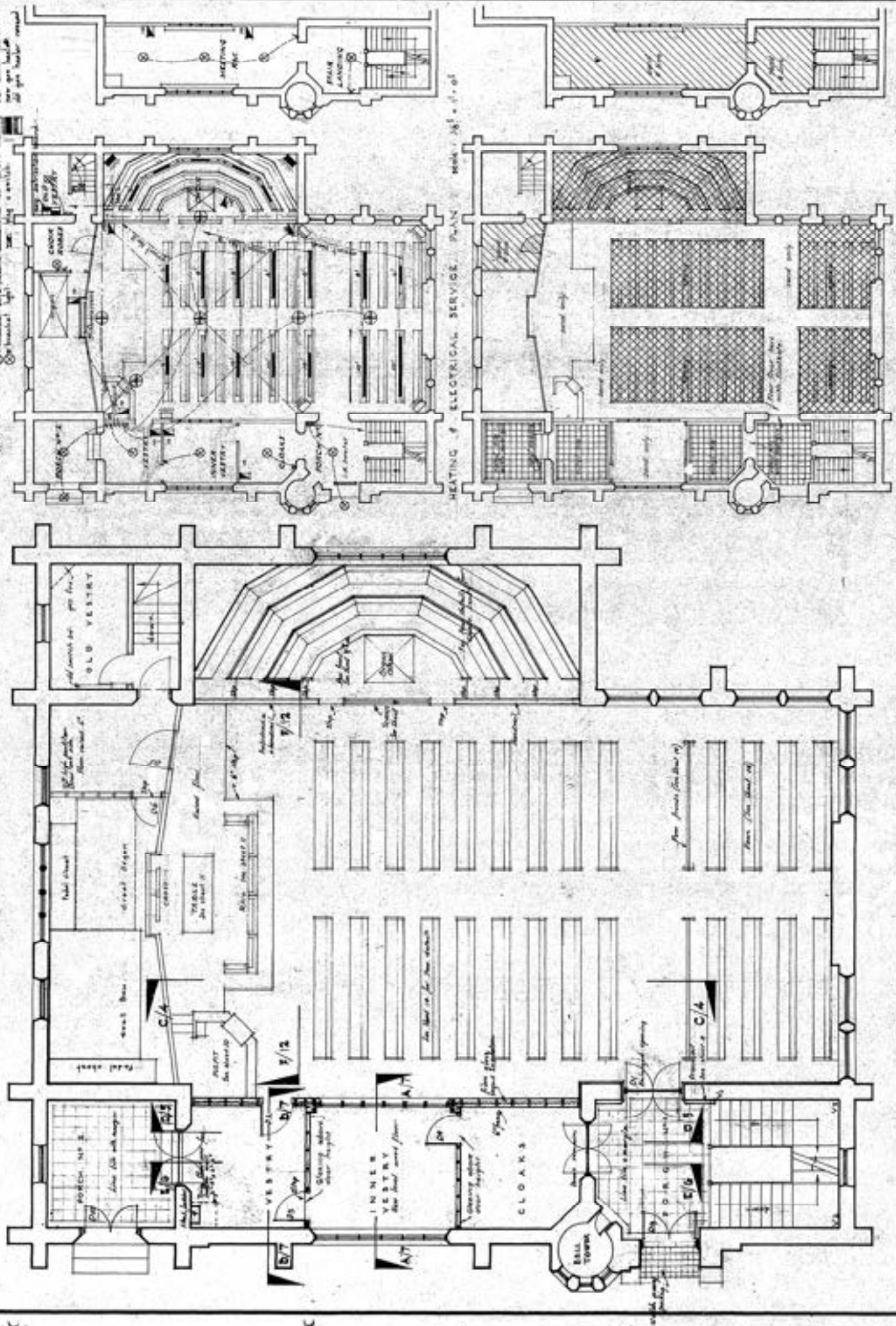
TRINITY METHODIST CHURCH
STUART STREET DUBLIN

PLANS AND SECTIONS

SCALE 1/8" = 1'-0"
 DRAWN BY J. H. GIBSON
 CHECKED BY J. H. GIBSON
 JOB NO. 1000
 DATE APRIL 1904

INDEX :-

See other sheets for details of alterations to be made to the building and to the interior.



HEATING & ELECTRICAL SERVICE PLAN

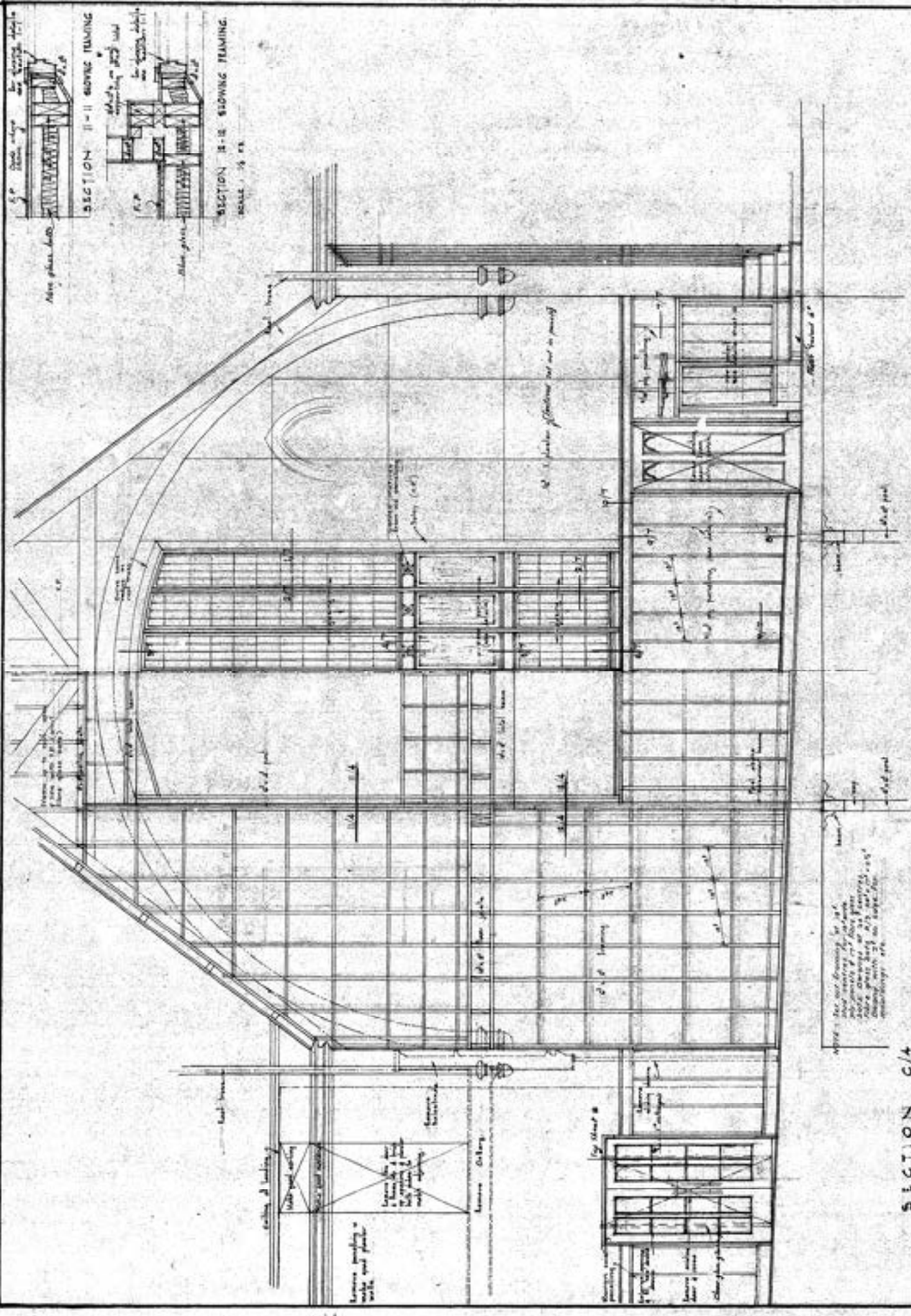
FLOOR COVERINGS

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

1/4" PLAN & SERVICE PLAN

352 3

ARCHITECTURE
REGISTERED ARCHITECTS
ENGINEERS

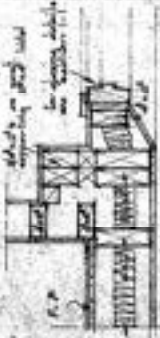


More glass built

SECTION 11-11 SHOWING FRAMING

SECTION 12-12 SHOWING FRAMING

SCALE: 1/8" = 1'



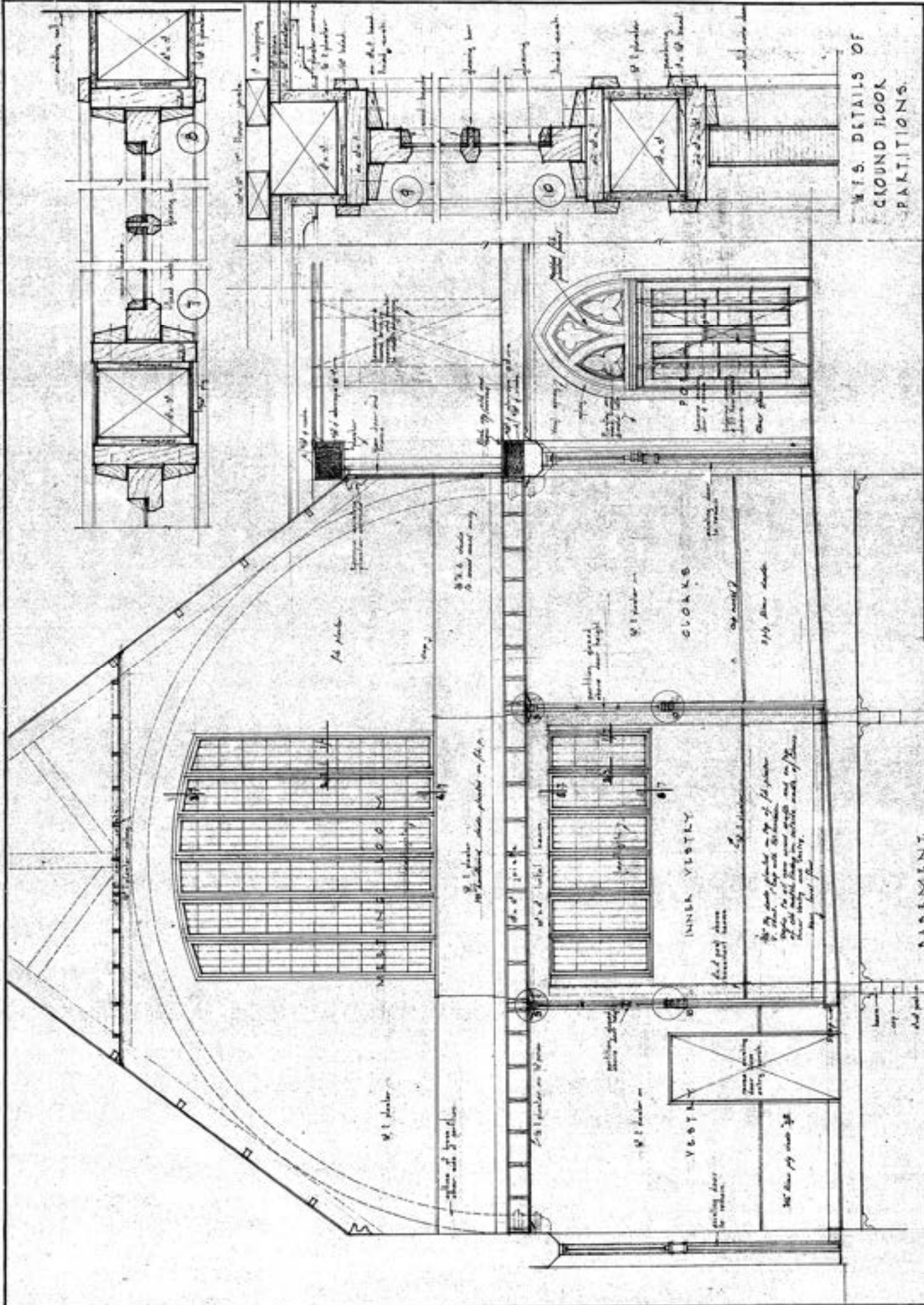
NOTE: See note regarding the use of masonry in the construction of the floor plate. Also note that the masonry work is to be finished with a smooth surface.

SECTION C/A

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

1/3 SECTION (SOUND PROOF WALL)

DESIGNED BY	W. W. WATSON
DRAWN BY	W. W. WATSON
CHECKED BY	W. W. WATSON
DATE	1917
PROJECT NO.	352
JOB NO.	4



W.S. DETAILS OF
GROUND FLOOR
PARTITIONS.

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH
1st SECTION THROUGH VESTRY & MEETING ROOM

W.S. DETAILS OF
GROUND FLOOR
PARTITIONS.

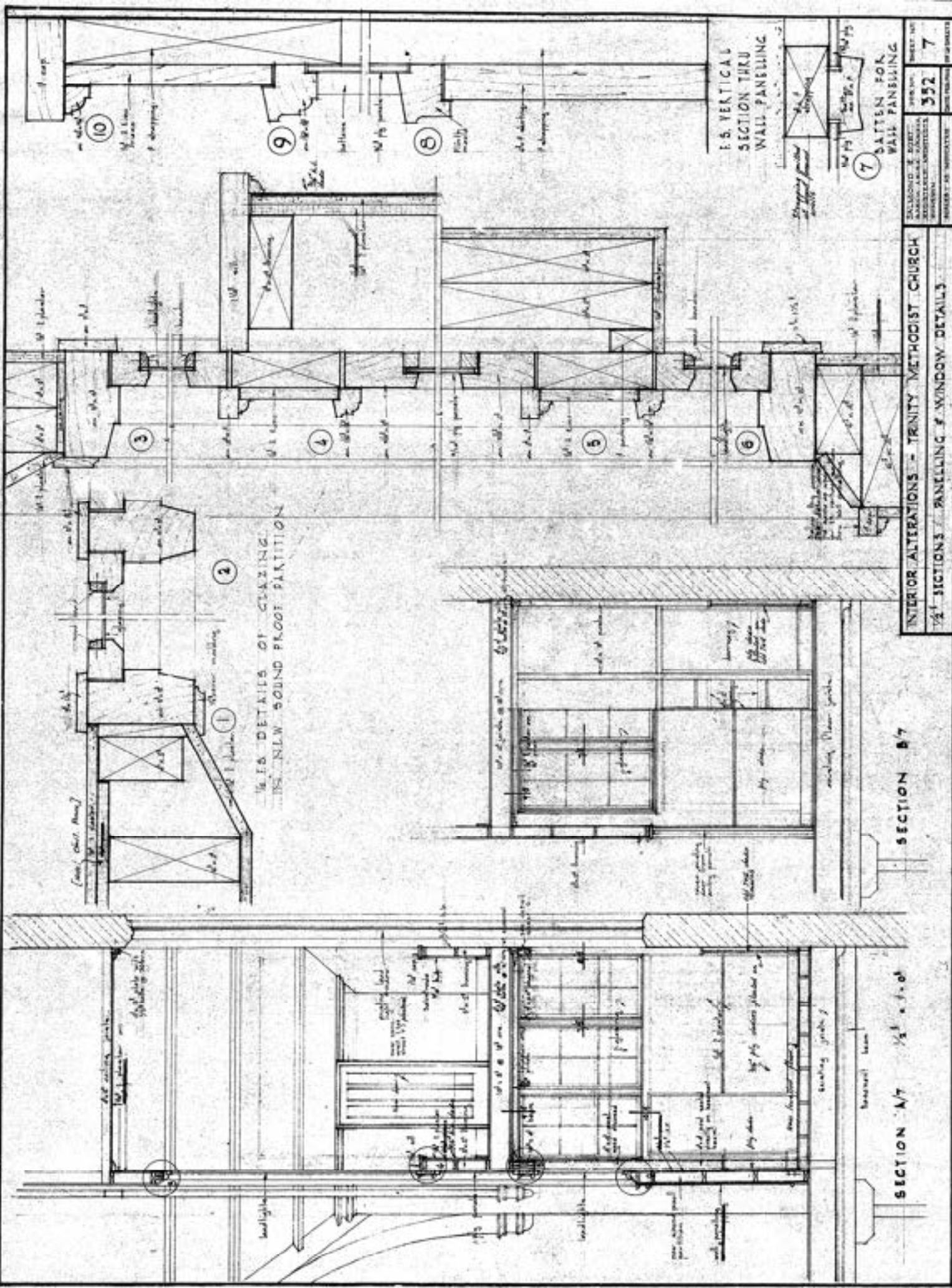
W.S. DETAILS OF
GROUND FLOOR
PARTITIONS.

BASSMENT

SECTION D/5

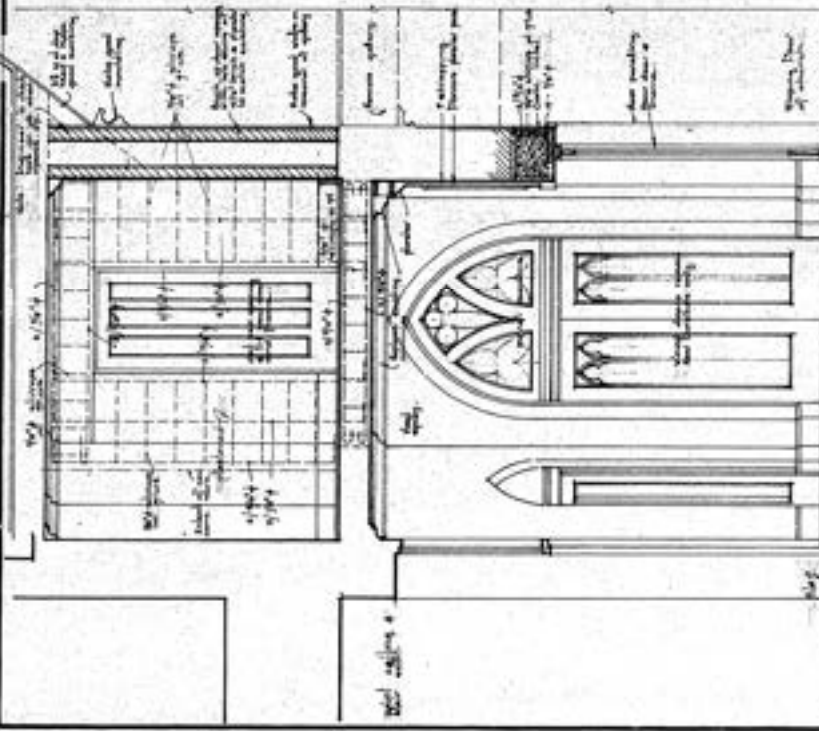
352
5

01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40

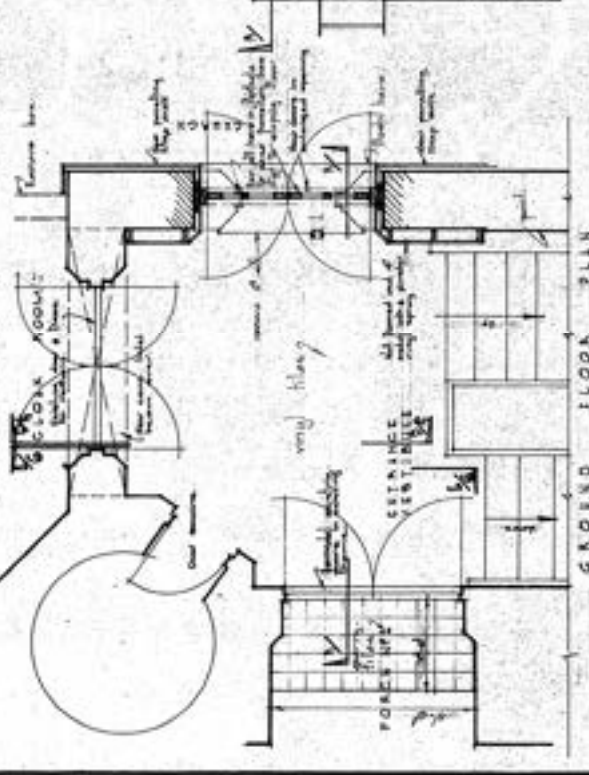


PROJECT - ARCHITECT	NO. 352	SHEET NO. 7
DRAWN BY	352	7
CHECKED BY		
DATE		

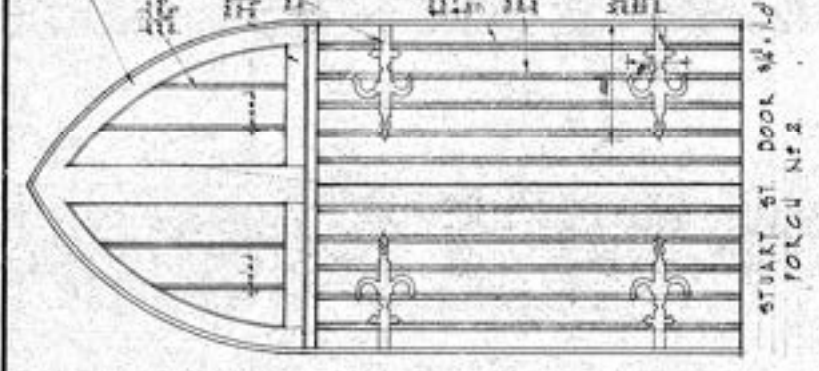
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40



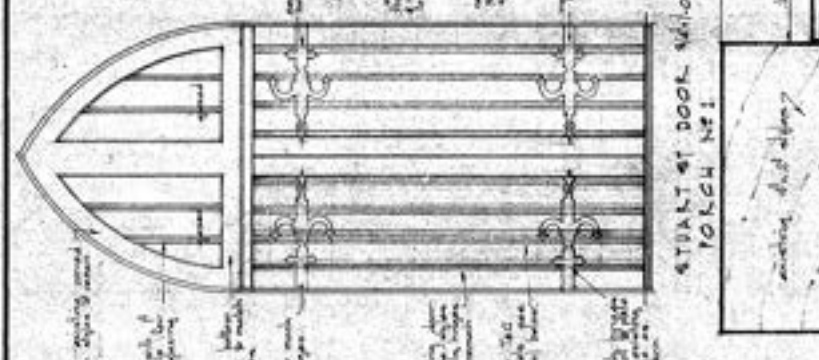
SECTION A-A



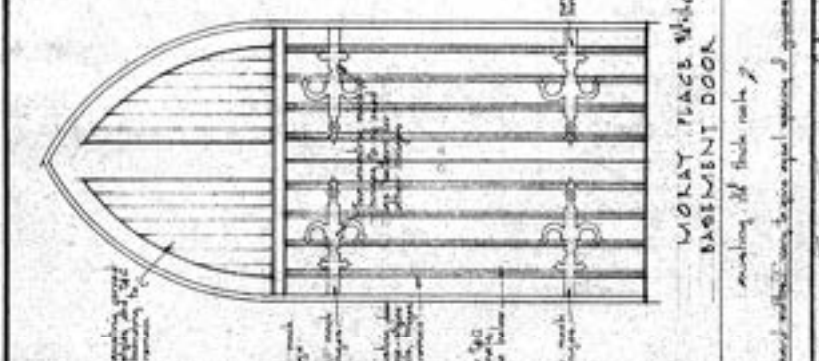
GROUND FLOOR PLAN



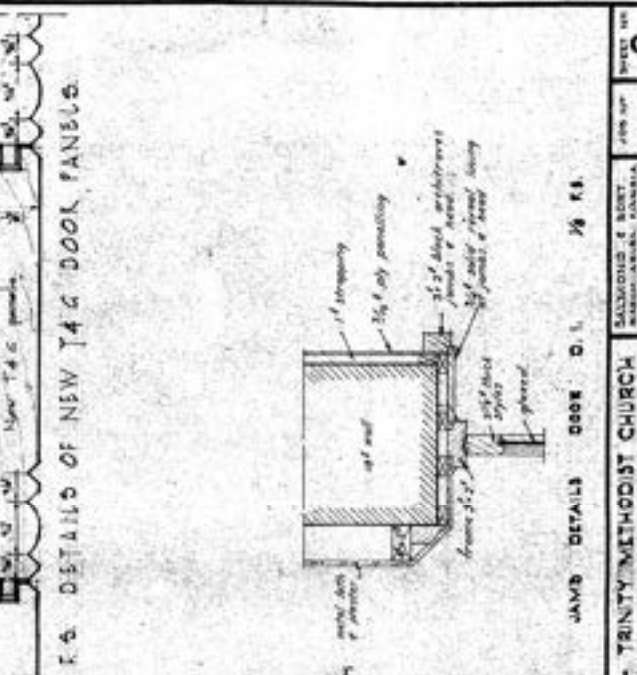
STUART ST. DOOR NO. 2



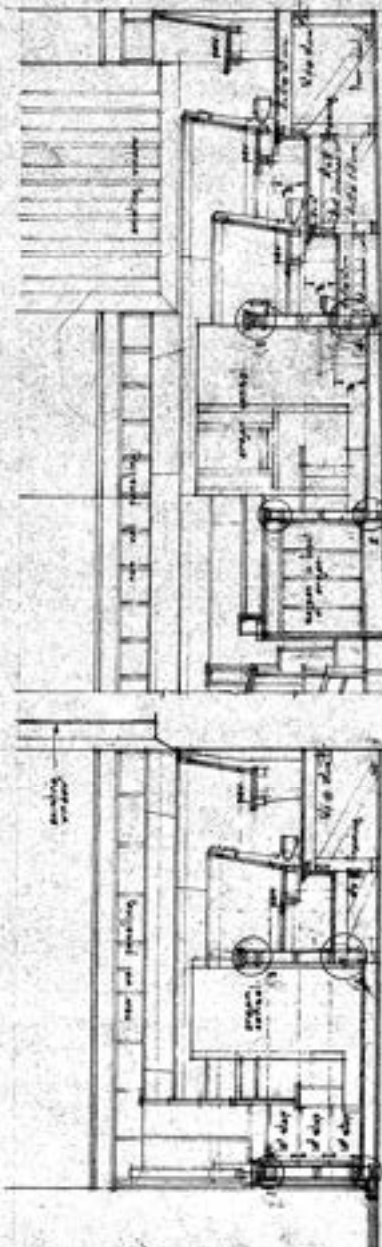
STUART ST. DOOR NO. 1



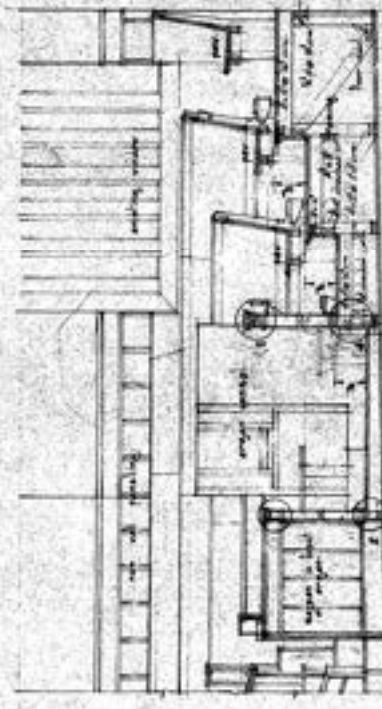
WOLLEY PLACE WOOD BASEMENT DOOR



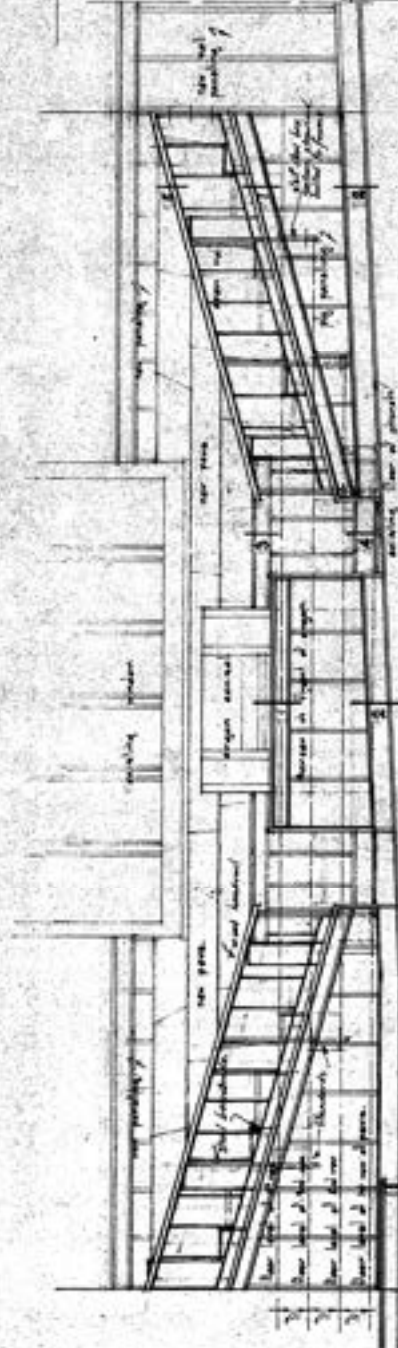
JAMB DETAILS DOOR D. 1.



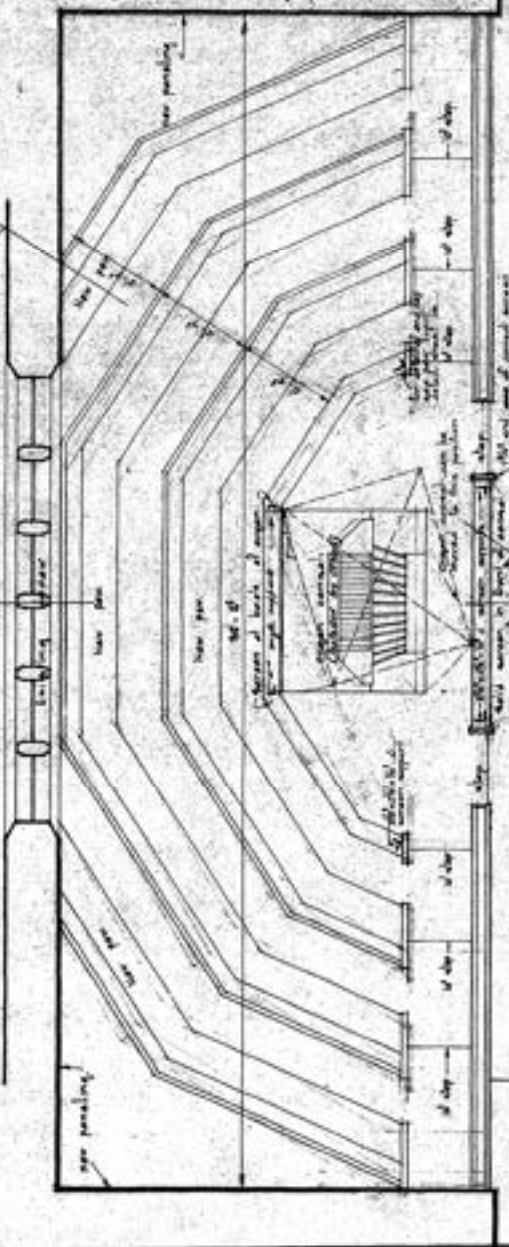
SECTION A-A



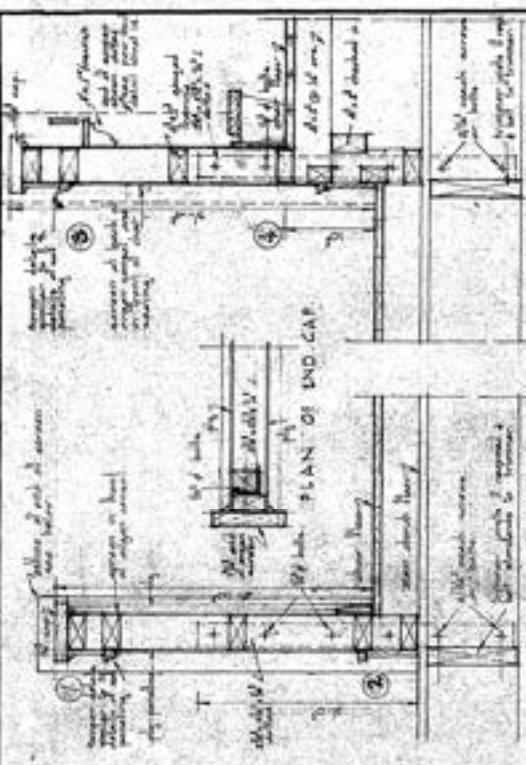
SECTION B-B



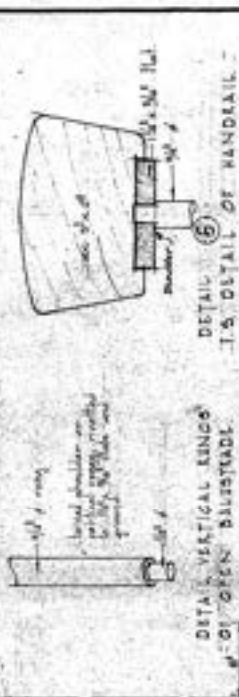
FRONT ELEVATION OF CHOIR SEATING



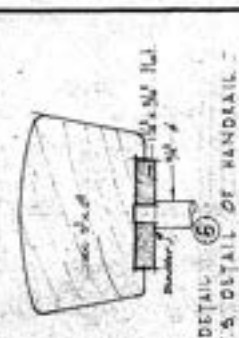
PLAN OF CHOIR SEATING



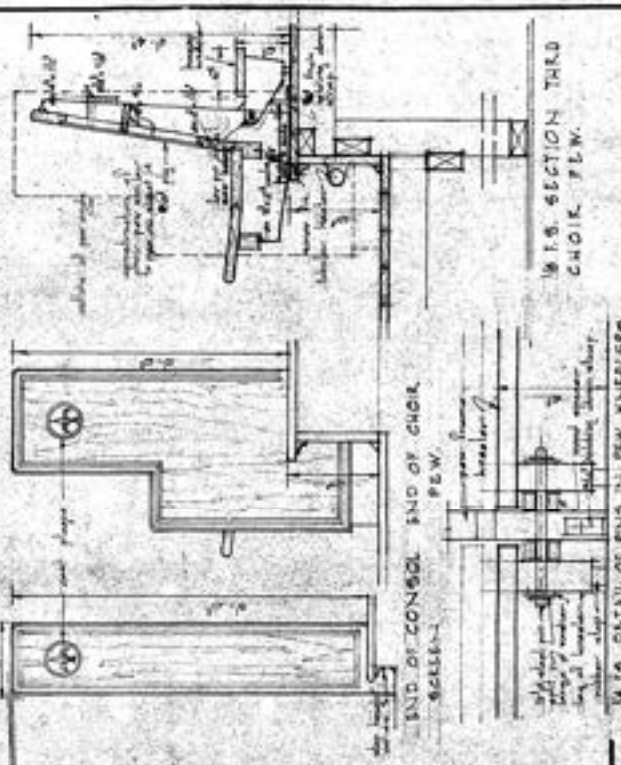
W.T.6 SECTION OF CONSOLE SCREEN & CHOIR FRONT.



DETAIL VERTICAL RINGS & OF OPEN BALUSTRADE

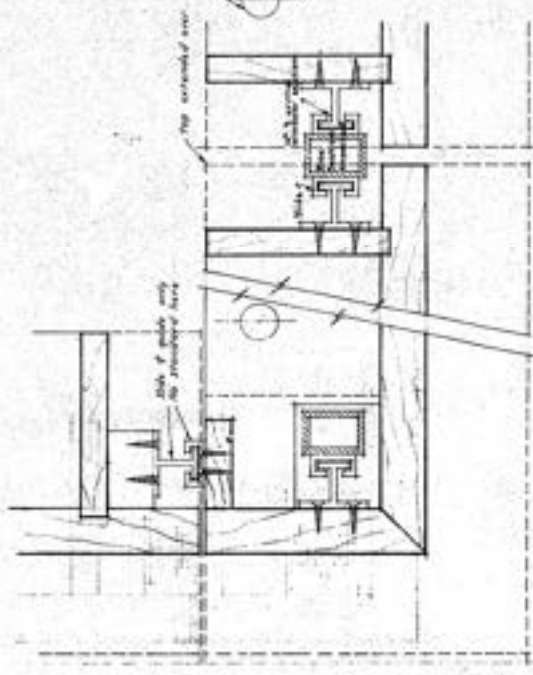


DETAIL OF HANDRAIL

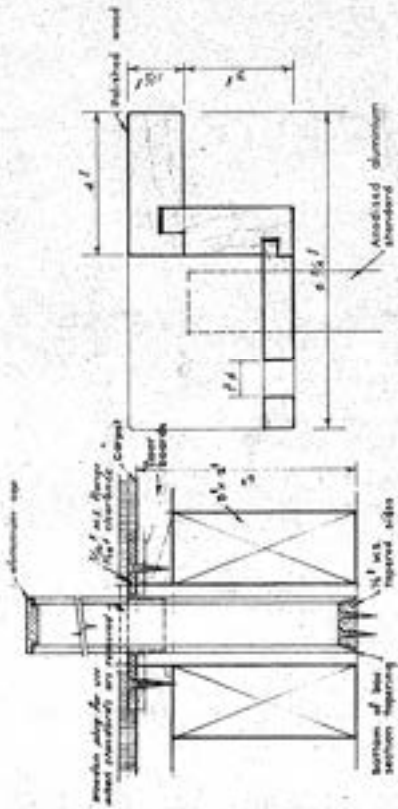


W.T.8 SECTION THIRD CHOIR FEW.

W.T.6 DETAIL OF PINS IN FEW KNEESLERS

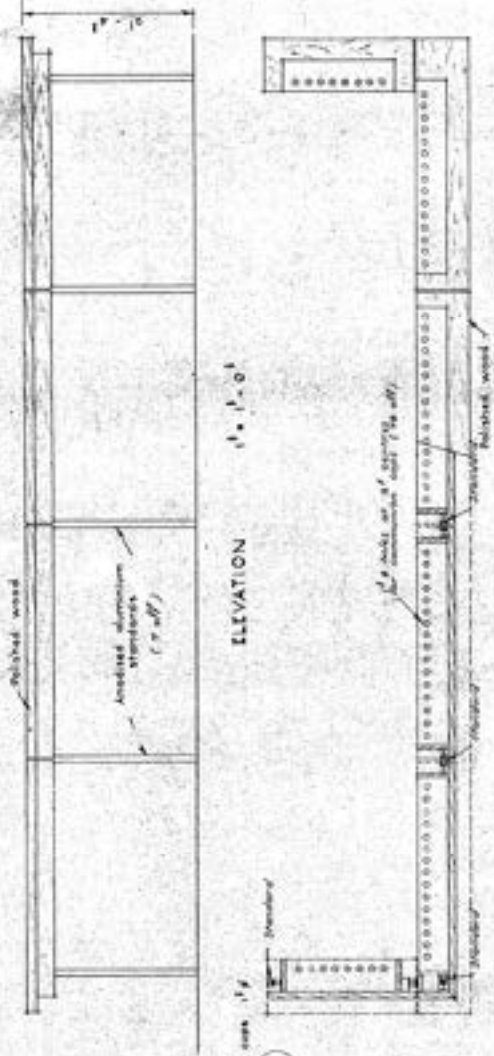


HALF F.S. PLAN DETAIL OF COMMUNION RAIL



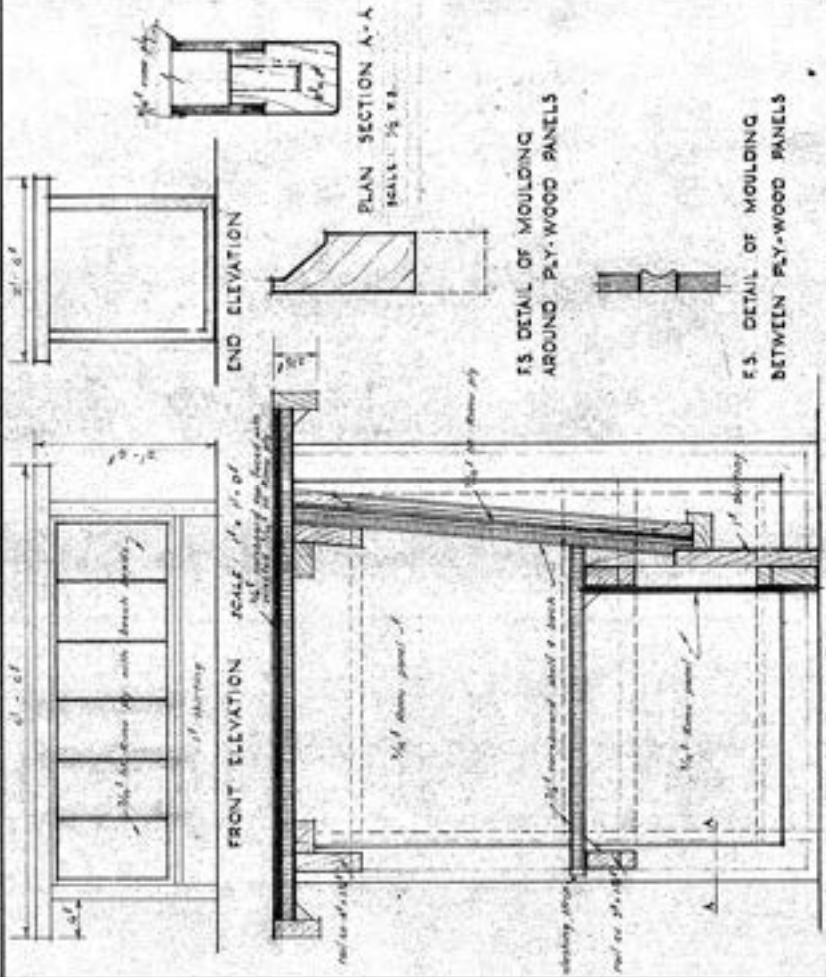
DETAIL AT BASE OF STANDARD COMMUNION RAIL 1/2 F.S.
SCALE: 1/2\"/>

COMMUNION RAIL - REMOVABLE



ELEVATION 1/2 F.S.

PLAN



FRONT ELEVATION SCALE: 1/2 F.S.

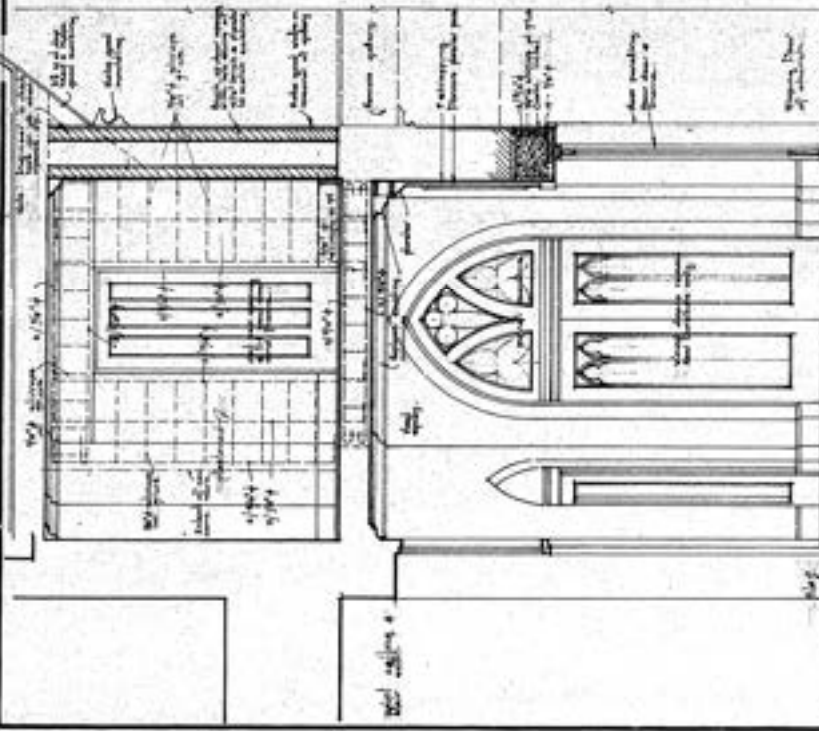
END ELEVATION SCALE: 1/2 F.S.

F.S. DETAIL OF MOULDING AROUND PLY-WOOD PANELS

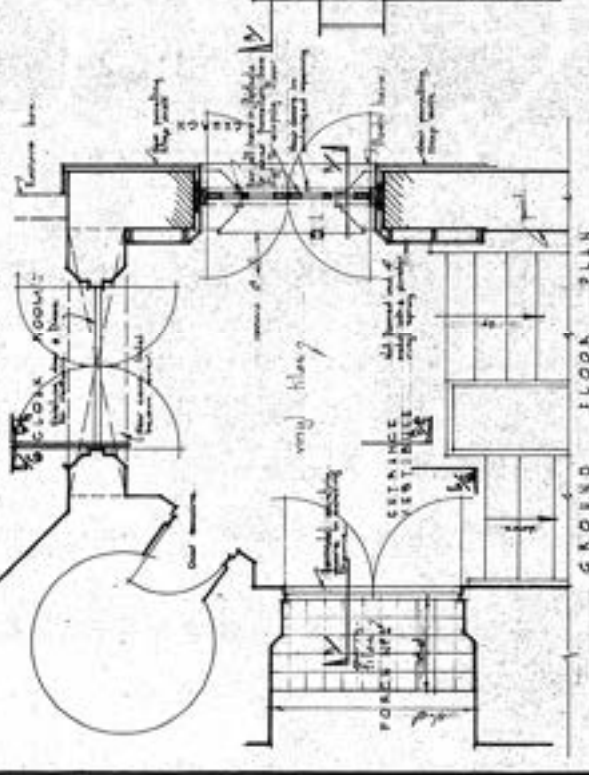
F.S. DETAIL OF MOULDING BETWEEN PLY-WOOD PANELS

1/4 F.S. SECTION COMMUNION TABLE

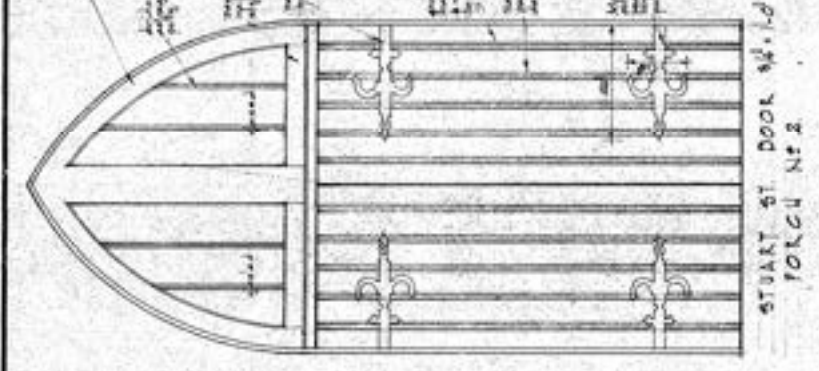
INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH
DETAILS OF COMMUNION RAIL & TABLE



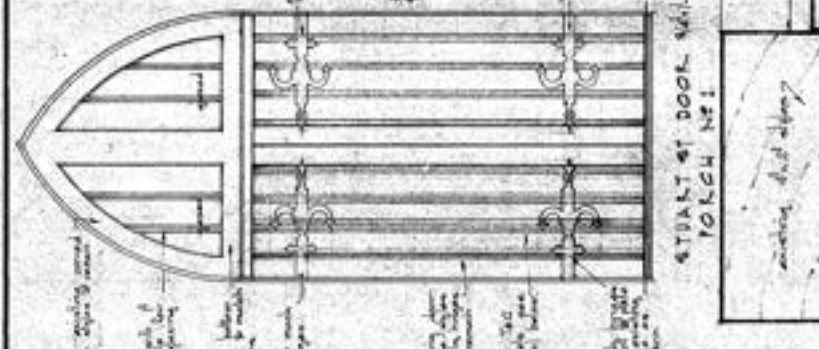
SECTION A-A



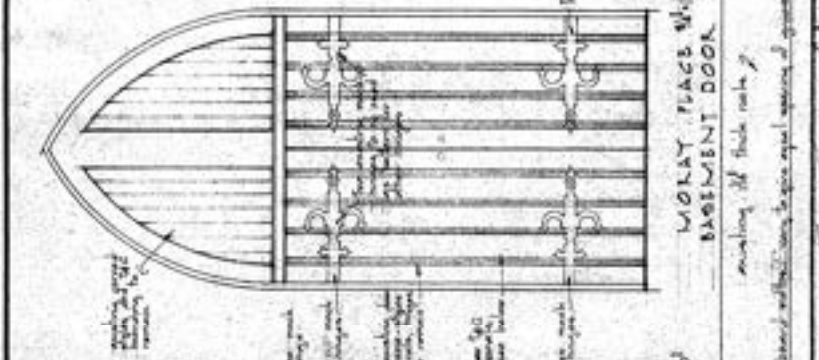
GROUND FLOOR PLAN



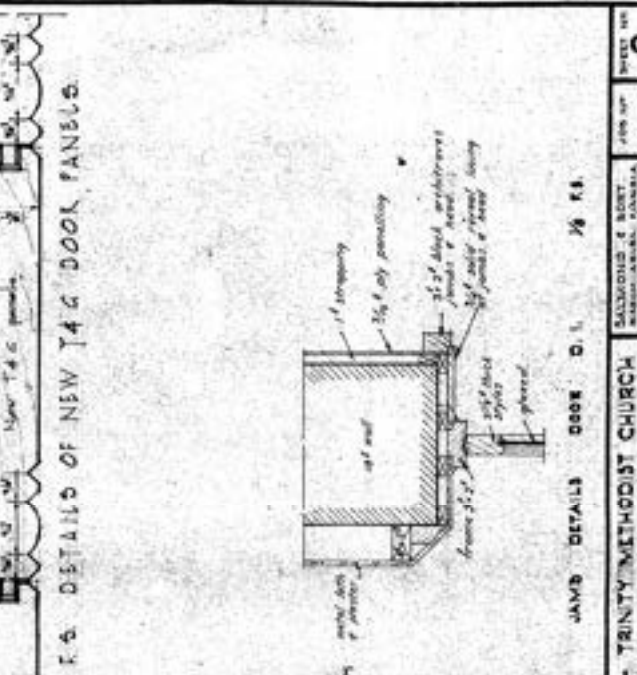
STUART ST. DOOR NO. 2



STUART ST. DOOR NO. 1

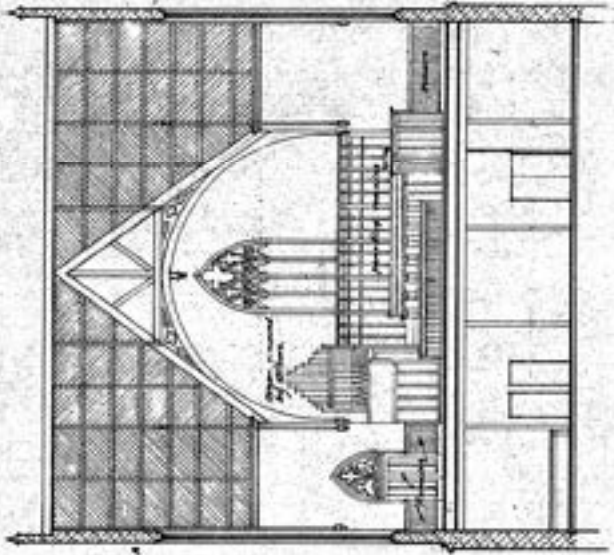


WOLLEY PLACE W.I.D. BASEMENT DOOR

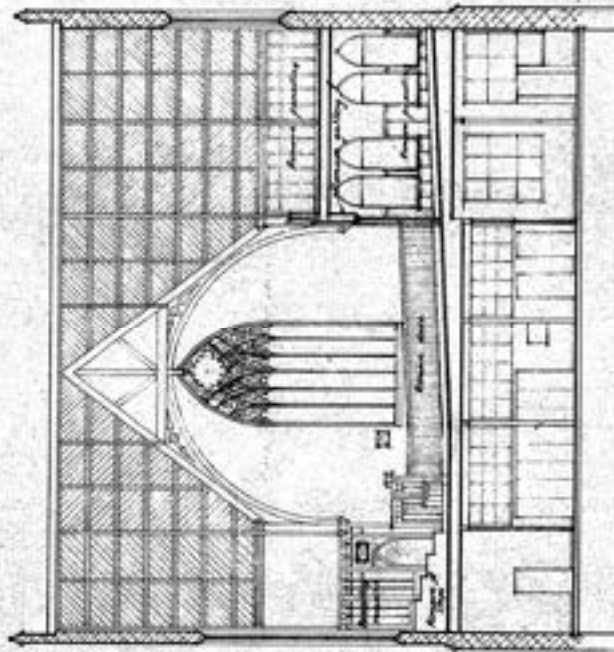


JAMB DETAILS DOOR D.S. 2/8 K.S.

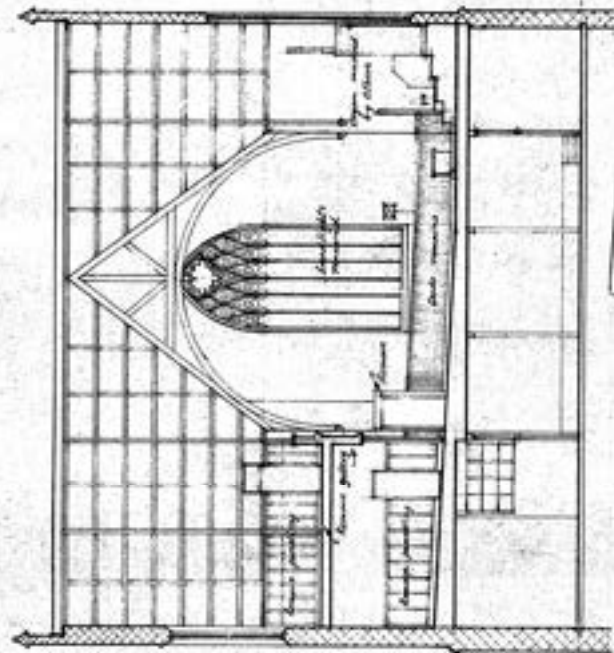
INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH
ENTRANCE VESTIBULE & EXTERIOR DOORS



SECTION A-A



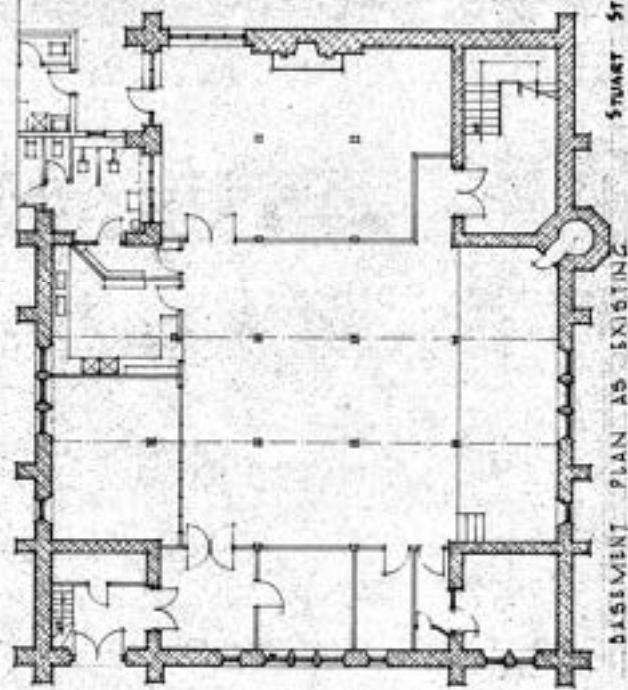
SECTION B-B



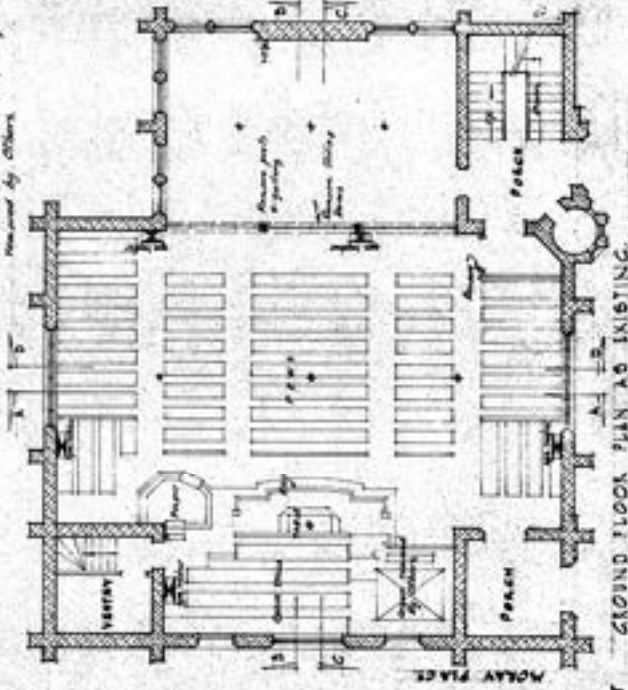
SECTION C-C

DUNSMUIR CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETURNED ON WORKS
 AND REPRODUCED ON REQUEST
 OF BUILDING INSPECTOR.
 1874

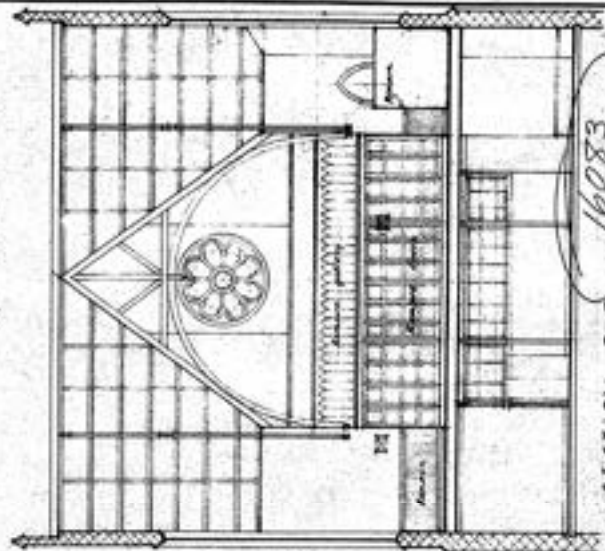
*Notes: Church shall remain Rectory,
 Parsonage, Choir, Vestry, Chapel,
 Communion Table & Sacristy,
 Unchanged by others*



BASEMENT PLAN AS EXISTING



GROUND FLOOR PLAN AS EXISTING

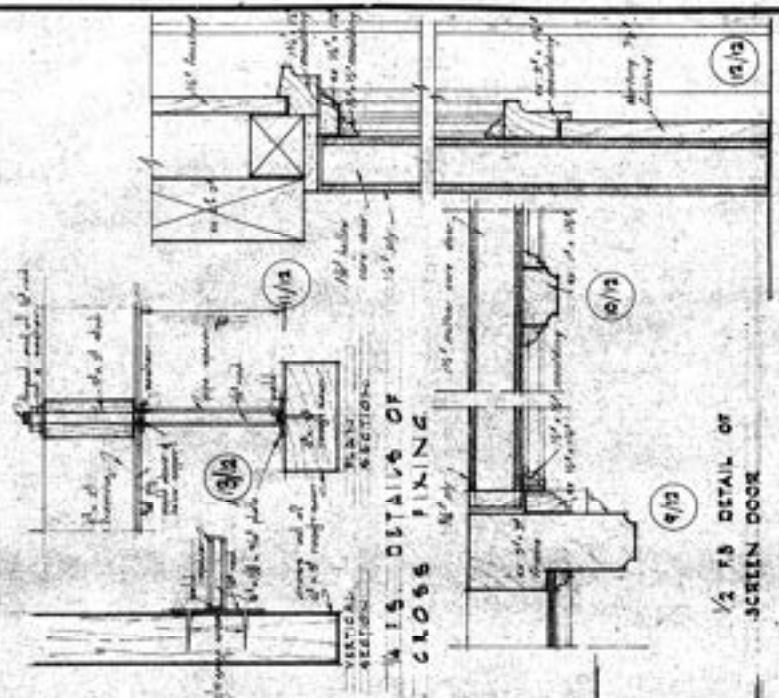
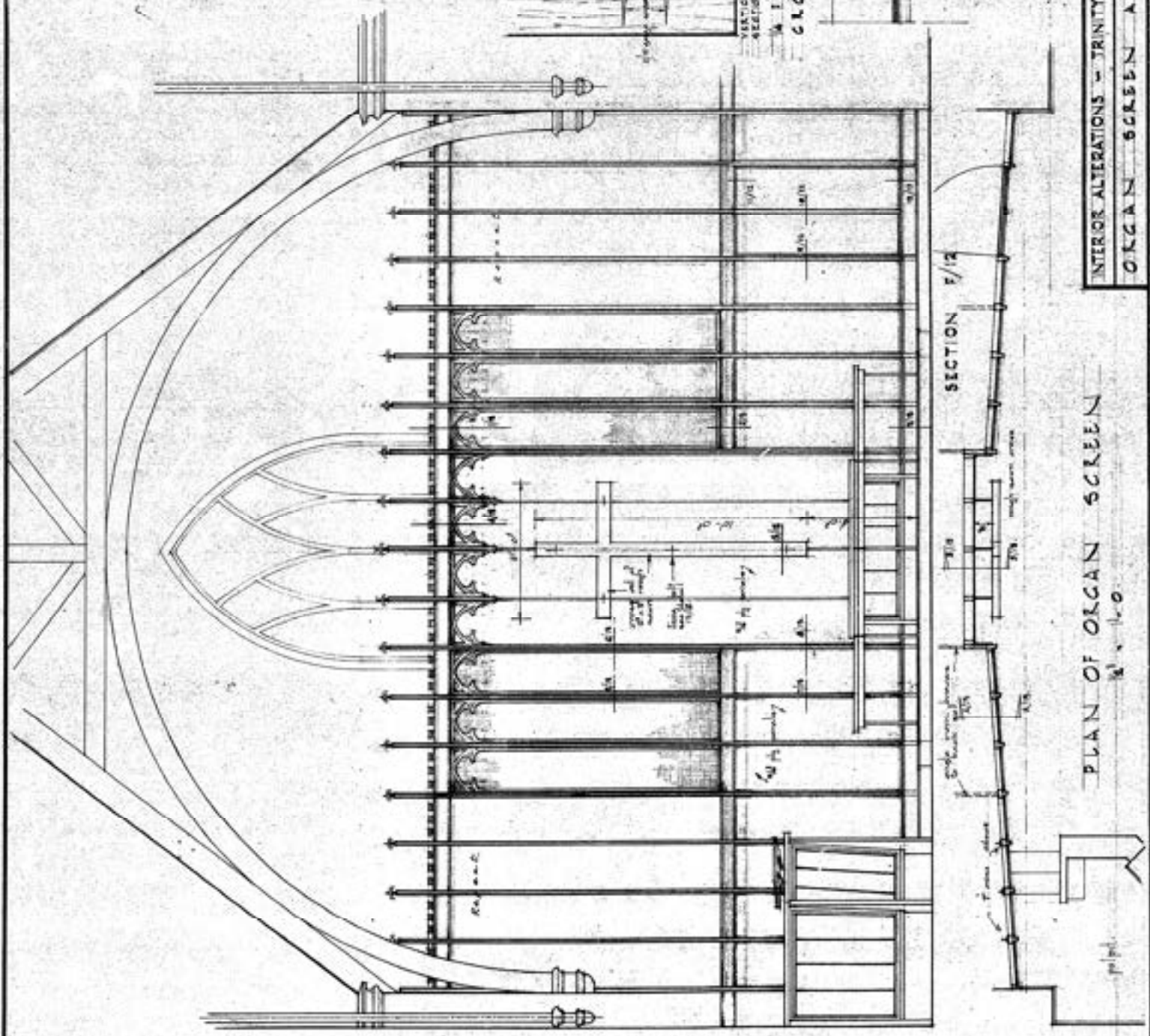


SECTION D-D

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH
 PLANS OF CHURCH AS EXISTING AT FEB. 1906

16083

DATE PREPARED	1906
BY	W. H. G. G.
FOR	W. H. G. G.
NO. OF SHEETS	352
SHEET NO.	1



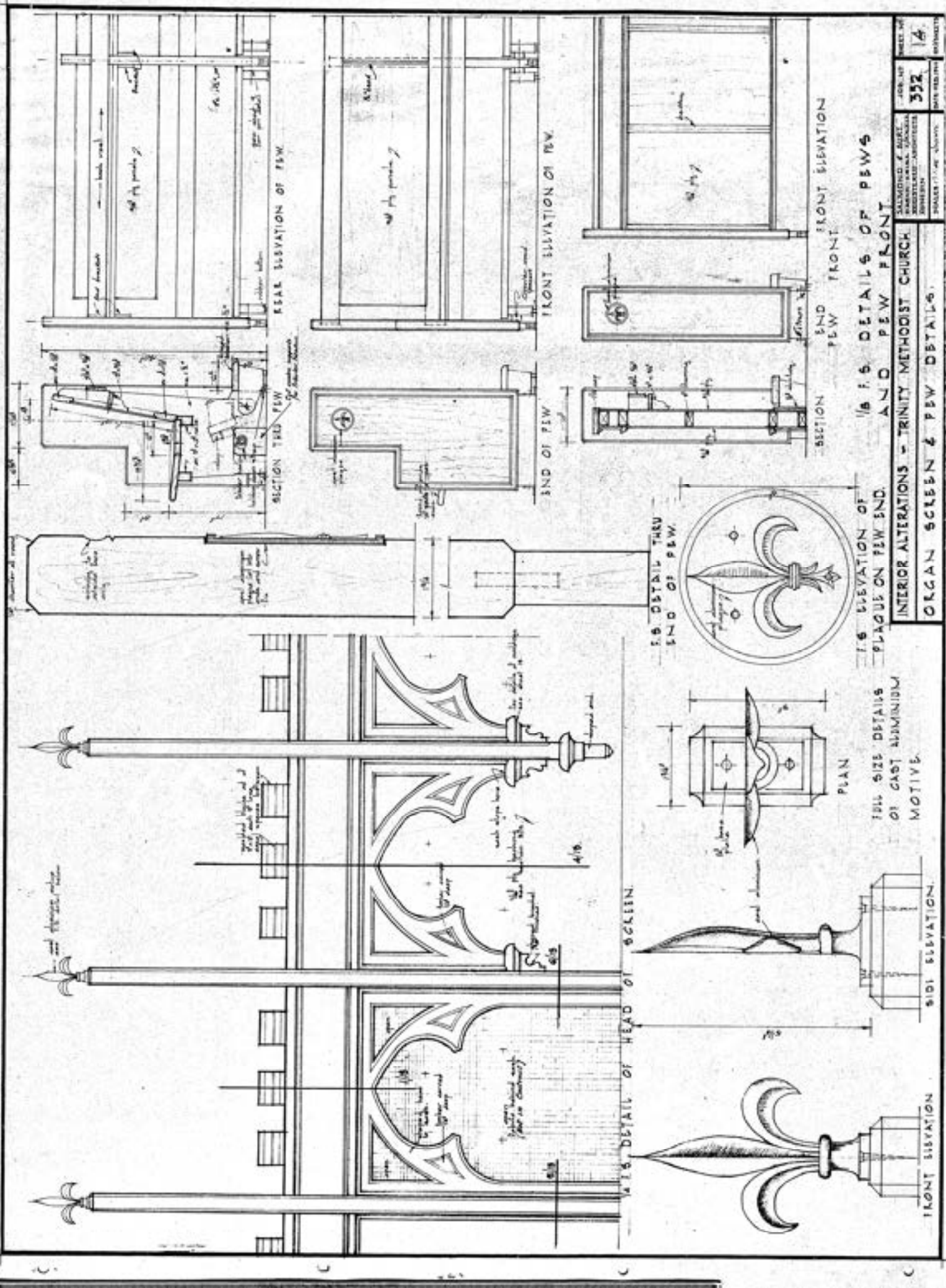
1/2 TO 1/3 DETAIL OF SCREEN DOOR

PLAN OF ORGAN SCREEN

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

ORGAN SCREEN AND DETAILS

ARCHITECT'S NAME	JOHN W. HARRIS
ENGINEER'S NAME	W. H. HARRIS
DATE	1913
SHEET NO.	352
TOTAL SHEETS	12



REAR ELEVATION OF PEW

FRONT ELEVATION OF PEW

FRONT ELEVATION

END PEW FRONT

SECTION

END OF PEW

1/8" DETAIL THRU END OF PEW

1/8" ELEVATION OF PLAQUE ON PEW END

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

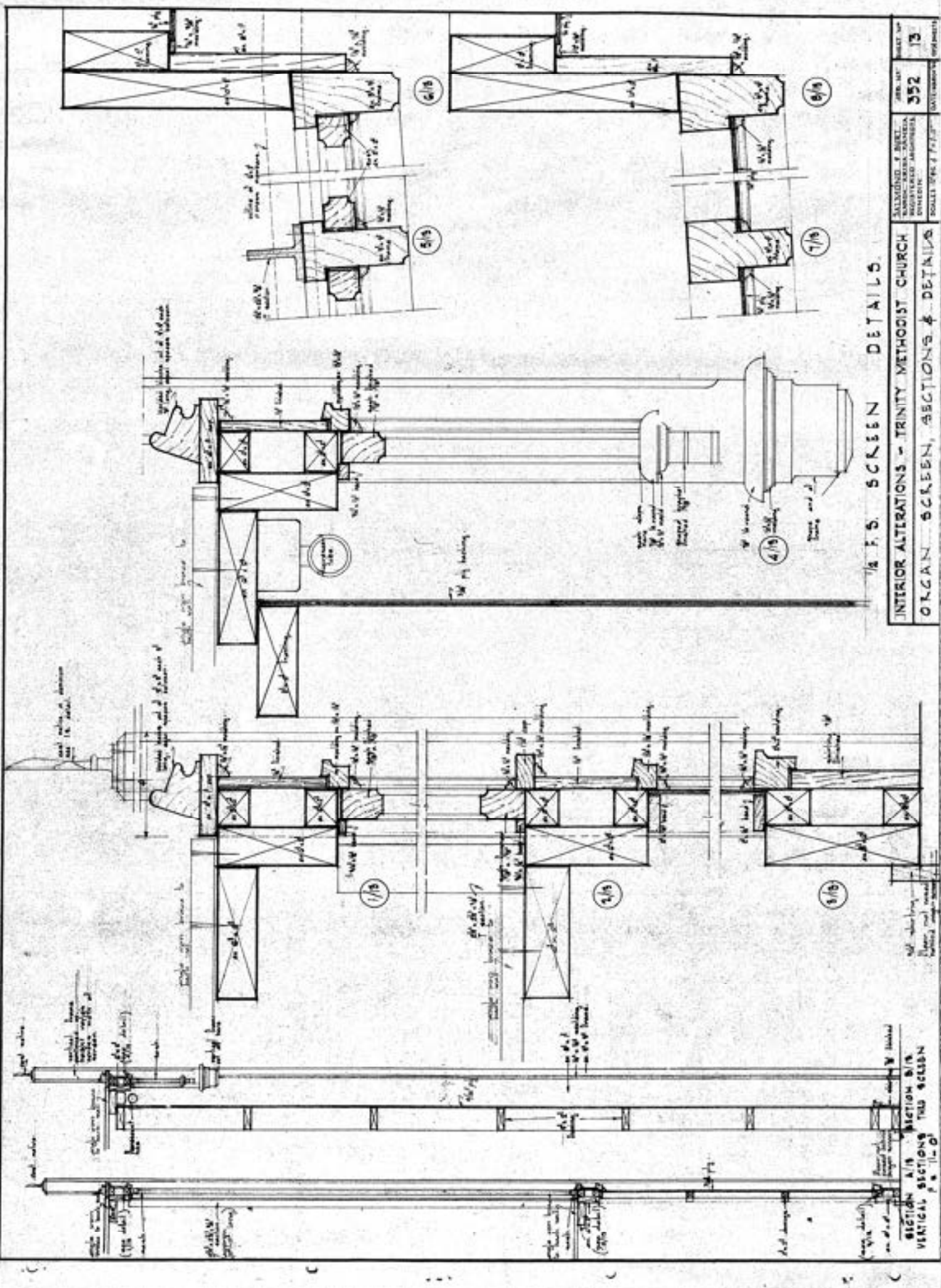
ORGAN SCREEN & PEW DETAILS

1/8" SIZE DETAILS OF CAST ALUMINUM MOTIVE

SIDE ELEVATION

FRONT ELEVATION

DESIGNED BY WALTER D. BARKER	DATE 1914
PROJECT NO. 332	DATE 1914
REGISTERED ARCHITECT	SCALE 1/4" = 1'-0"
ENGINEER	DATE 1914



W. F. S. SCREEN DETAILS

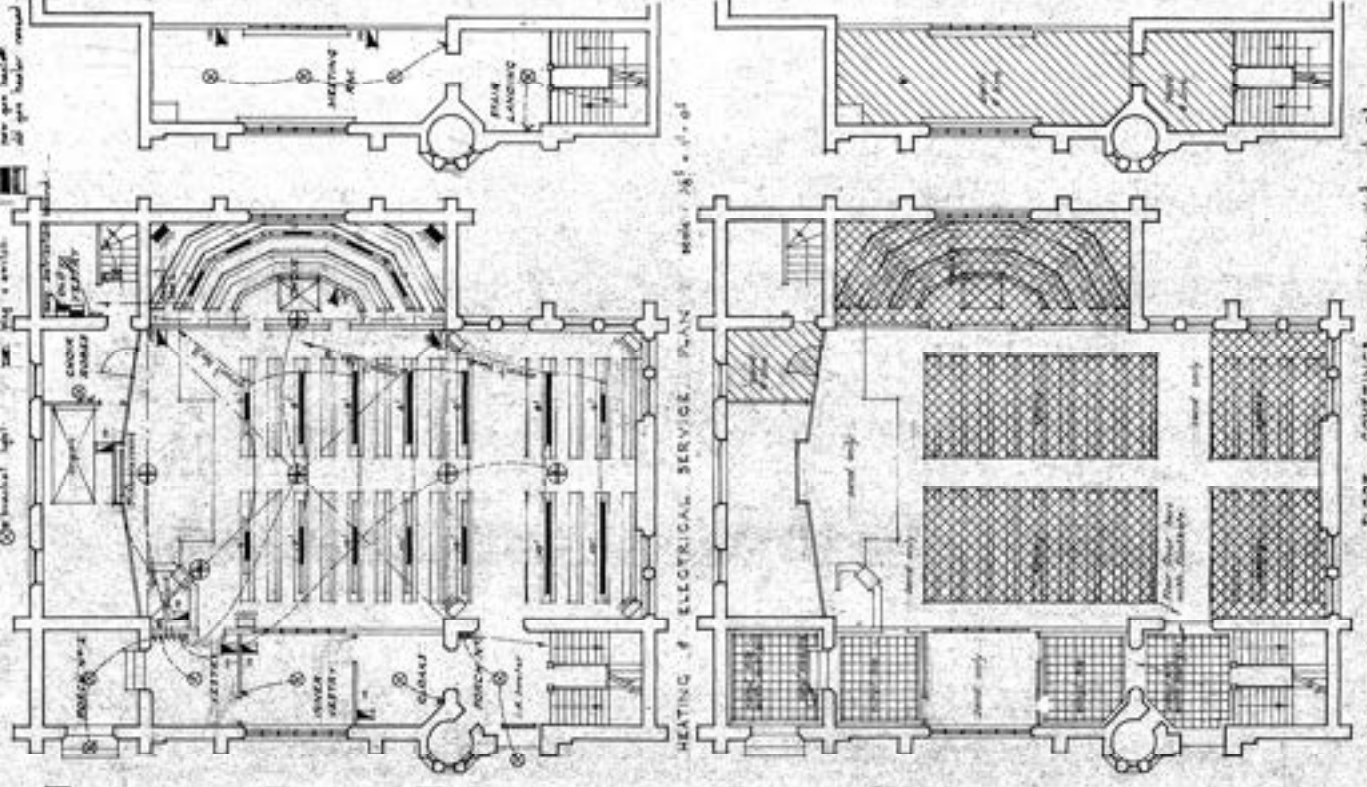
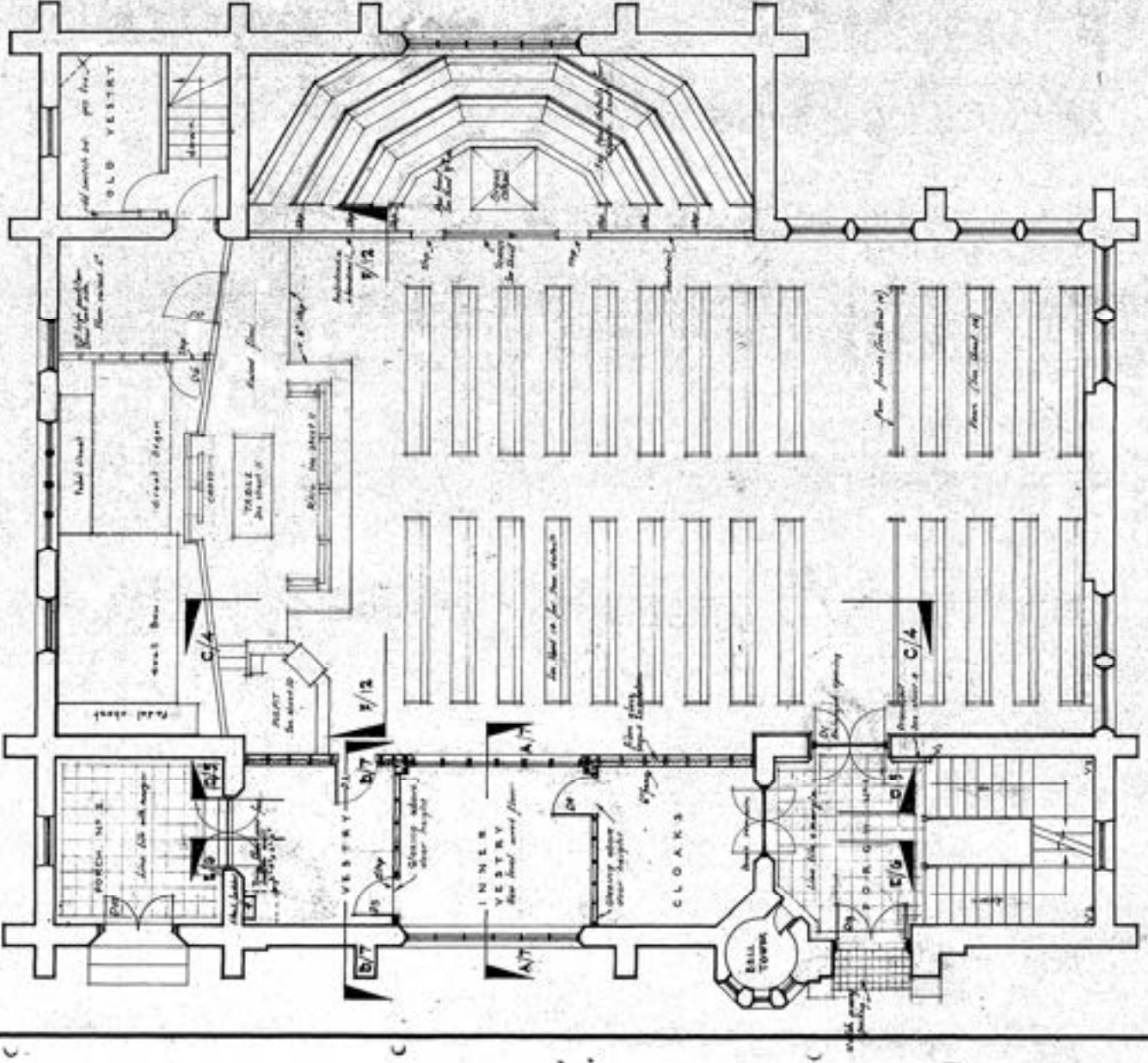
INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH ORGAN SCREEN, SECTIONS & DETAILS	ARCHITECT WASHINGTON, D. C.	SHEET NO. 352	SHEET OF 13
---	--------------------------------	-------------------------	-----------------------

SECTION 1/8 SECTION 2/8
 VERTICAL SECTIONS THROUGH SCREEN
 P. 11-0

INDEX :-

See other sheets for details of alterations to existing building and for details of new work.

Selected details with dimensions and notes are given on separate sheets.



INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

1/4" PLAN & SERVICE PLAN

352

3

FLOOR COVERINGS

SCALE 1/8" = 1'-0"

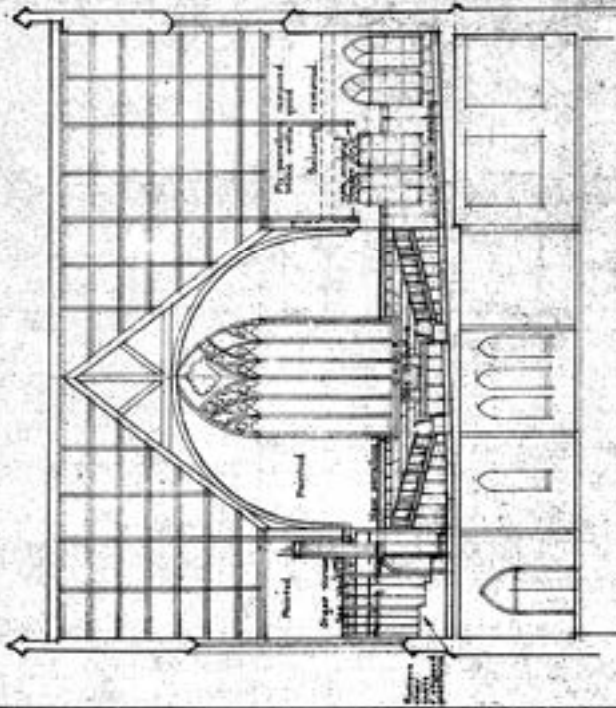
ARCHITECT: E. W. BERRY
REGISTERED ARCHITECT
ENGINEER

DATE: 11/1/21

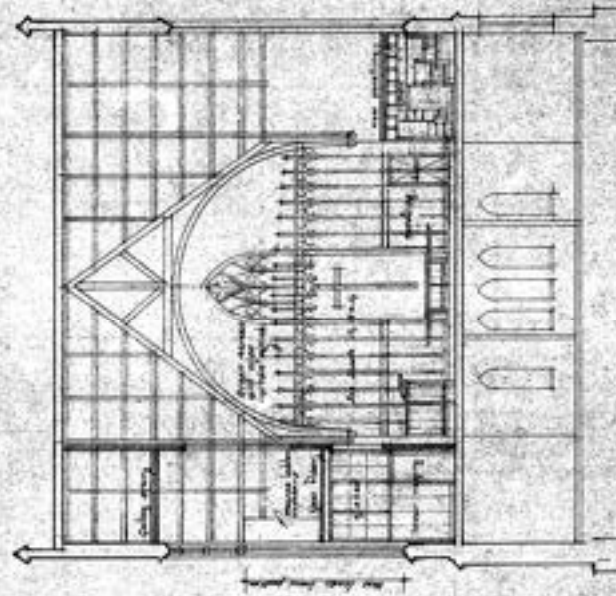
PROJECT: TRINITY METHODIST CHURCH

NO. 352

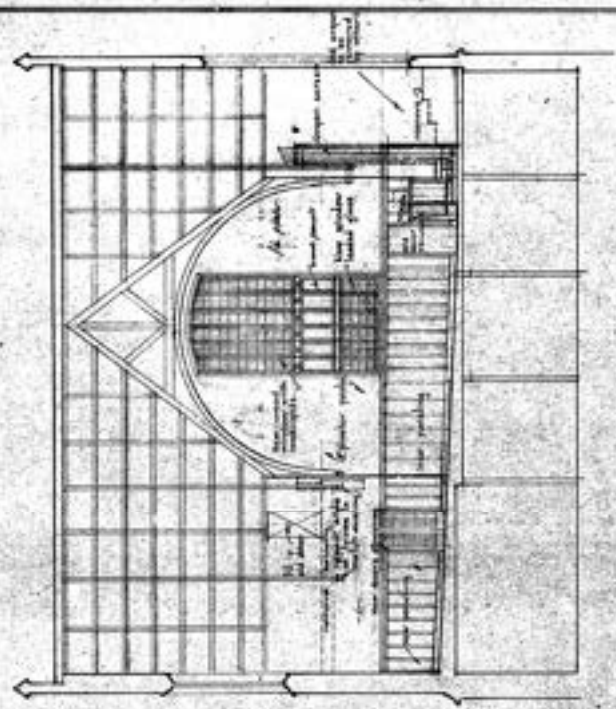
SHEET 3



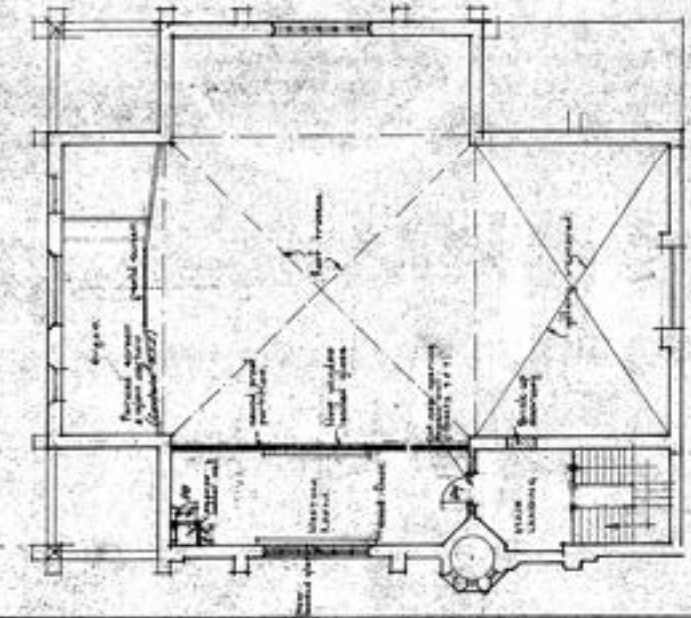
SECTION SOUTH WALL



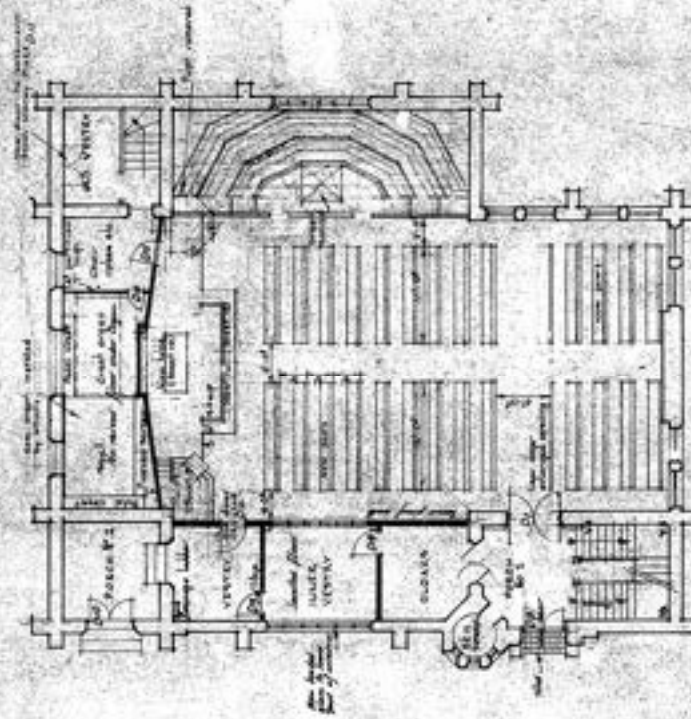
SECTION MORLEY PLACE WALL



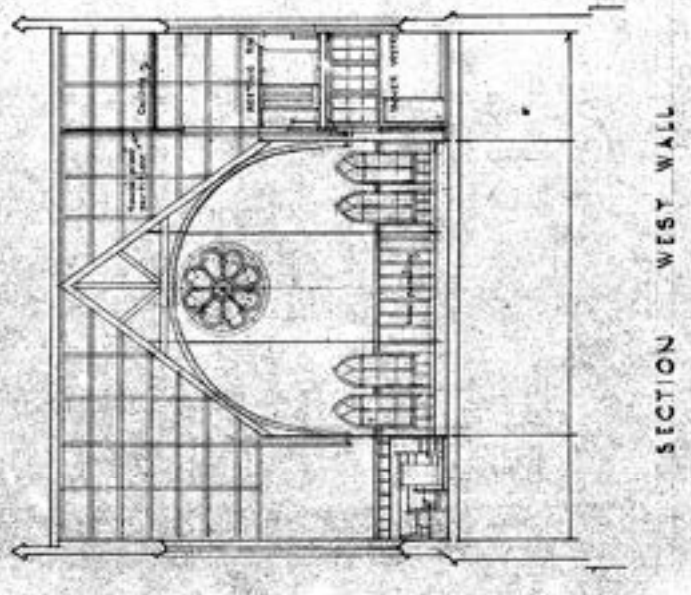
SECTION STUART ST. WALL



GROUND FLOOR PLAN UPPER PORTION



GROUND FLOOR PLAN

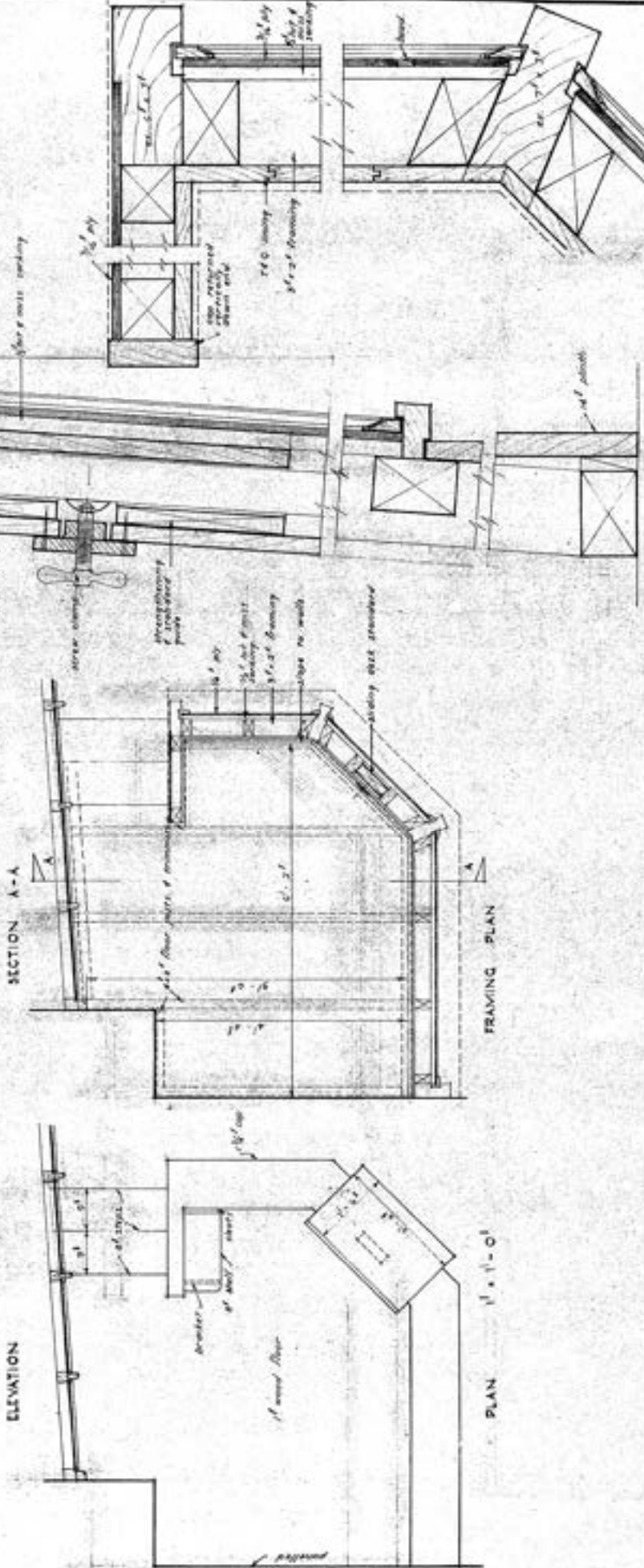
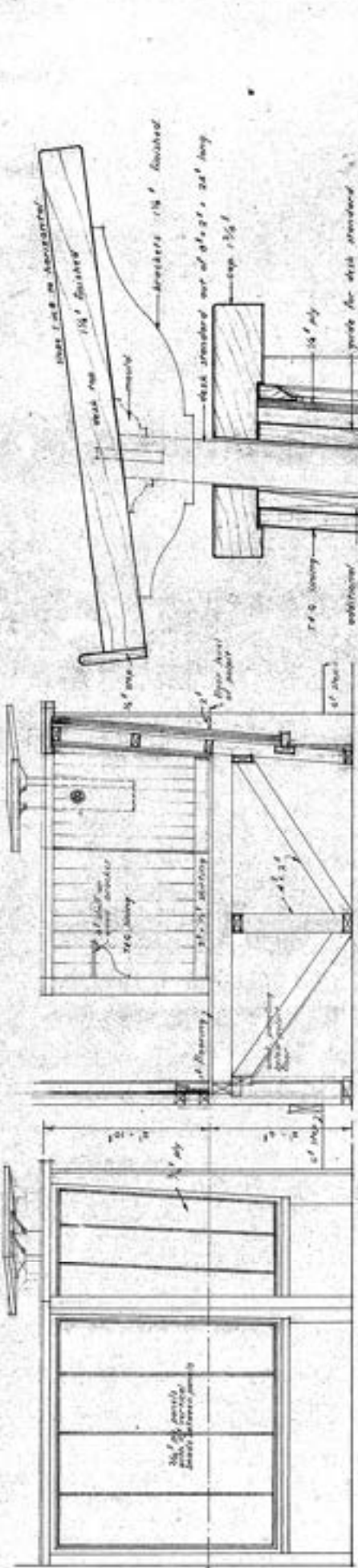


SECTION WEST WALL

TRINITY METHODIST CHURCH
STUART STREET DUBLIN

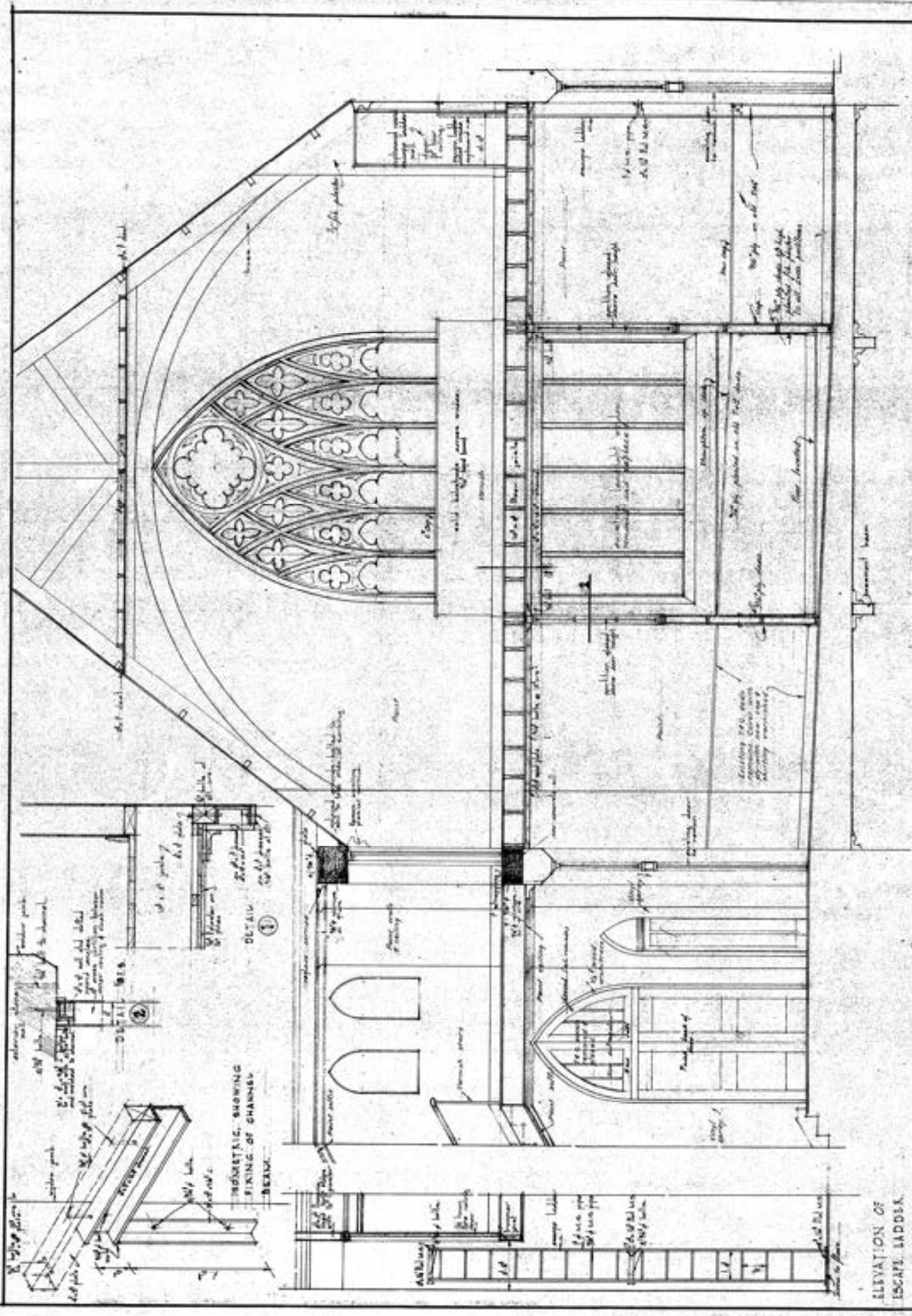
PLANS AND SECTIONS

SCALE 1/8" = 1'-0"
 DRAWING NO. 552
 JOB NO. 100
 DATE April 1904



1/2 F.S. SECTION THROUGH PULPIT DESK

1/2 F.S. PLAN DETAIL



INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

3^d SECTION, PENCH & VESTIBLES

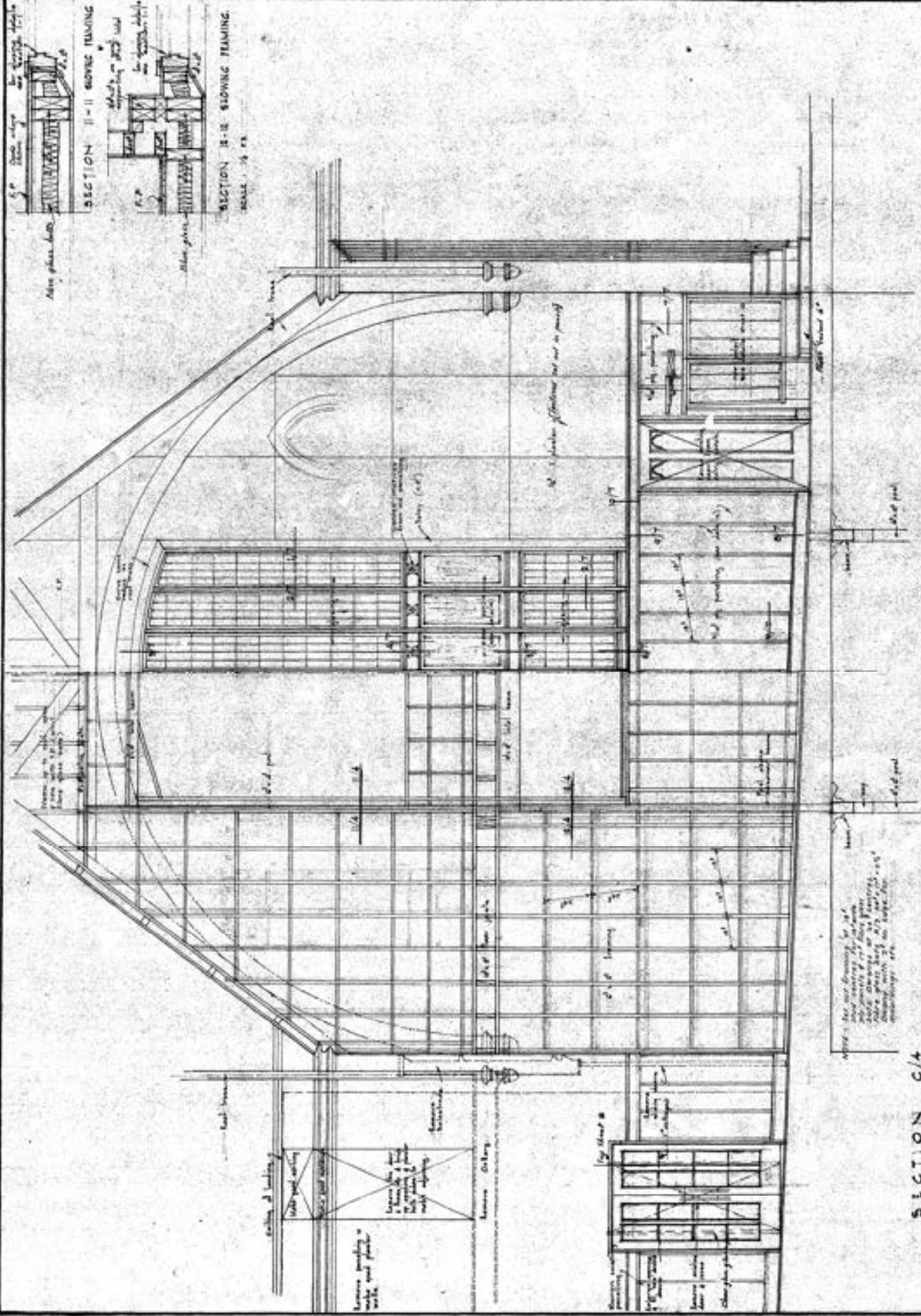
SECTION 1/6

ELEVATION OF
ESCAPE LADDER.

DATE	NO. OF SHEETS	TOTAL SHEETS
1911	552	6

DESIGNED BY	W. H. H. H.
DRAWN BY	W. H. H. H.
CHECKED BY	W. H. H. H.
APPROVED BY	W. H. H. H.

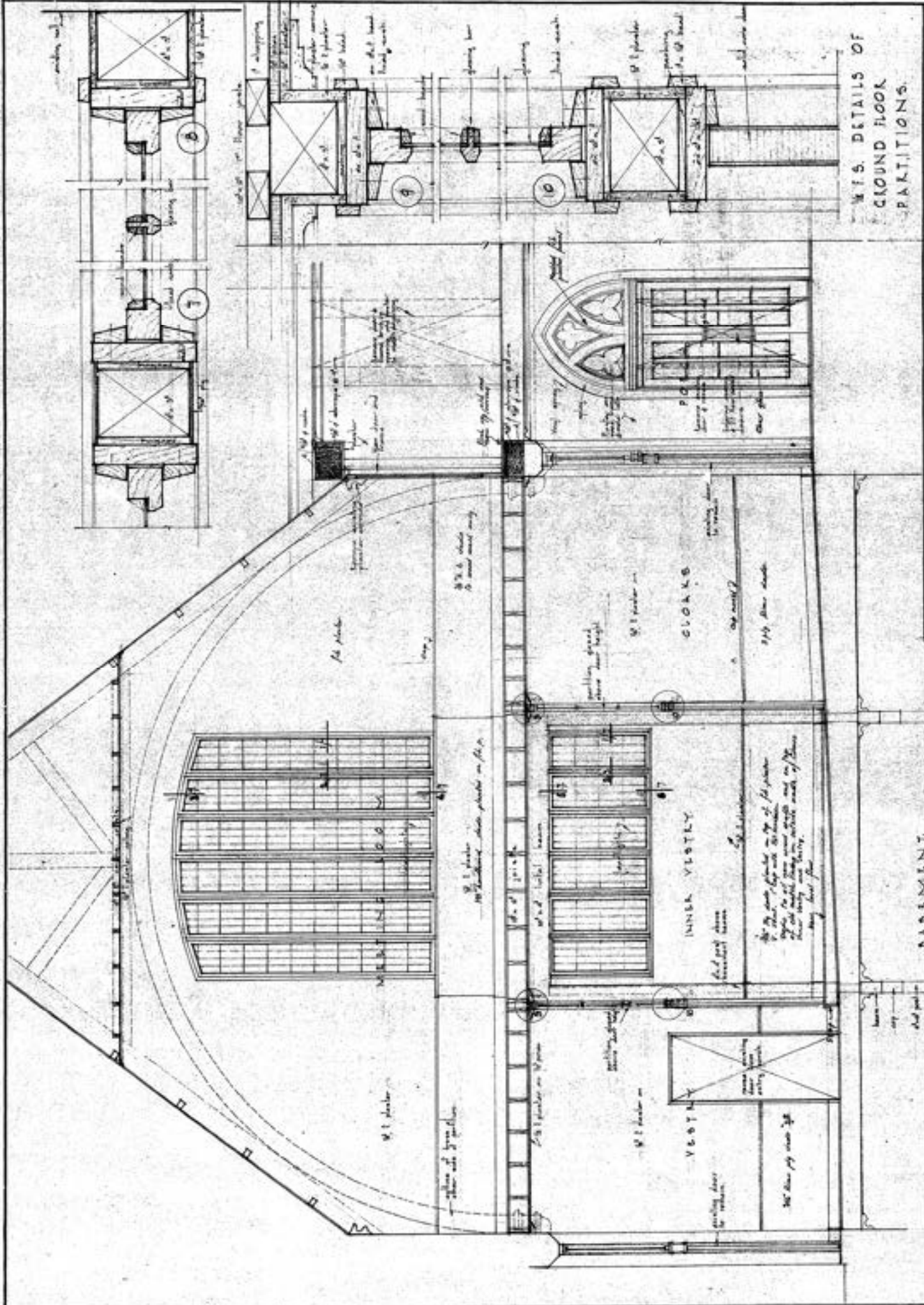
PROJECT	INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH
SECTION	3 ^d SECTION, PENCH & VESTIBLES
DATE	1911
NO. OF SHEETS	552
TOTAL SHEETS	6



INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH	
1/3 SECTION (SOUND PROOF WALL)	
DESIGNED BY	W. H. H. H. H.
DATE	1914
PROJECT NO.	352
JOB NO.	4
BY	W. H. H. H.

NOTE: See note regarding the use of masonry in the construction of the sound proof wall. The masonry should be of the same quality as that used in the construction of the walls of the church.

SECTION C/A



W.S. DETAILS OF
GROUND FLOOR
PARTITIONS.

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH
1st SECTION THROUGH VESTRY & MEETING ROOM

W.S. DETAILS OF
GROUND FLOOR
PARTITIONS.

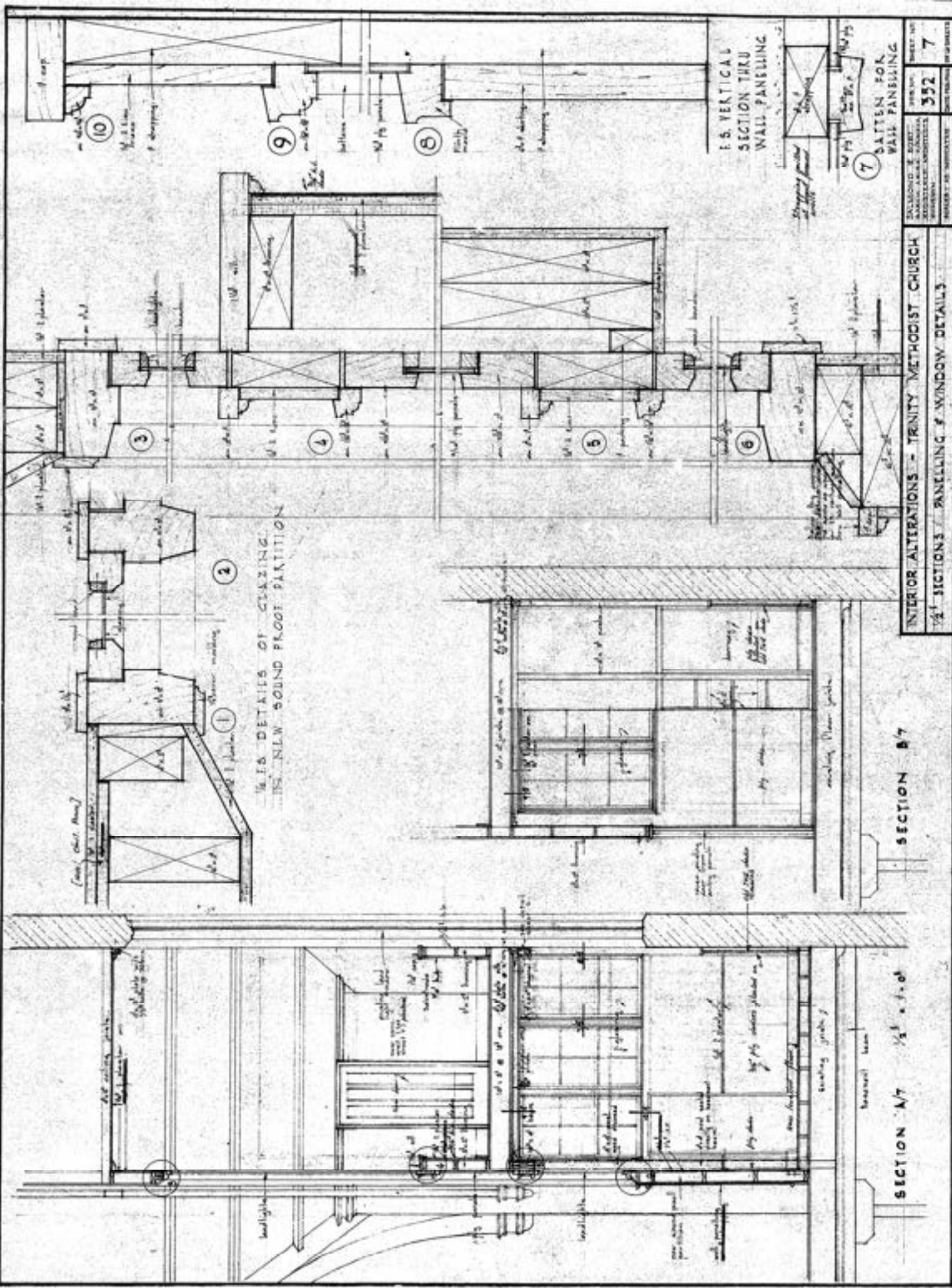
W.S. DETAILS OF
GROUND FLOOR
PARTITIONS.

BASEMENT

SECTION D/5

352
5

01 02 03 04 05 06 07 08 09 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40

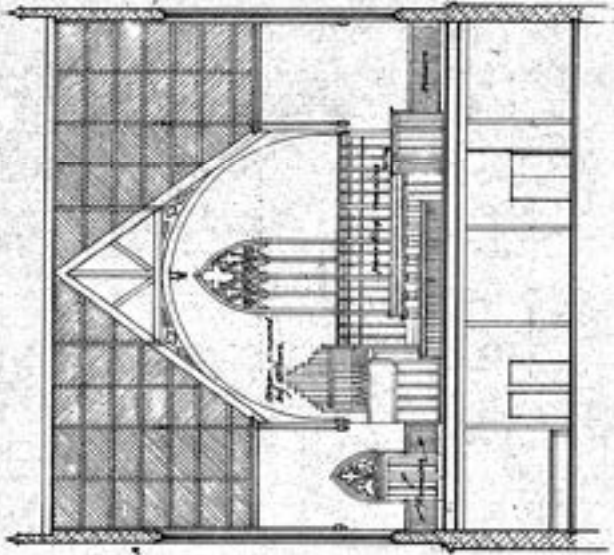


PROJECT - TRINITY METHODIST CHURCH	DATE	352	7
INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH	NO. OF SHEETS	352	7
1/2 SECTIONS PANELLING & WINDOW DETAILS	NO. OF SHEETS	352	7

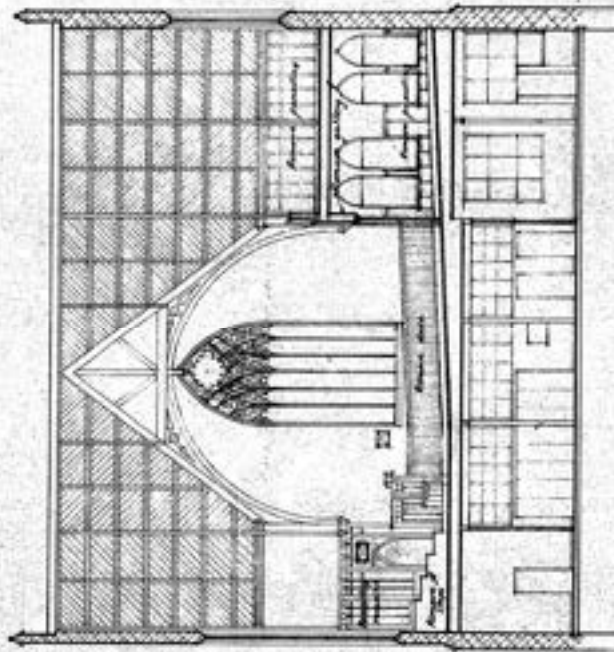
SECTION B/B

SECTION A/A

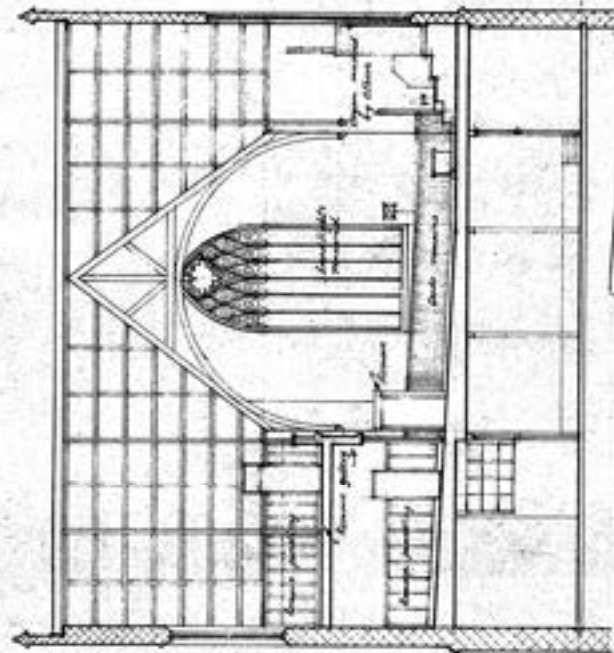
0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40



SECTION A-A



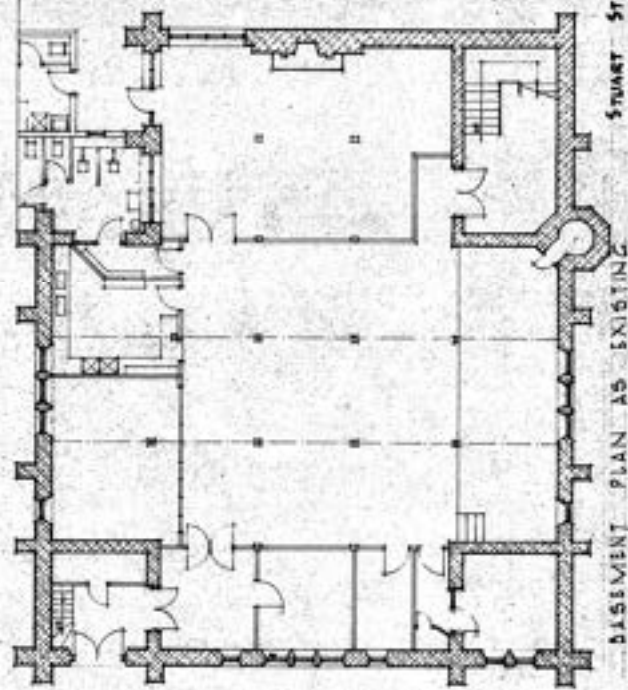
SECTION B-B



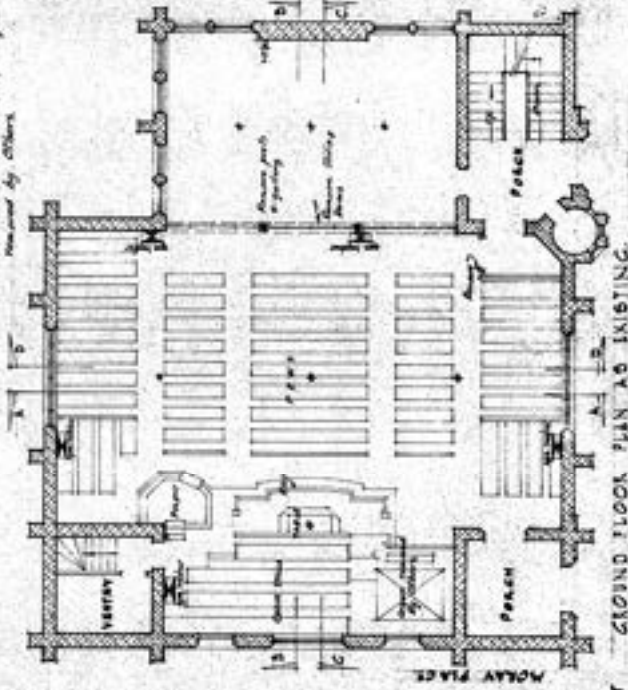
SECTION C-C

DUNSMUIR CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETURNED ON WORKS
 AND REPRODUCED ON REQUEST
 OF FOLLOWING FUNCTION.
 1874

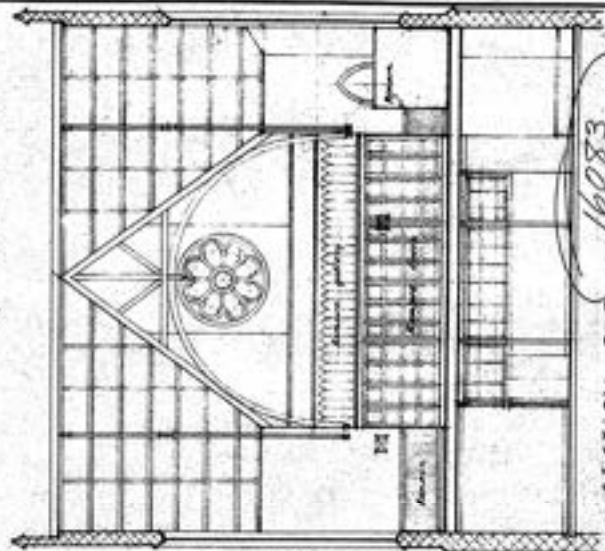
*Notes: Church shall remain Rectory,
 Parsonage, Choir, Vestry, Chapel,
 Communion Table & Sacristy,
 reserved by others.*



BASEMENT PLAN AS EXISTING



GROUND FLOOR PLAN AS EXISTING

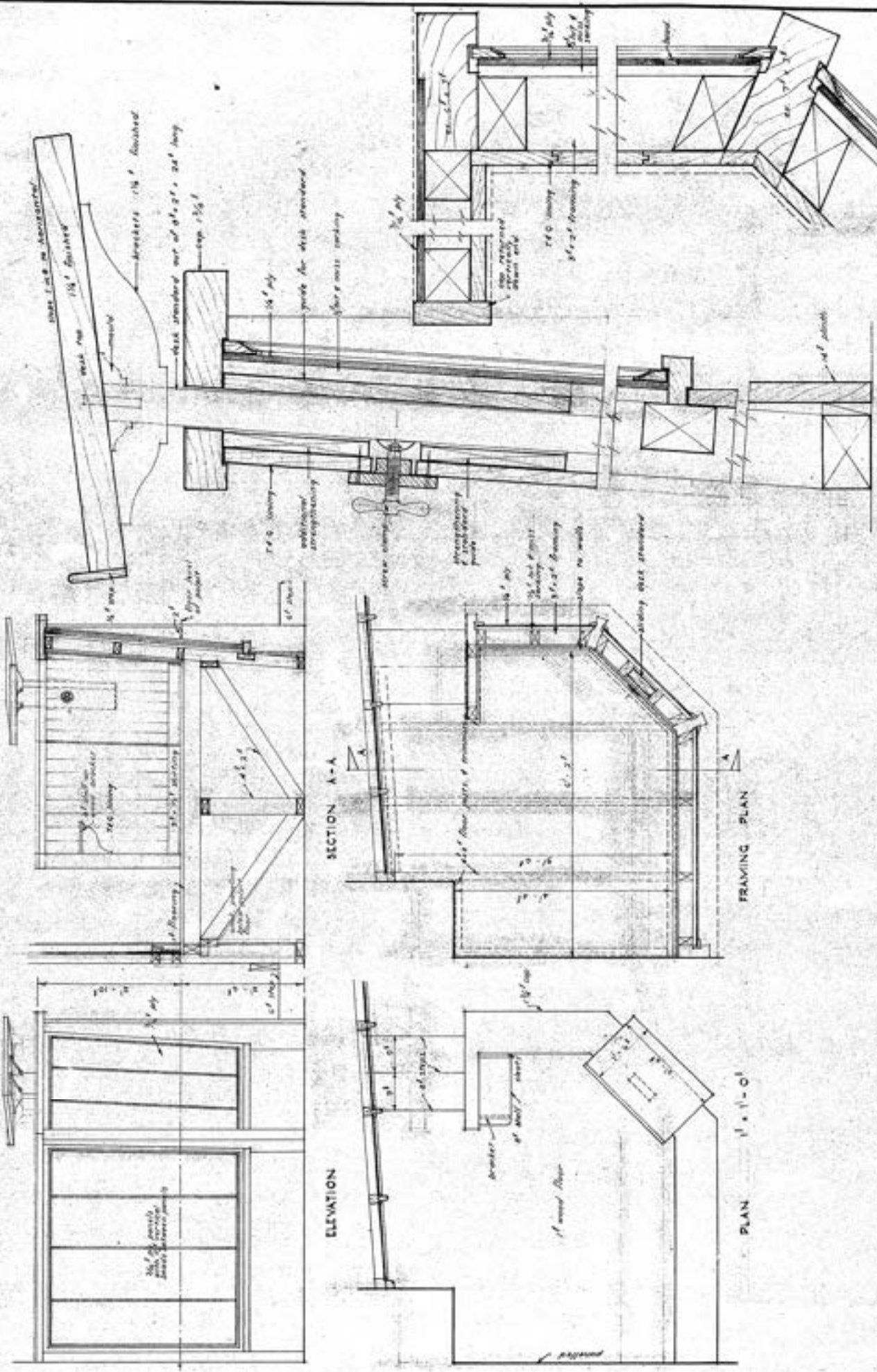


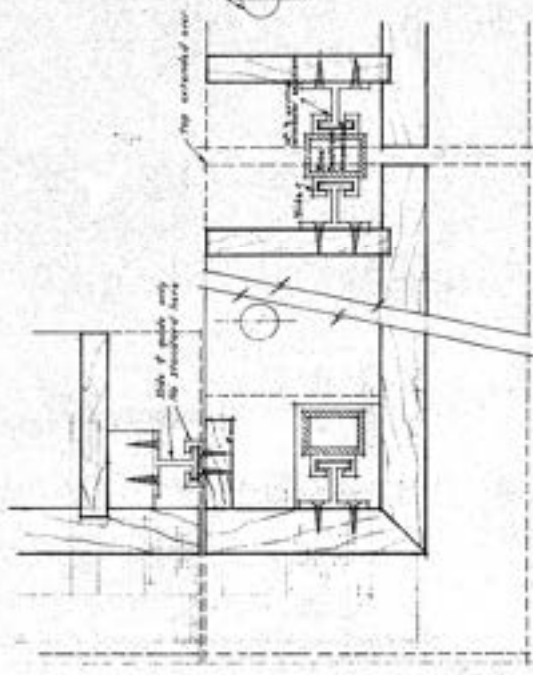
SECTION D-D

16083

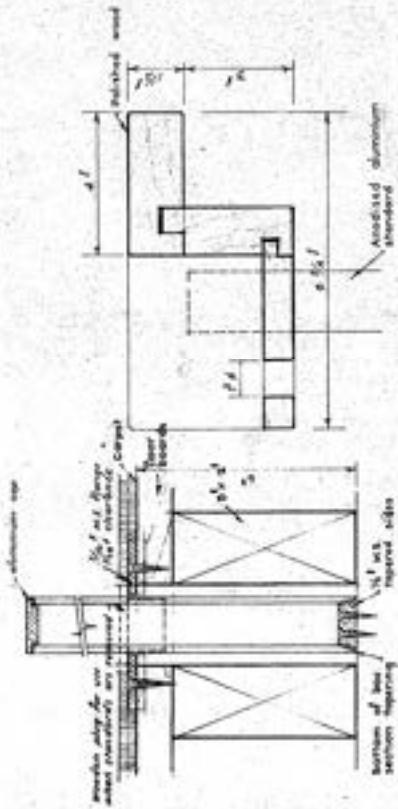
INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH
 PLANS OF CHURCH AS EXISTING AT FEB. 1906

DATE RECEIVED	1906
NO. 352	1
DATE RECEIVED	1906



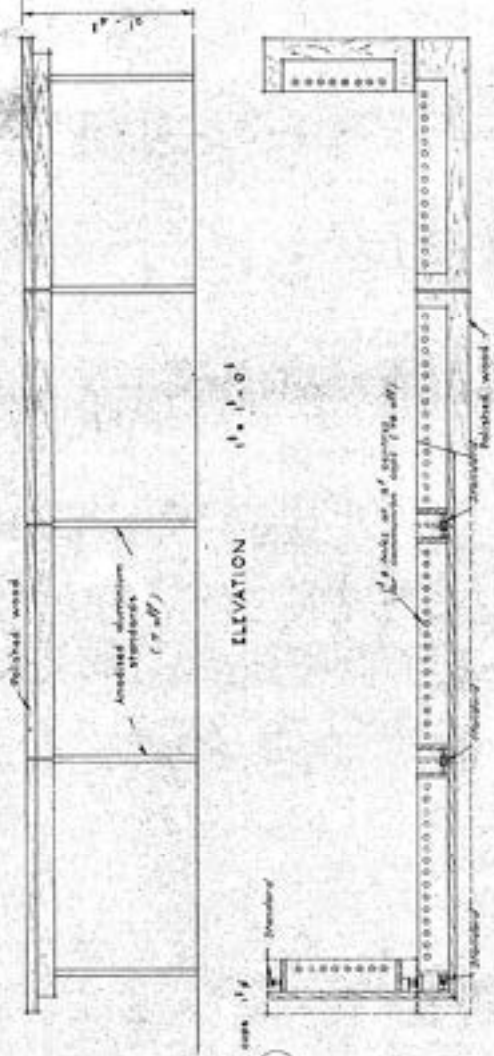


HALF F.S. PLAN DETAIL OF COMMUNION RAIL

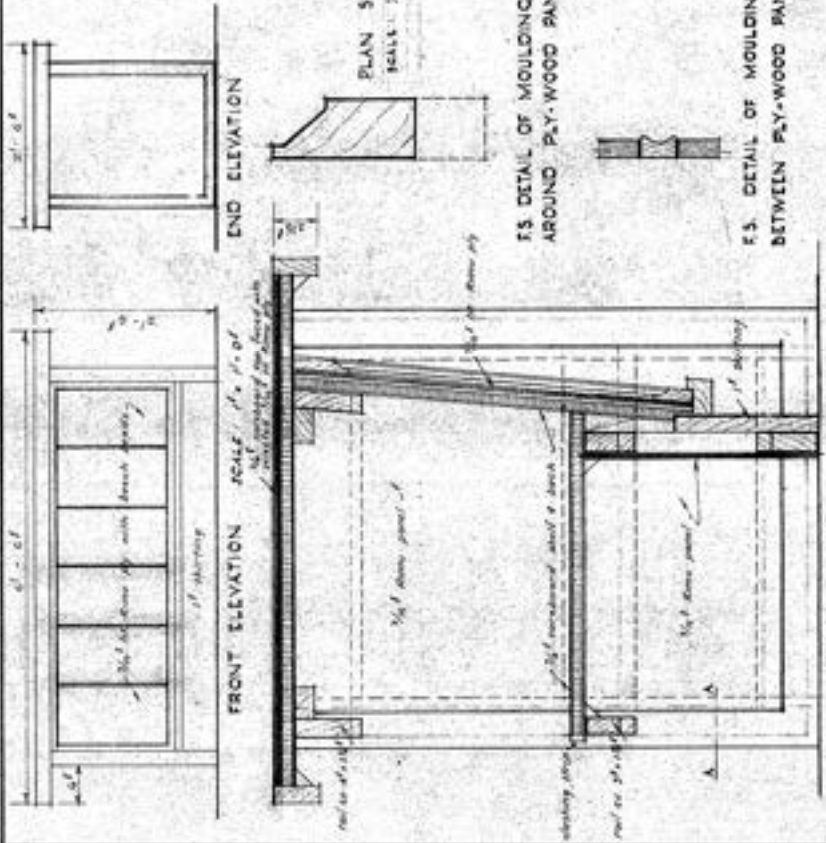


DETAIL AT BASE OF STANDARD SECTION THROUGH COMMUNION RAIL 1/2 F.S.
SCALE: 1/2\"/>

COMMUNION RAIL - REMOVABLE



PLAN

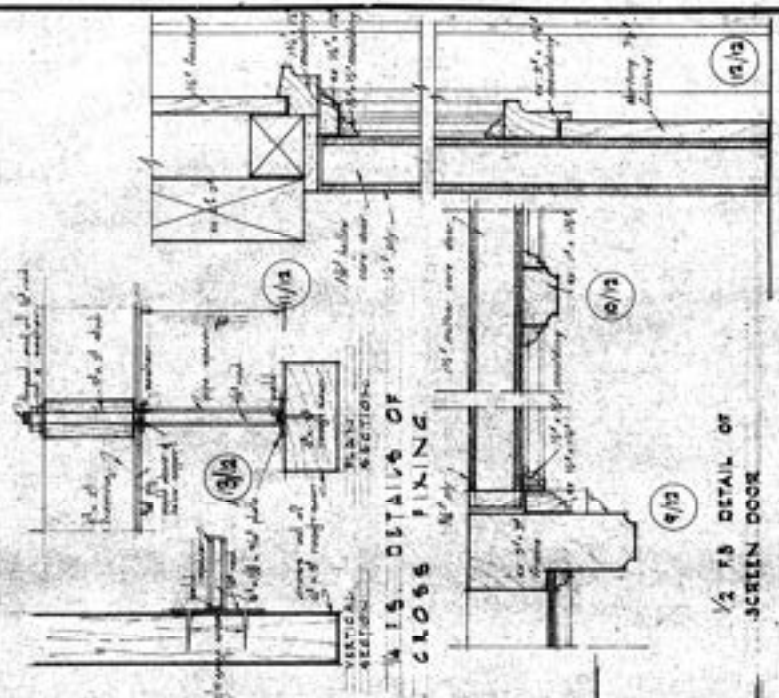
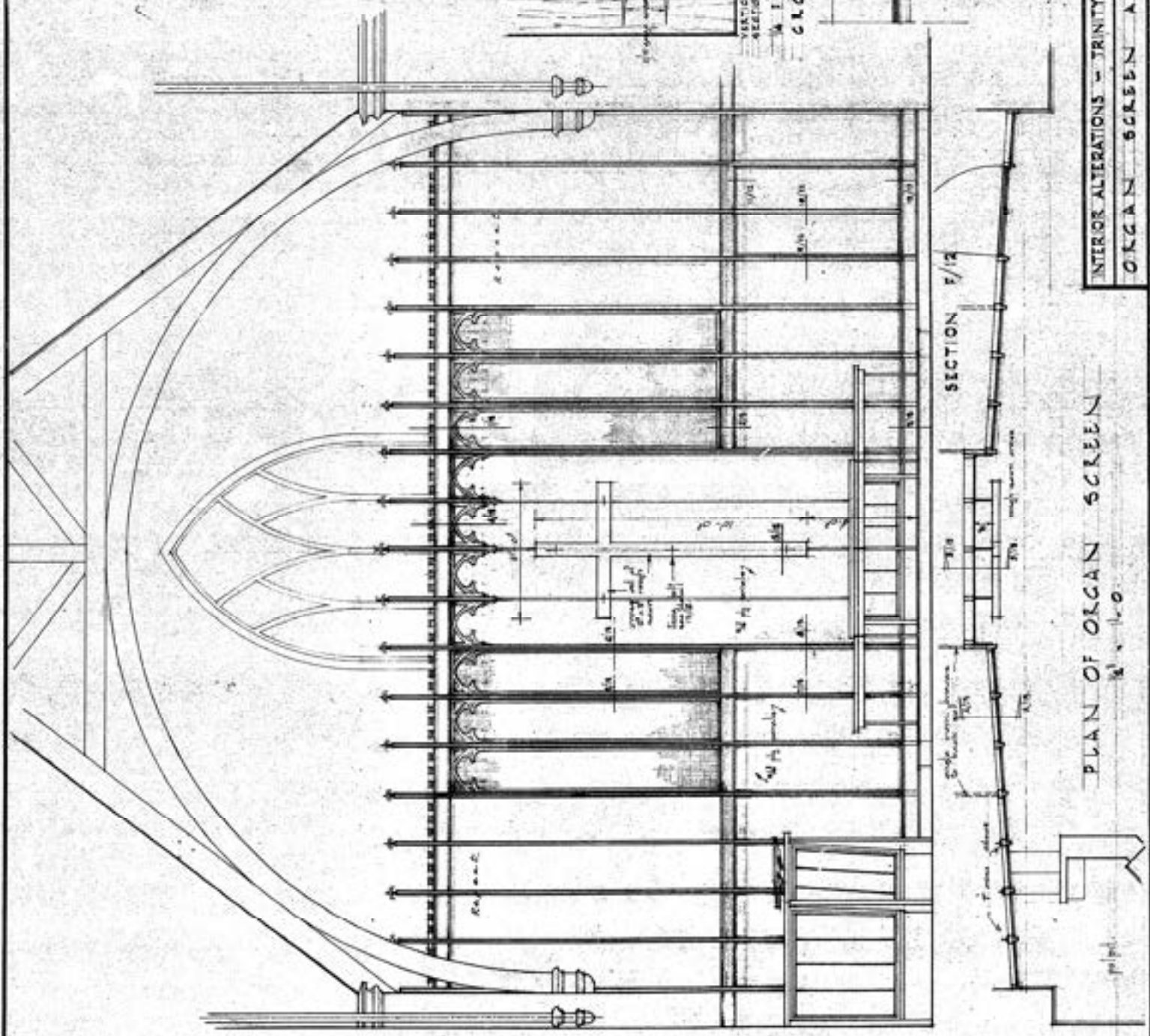


1/4 F.S. SECTION COMMUNION TABLE

F.S. DETAIL OF MOULDING AROUND PLY-WOOD PANELS

F.S. DETAIL OF MOULDING BETWEEN PLY-WOOD PANELS

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH
DETAILS OF COMMUNION RAIL & TABLE



1/2 TO DETAIL OF SCREEN DOOR

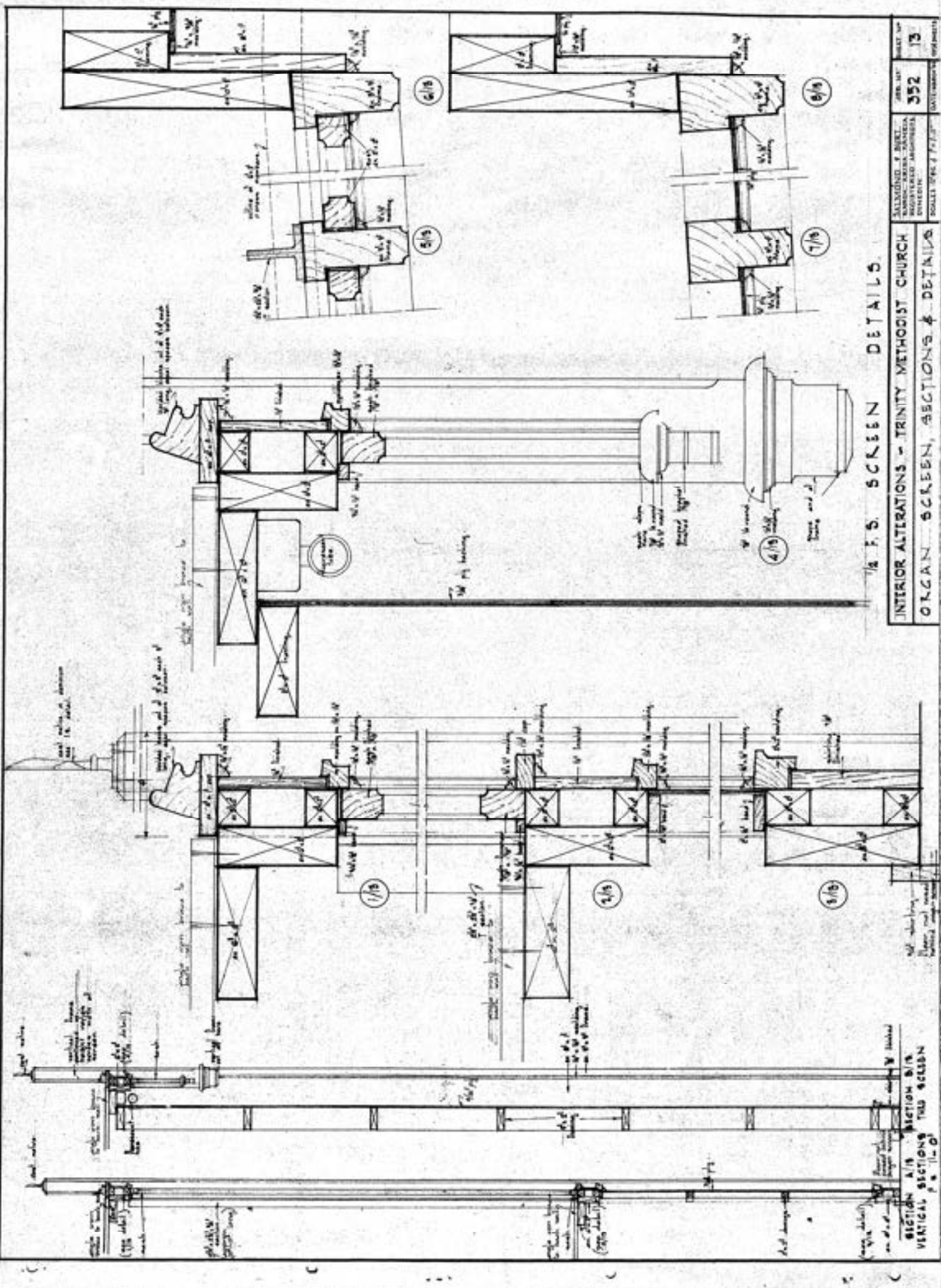
PLAN OF ORGAN SCREEN

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

ORGAN SCREEN AND DETAILS

ARCHITECT	JOHN H. HARRIS
ENGINEER	W. H. HARRIS
DATE	1912
SHEET NO.	12

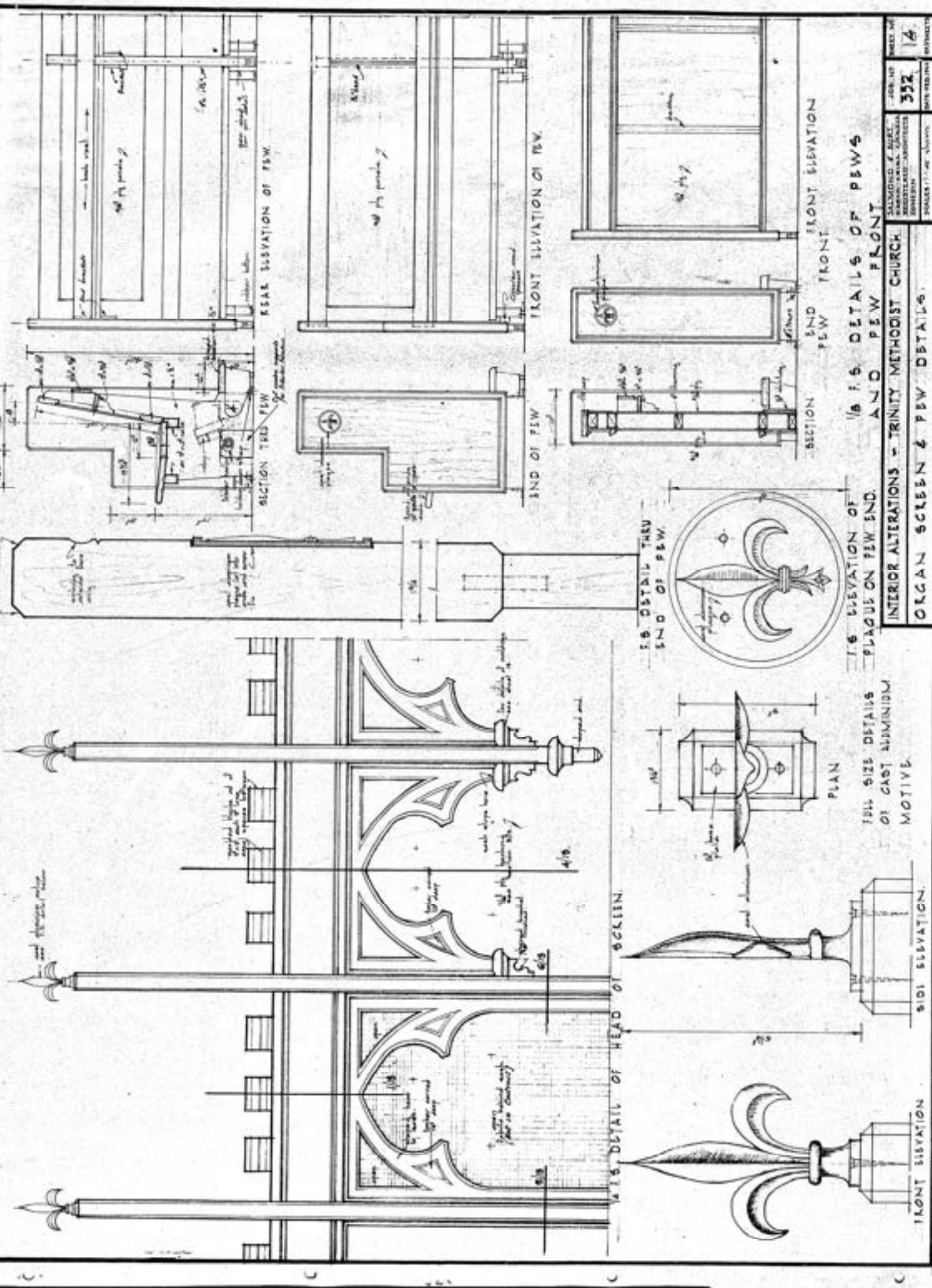
W. H. O.



1/8 F. S. SCREEN DETAILS

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH ORGAN SCREEN, SECTIONS & DETAILS	ARCHITECT REGISTERED ARCHITECT DUNDEE	SHEET NO. 352	SHEET OF 13
---	---	-------------------------	-----------------------

SECTION 1/8 SECTION 2/8
 VERTICAL SECTIONS THROUGH SCREEN
 P. 11-0

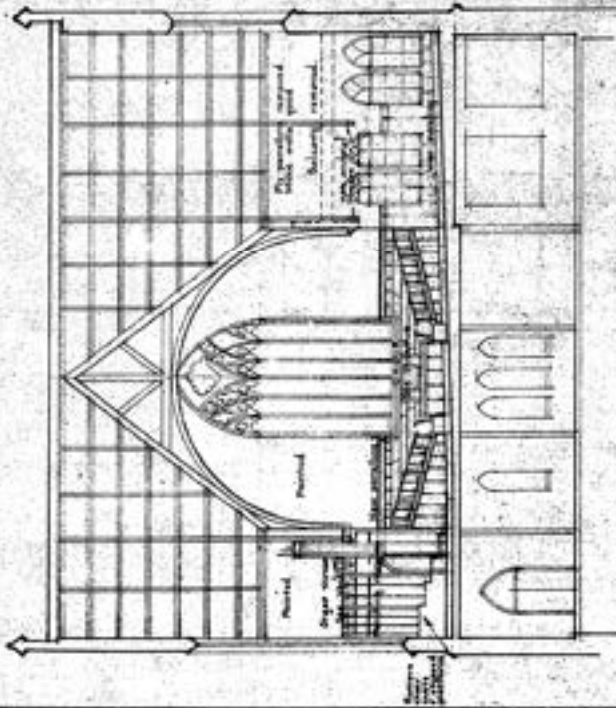


1/8 1/8 DETAILS OF PEWS
AND PEW FRONT

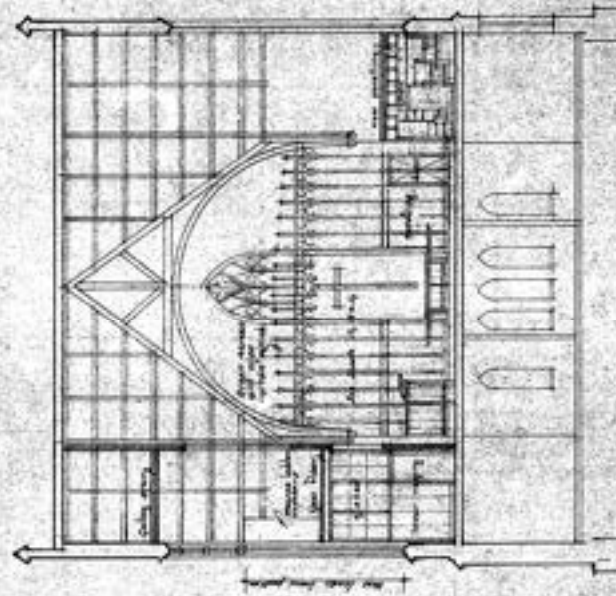
INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH
ORGAN SCREEN & PEW DETAILS.

332
1/4

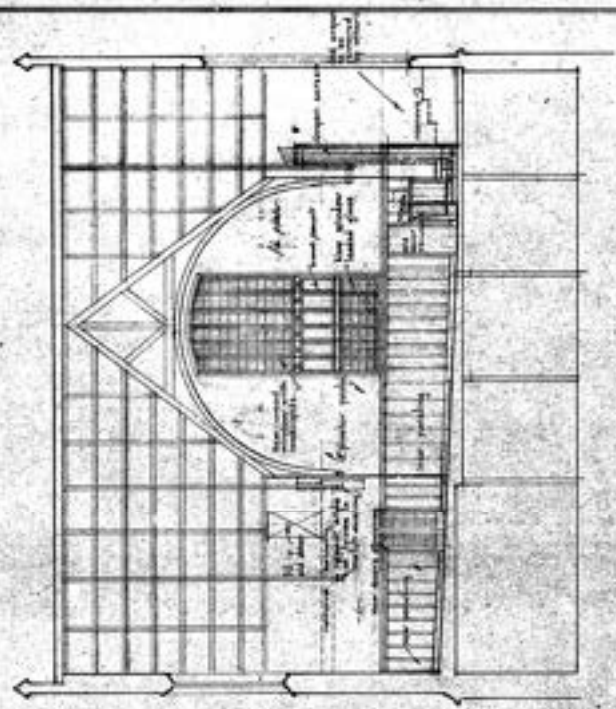
1/8 SIZE DETAILS
OF CAST ALUMINUM
MOTIVE.



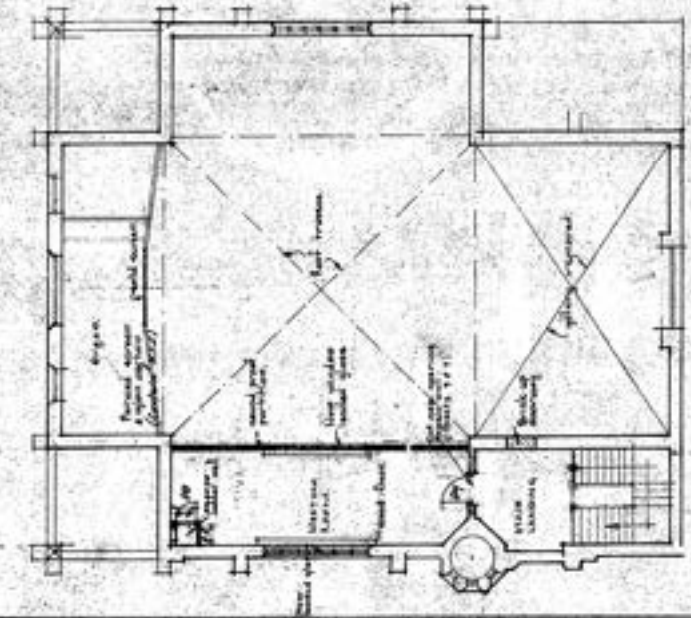
SECTION SOUTH WALL



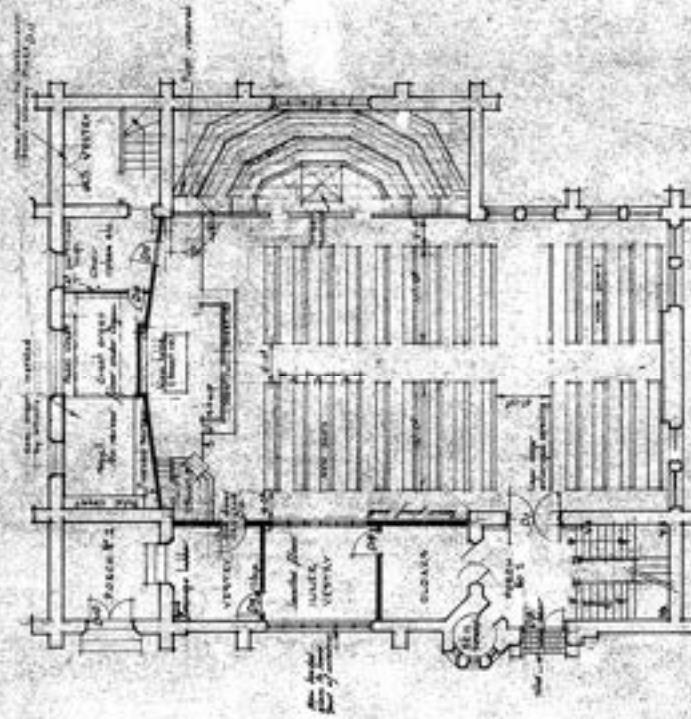
SECTION MORLEY PLACE WALL



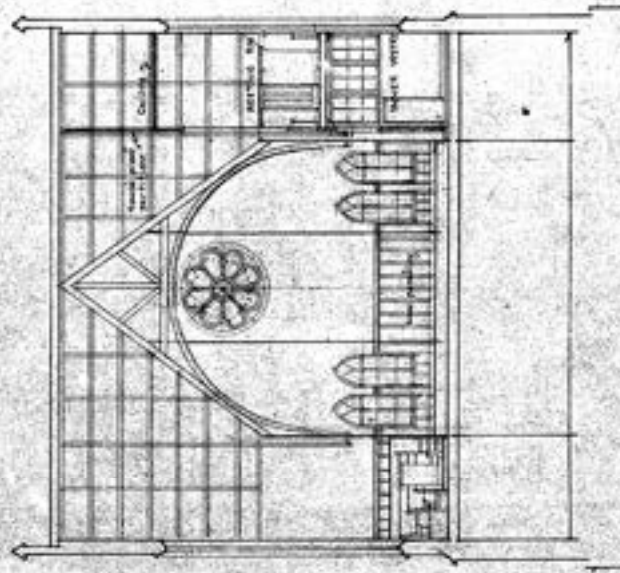
SECTION STUART ST. WALL



GROUND FLOOR PLAN UPPER PORTION



GROUND FLOOR PLAN



SECTION WEST WALL

TRINITY METHODIST CHURCH
STUART STREET DUBLIN

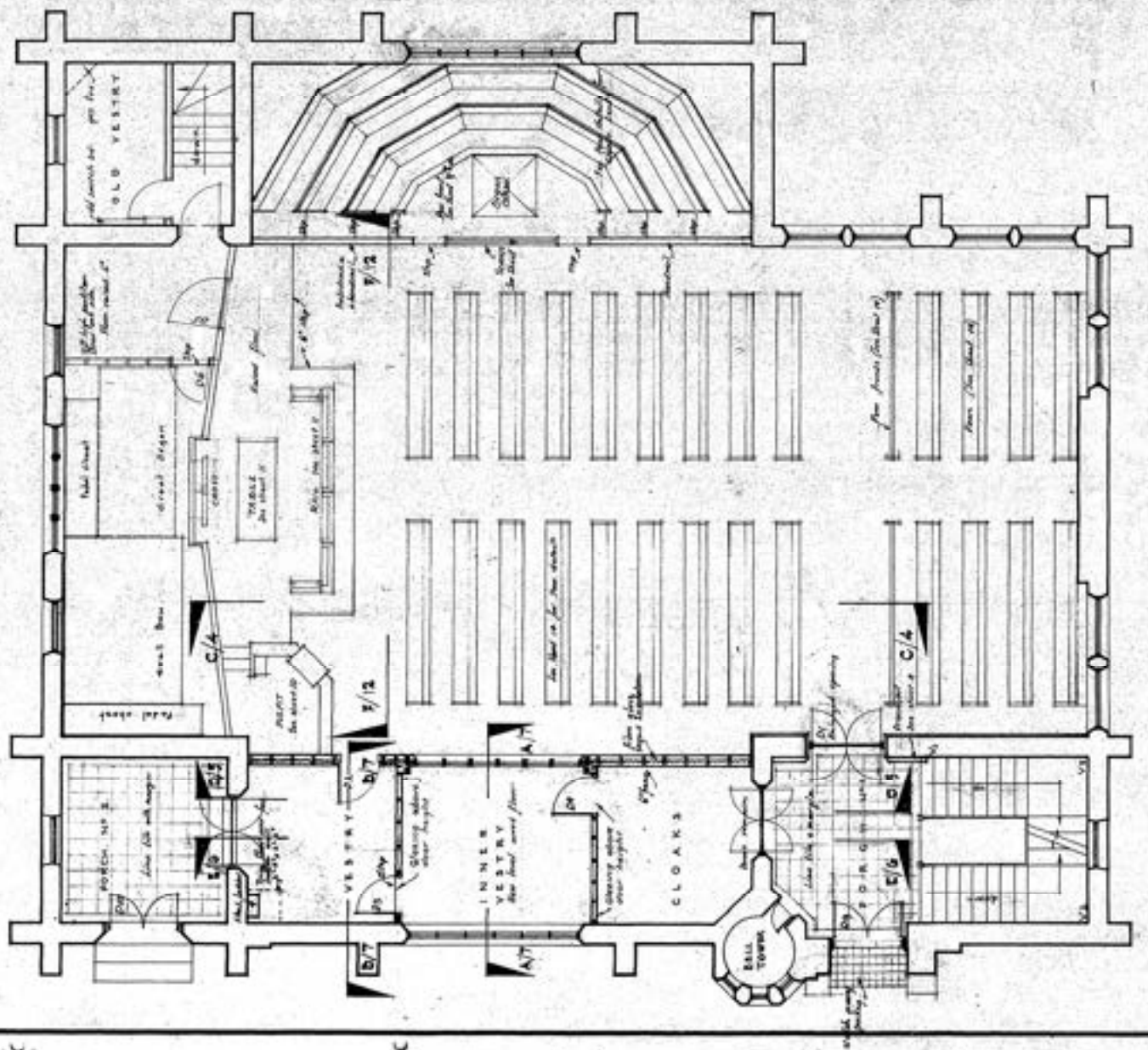
PLANS AND SECTIONS

SCALE 1/8" = 1'-0"
 DRAWN BY J. H. GIBSON
 CHECKED BY J. H. GIBSON
 JOB NO. 1000
 DATE APRIL 1904

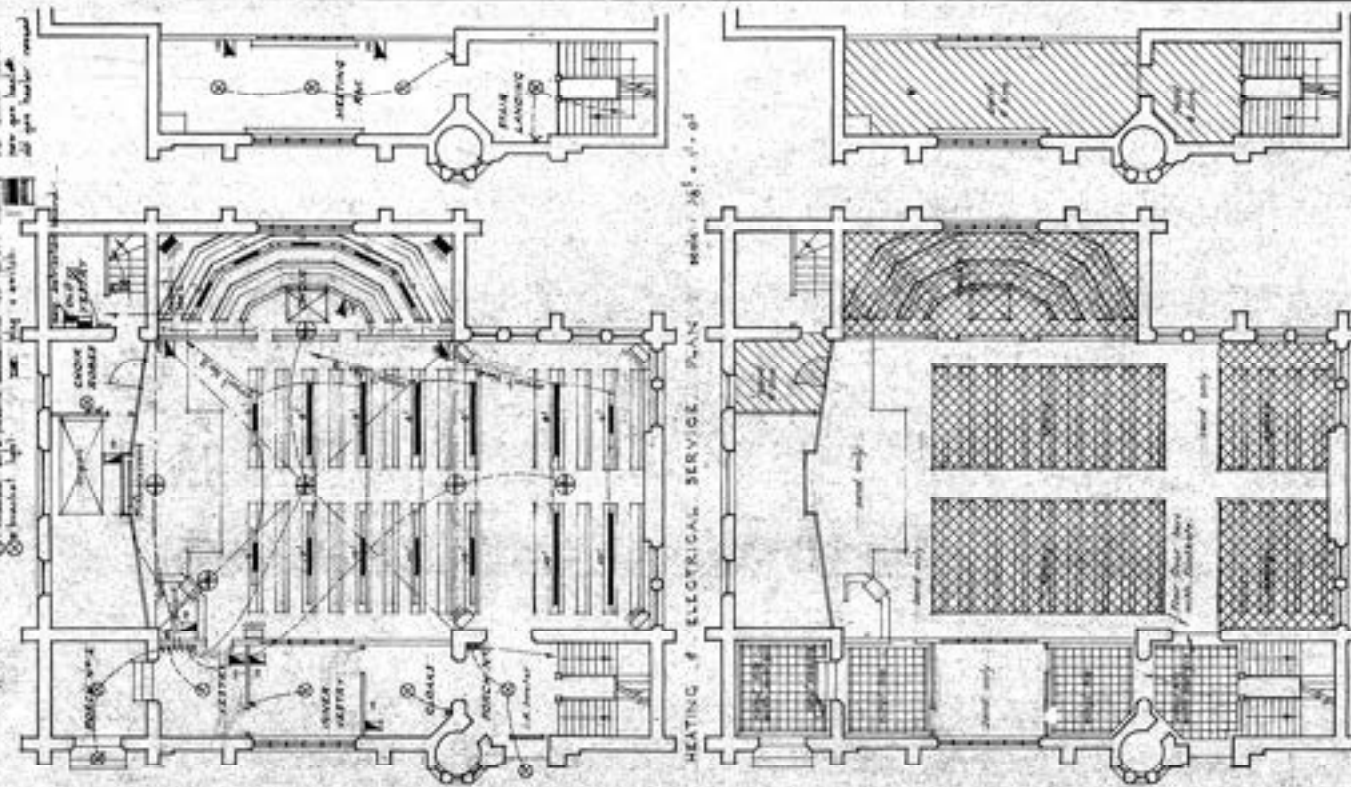
INDEX :-

See other sheets for
all other details
see also sheet
352

Selected seats with
attached end seats
to be retained
to be retained
to be retained



HEATING & ELECTRICAL SERVICE PLAN



FLOOR COVERINGS

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

1/4" PLAN & SERVICE PLAN

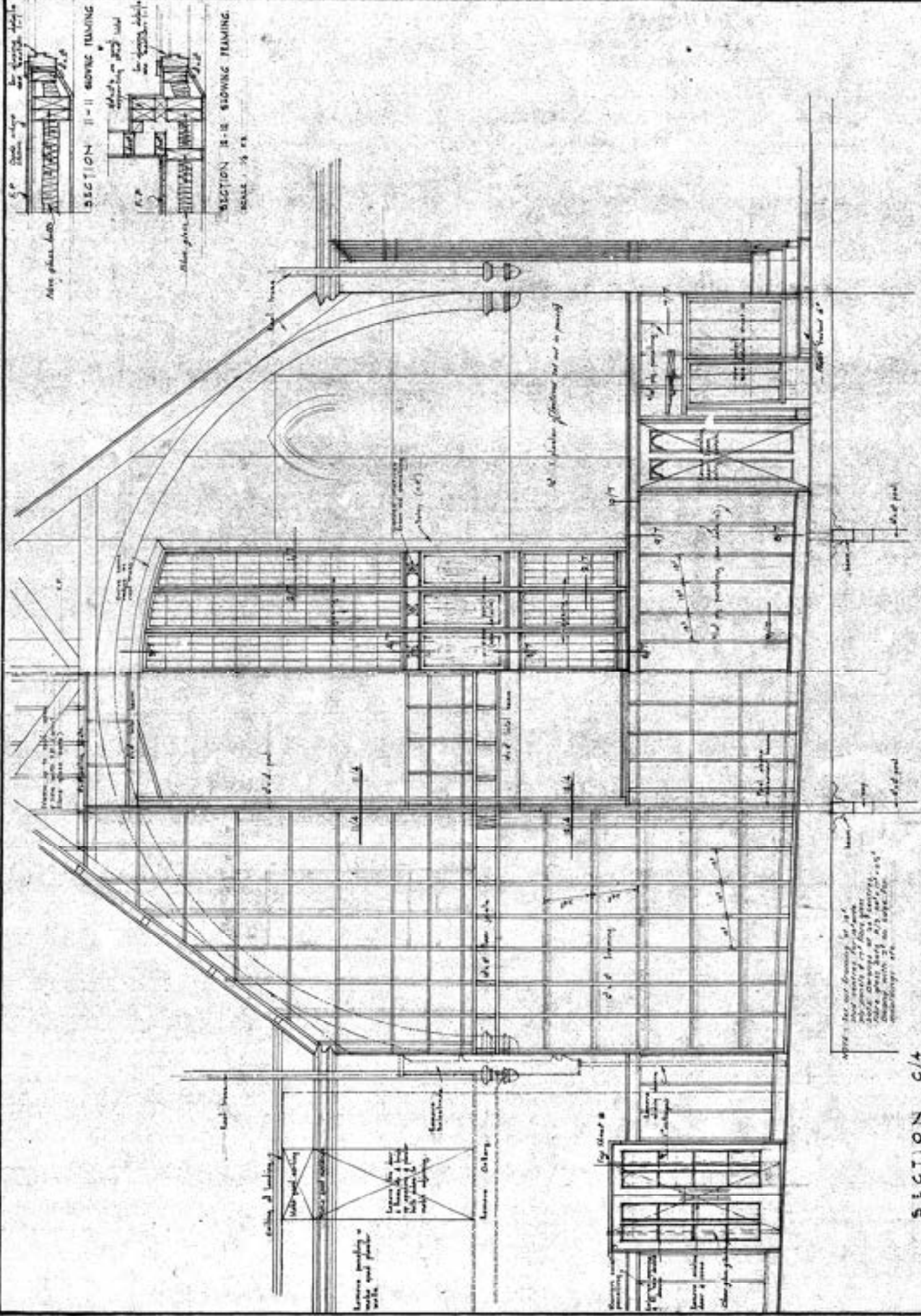
Scale 1/8" = 1'-0"

ARCHITECT: E. W. BERRY
REGISTERED ARCHITECT
ENGINEER

352

3

TRINITY METHODIST CHURCH



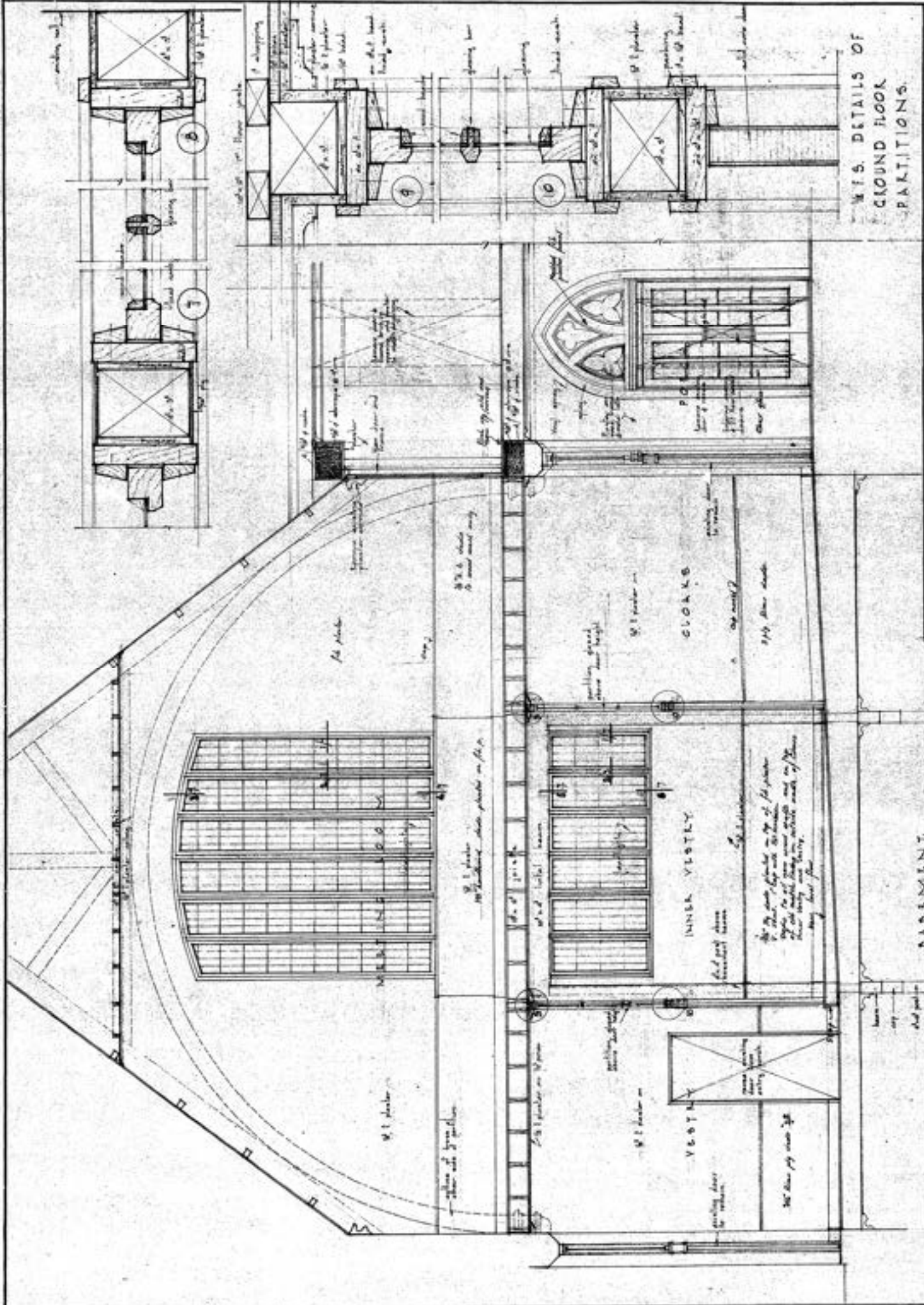
SECTION B-B SHOWING FRAMING

SECTION B-B SHOWING FRAMING
SCALE 1/8" = 1'

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH	
1/2 SECTION (SOUND PROOF WALL)	
DESIGNED BY	W. H. B. B. B.
DRAWN BY	J. J. J. J.
PROJECT NO.	352
DATE	4

SECTION C/A

NOTE: See note on drawing for details of construction of wall. Also note that the wall is to be built on a concrete foundation. The wall is to be built on a concrete foundation. The wall is to be built on a concrete foundation.



W.S. DETAILS OF
GROUND FLOOR
PARTITIONS.

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH
1st SECTION THROUGH VESTRY & MEETING ROOM

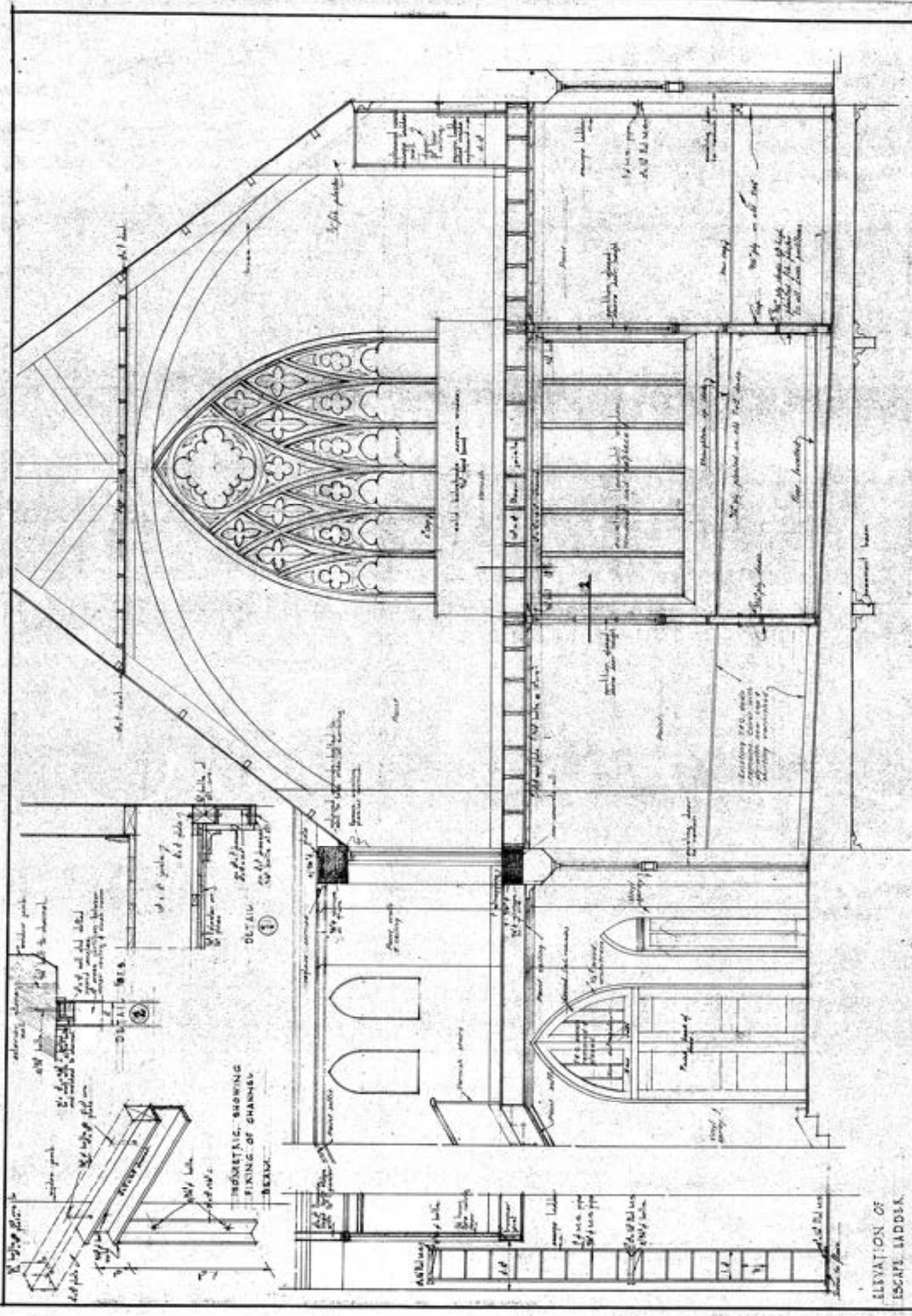
W.S. DETAILS OF
GROUND FLOOR
PARTITIONS.

W.S. DETAILS OF
GROUND FLOOR
PARTITIONS.

BASEMENT

SECTION D/5

352
5



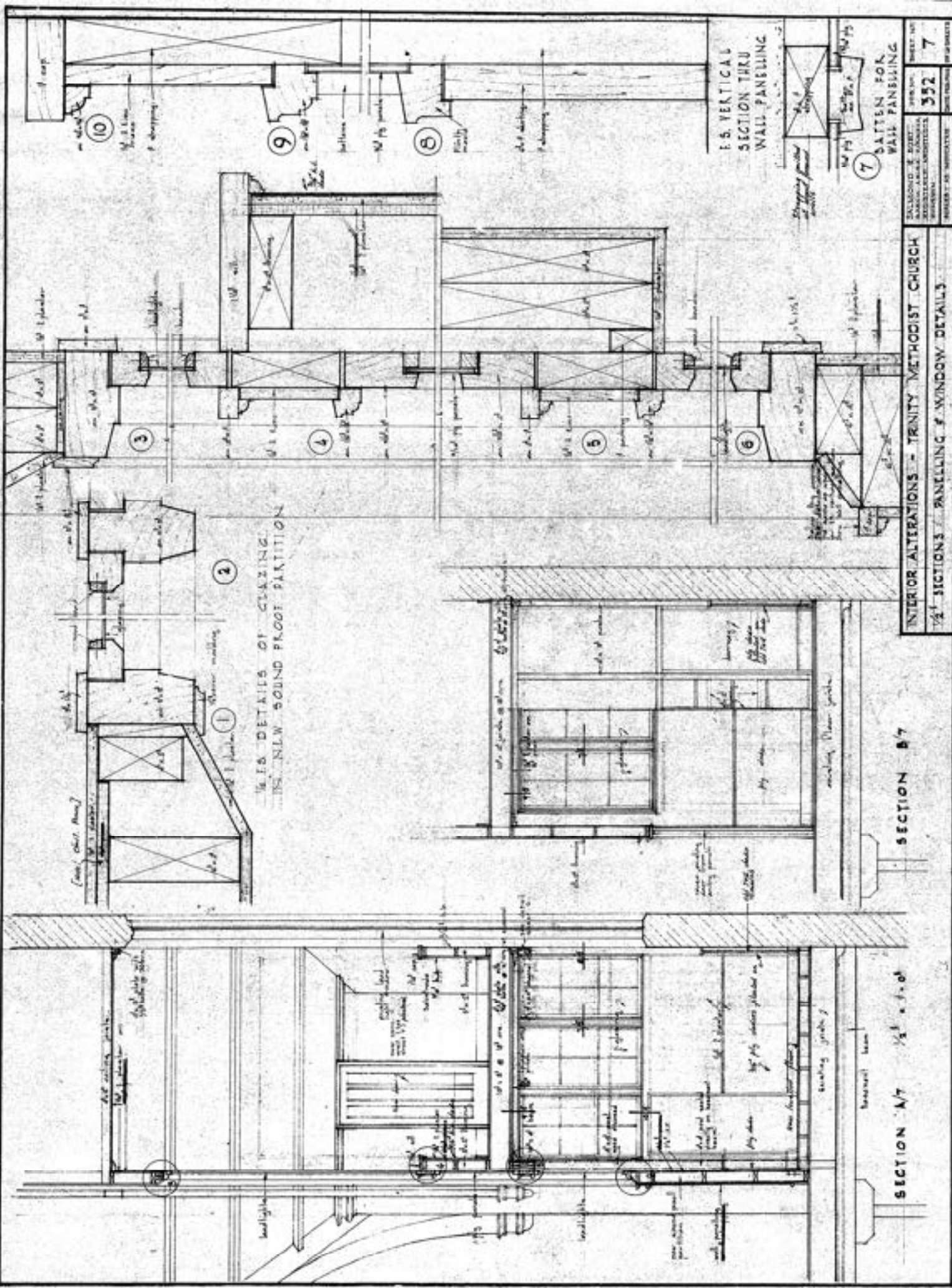
INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

3rd SECTION, PORCH & VESTRIES

SECTION 1/6

ELEVATION OF ESCAPE LADDER

DATE	NOV 1911
NO. OF SHEETS	552
NO. OF SHEETS IN SET	6
PROJECT	TRINITY METHODIST CHURCH
ARCHITECT	W. H. H. H. H.



1/8 IS DETAILS OF GLAZING
 IS NEW SOUND PROOF PARTITION

1/8 VERTICAL
 SECTION THRU
 WALL PANELLING

SECTION B/B

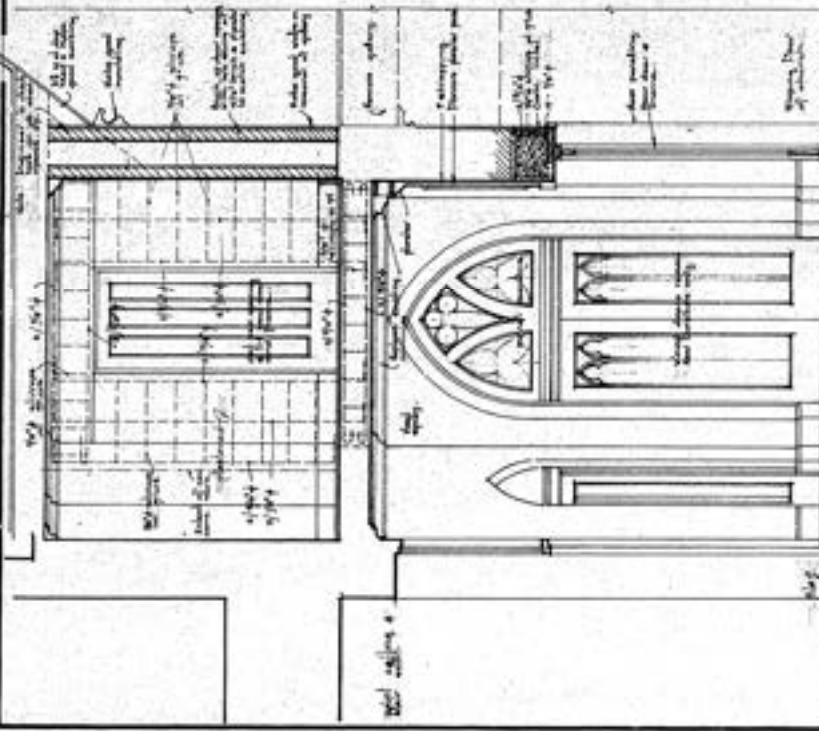
SECTION A/A

INTERIOR ALTERATIONS - TRINITY METHODIST CHURCH

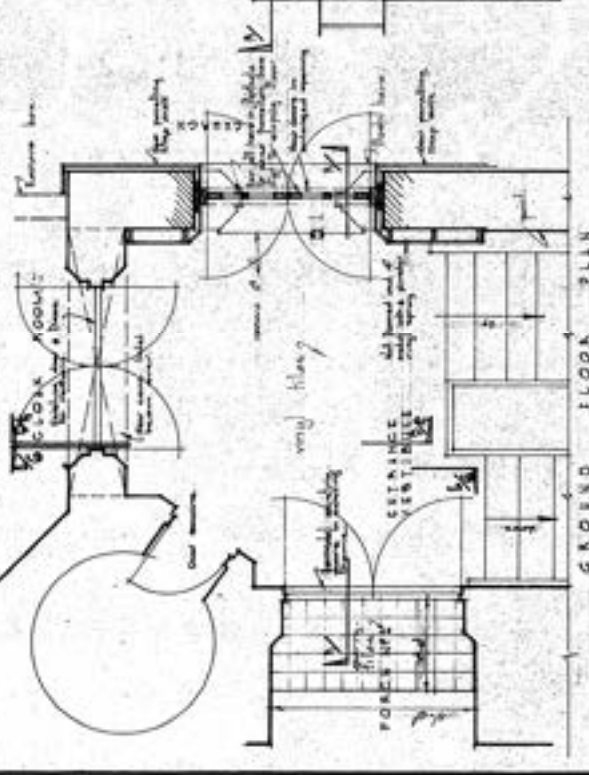
1/8 SECTIONS PANELLING & WINDOW DETAILS

352
 SHEET NO.
 7

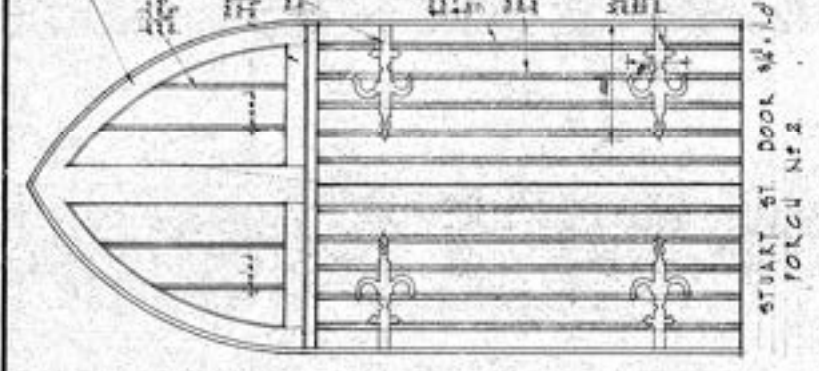
0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40



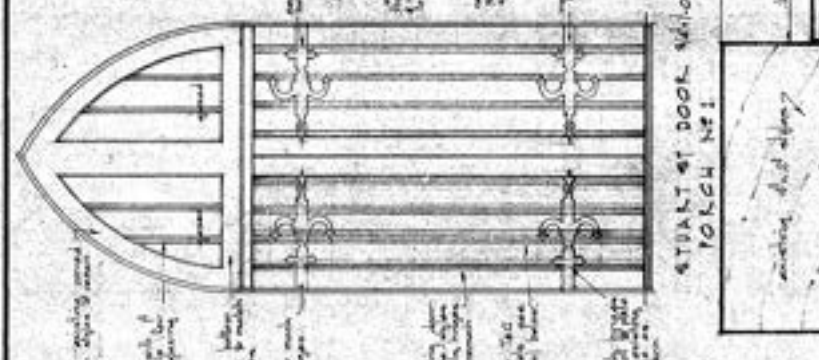
SECTION A-A



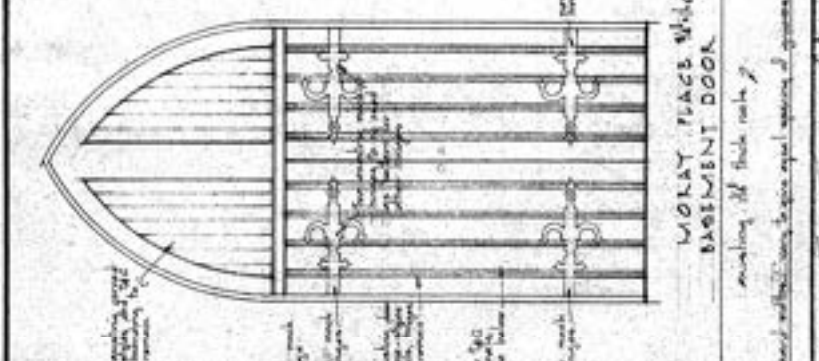
GROUND FLOOR PLAN
N^o DETAILS OF ENTRANCE VESTIBULE



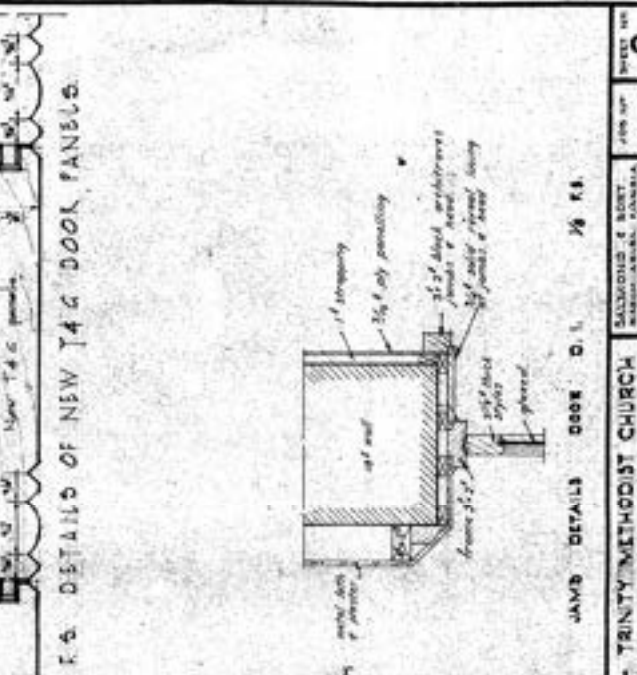
STUART ST. DOOR NO. 2



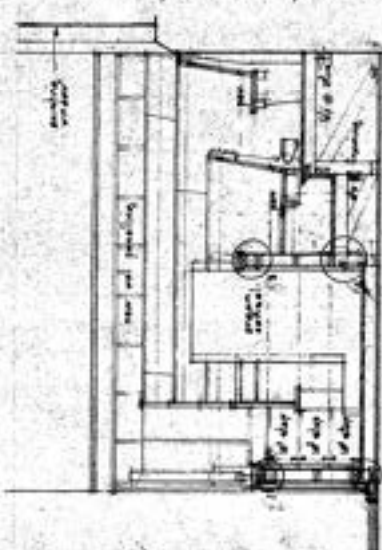
STUART ST. DOOR NO. 1



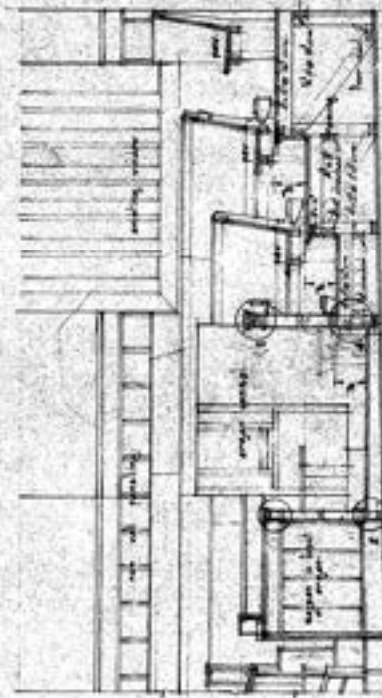
WOLLEY PLACE WOOD
BASEMENT DOOR



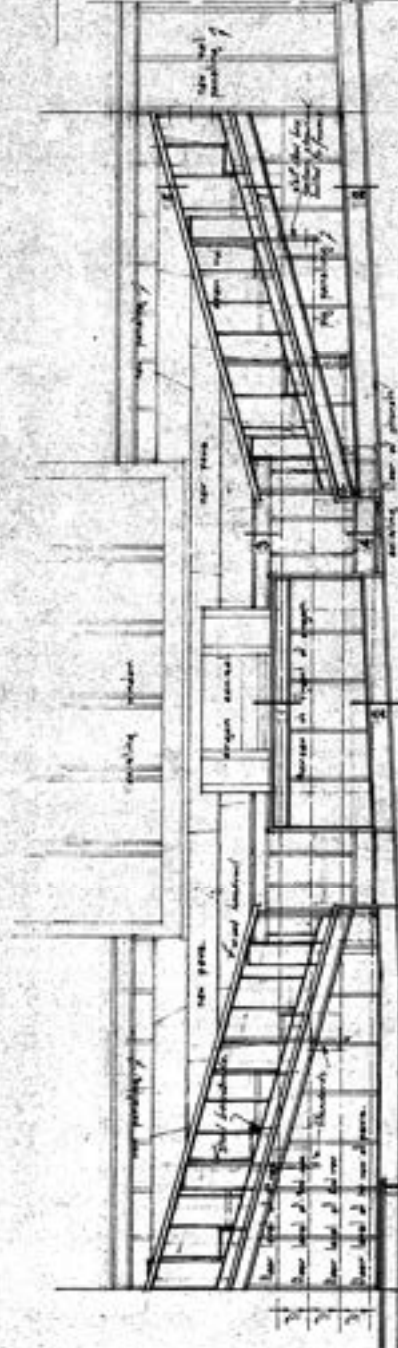
JAMB DETAILS DOOR D. 1. 2/8 K.S.



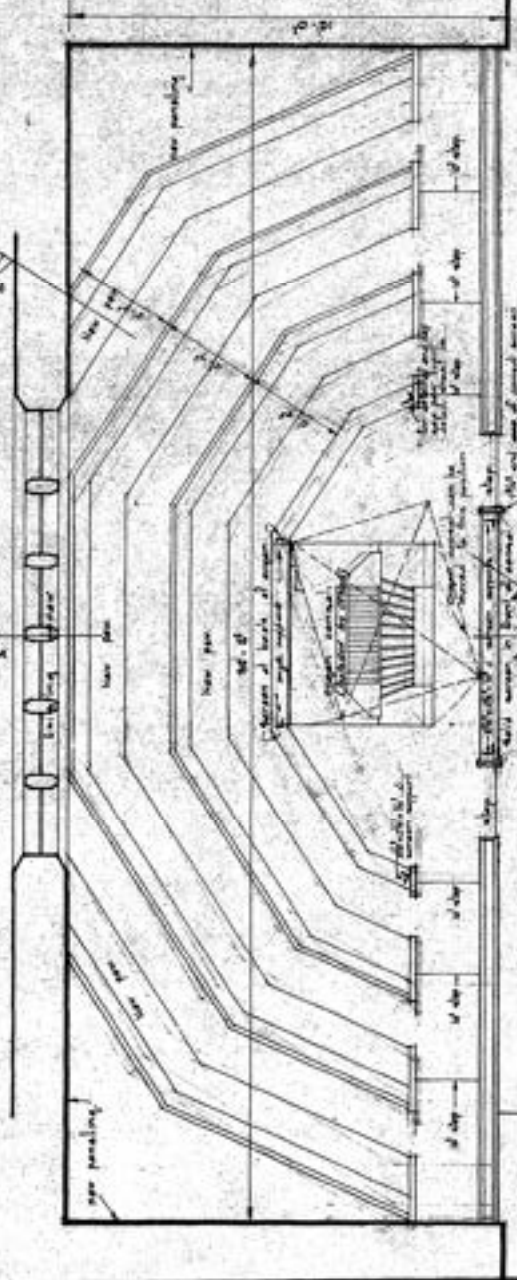
SECTION A-A



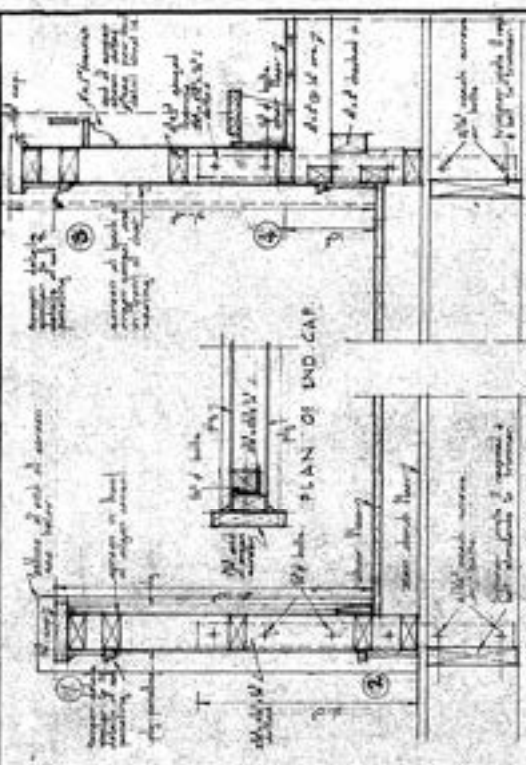
SECTION B-B



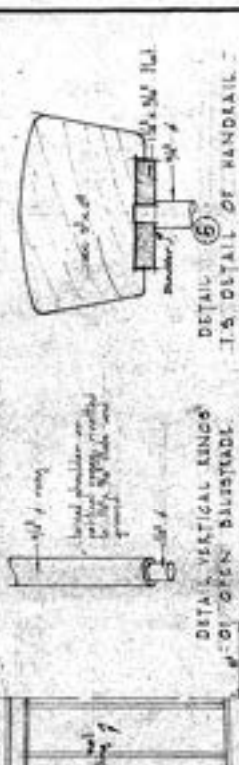
FRONT ELEVATION OF CHOIR SEATING



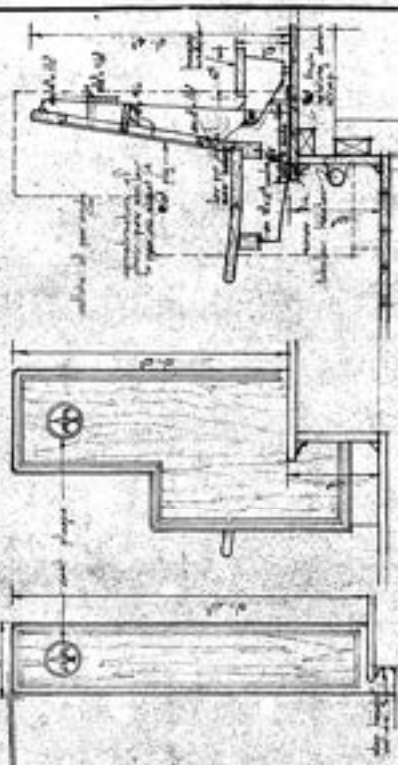
PLAN OF CHOIR SEATING



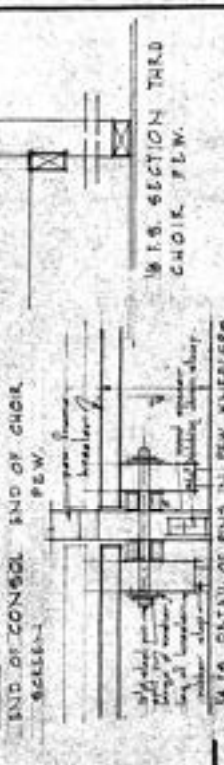
W.T.6 SECTION OF CONSOLE SCREEN & CHOIR FRONT.



DETAIL VERTICAL RINGS & OF OPEN BALUSTRADE



W.T.8 SECTION THIRD CHOIR FEW.



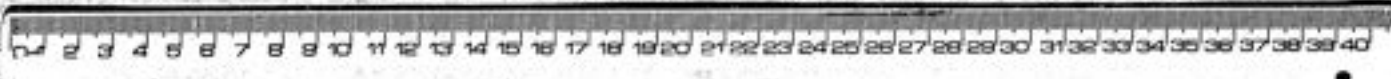
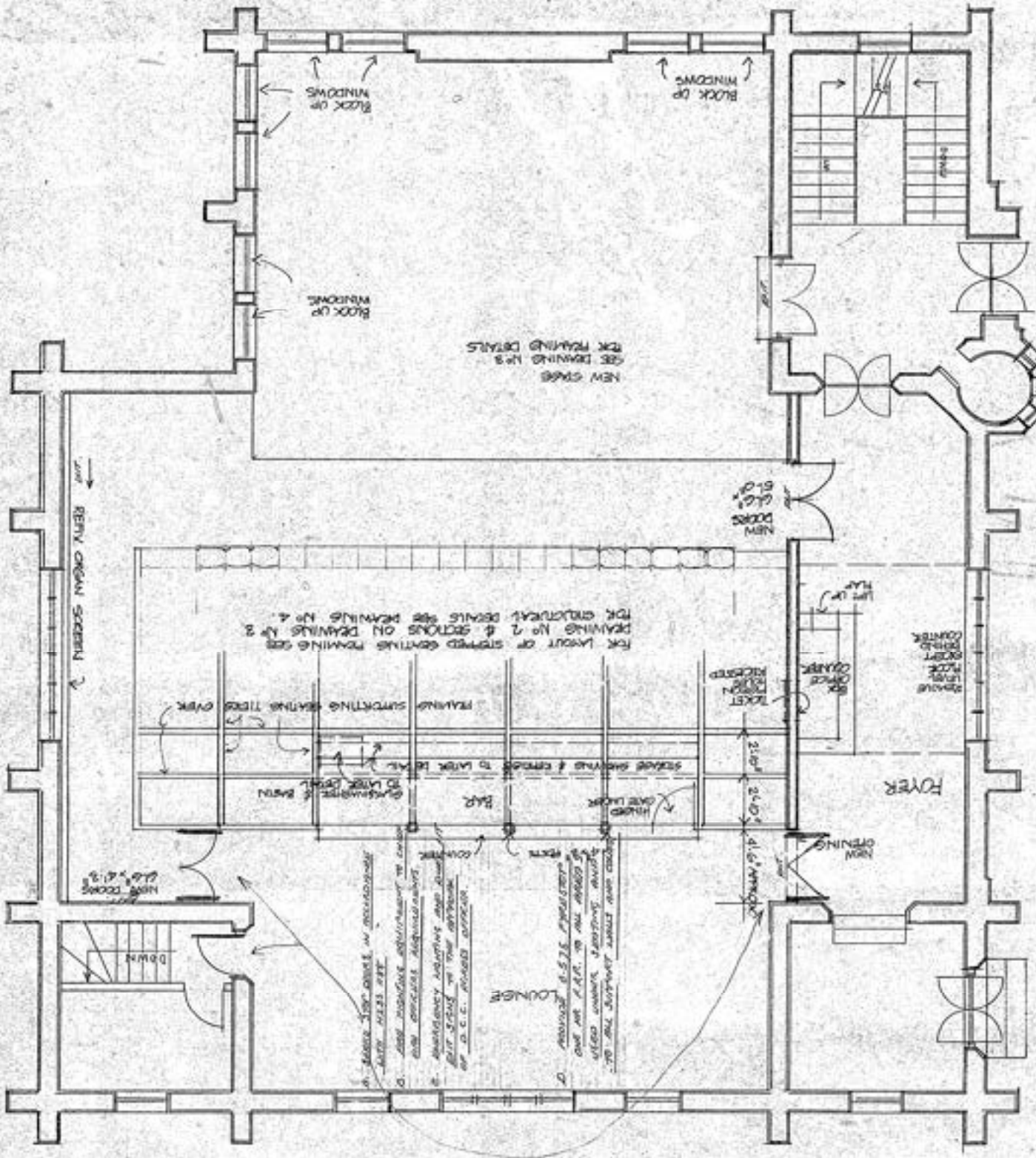
W.T.9 DETAIL OF PINS IN FEW KNEES

8965

DRAWING No 1 of 4
16.1.78

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

PLAN AT GROUND FLOOR LEVEL SCALE 1/8" = 1'-0"

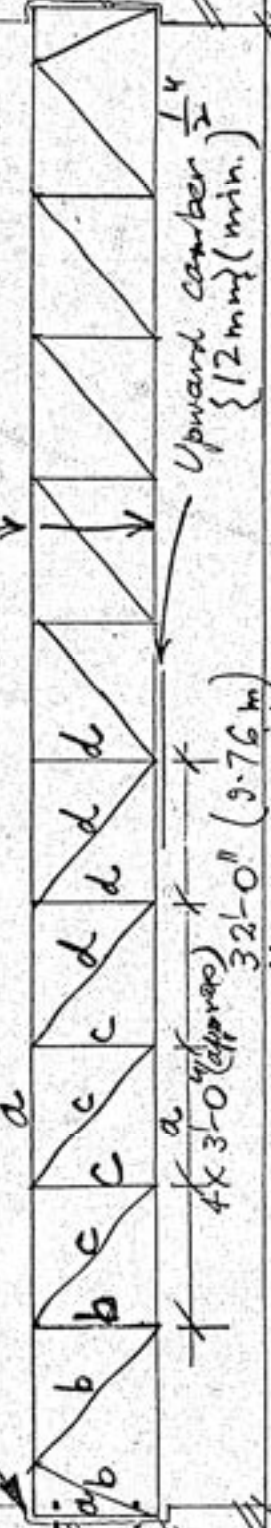


79081/4

Symmetrical about Φ

Build in min $3'$ into stone walls each end - concrete in

Drill top & bottom chords $7/16" \phi @ 30" o.c$



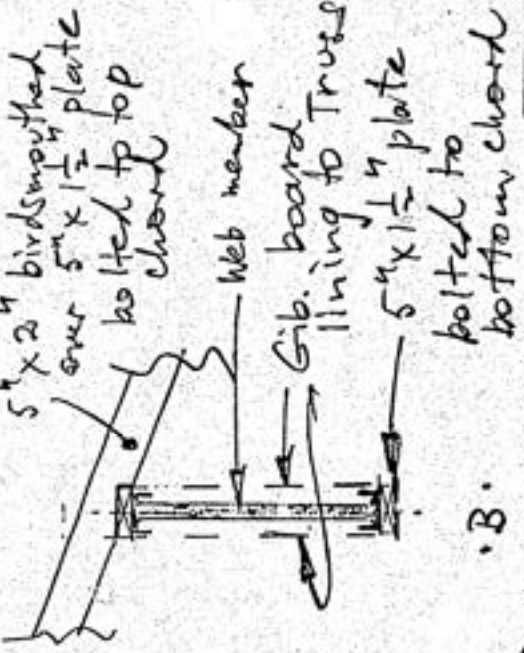
2 No. $3/4" \phi$ diagonal bolts or $3/4" \phi$ bolts right through wall $5/8" \times 2'-6" \times 4' \times 7/8"$ on rear face

Confirm on site

TRUSS 1 - No. OFF : 2

LEGEND

a	102XS1 DSC 10.4 or 76X76 RH 9.14
b	50NB 2.9 CHS
c	40NB 2.9 CHS
d	25NB 2.65 CHS

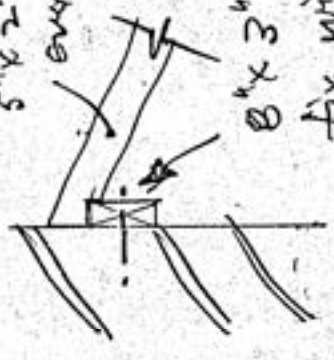


'B' bolted to bottom chord

DETAIL AT TRUSS

$5" \times 2"$ birds mouth over wall plate

$8" \times 3"$ wall plate - fix with $3/4" \phi$ diagonal @ $5'0"$ max. c/c.



'A'

DETAIL AT REAR WALL

STRUCTURAL DETAILS, CONVERSION OF TRINITY CHURCH for FORTUNE THEATRE Co.

BRICKELL, MOSS, RANKINE & HILL
O.S.B. BUILDING, GEORGE ST.,
P.O. BOX 5243,
DUNEDIN, PHONE 88-203

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

DRAWING
No 2 of 4
16.1.78

PLAN AT UPPER LEVEL SCALE: 1/4" = 1'-0"

CITY PLANNING DEPARTMENT
Present to the positions of the District Scheme, these
plans and specifications are approved, provided that
no changes shall be made to the details shown hereon,
and submitted in the specification attached hereto,
and subject to

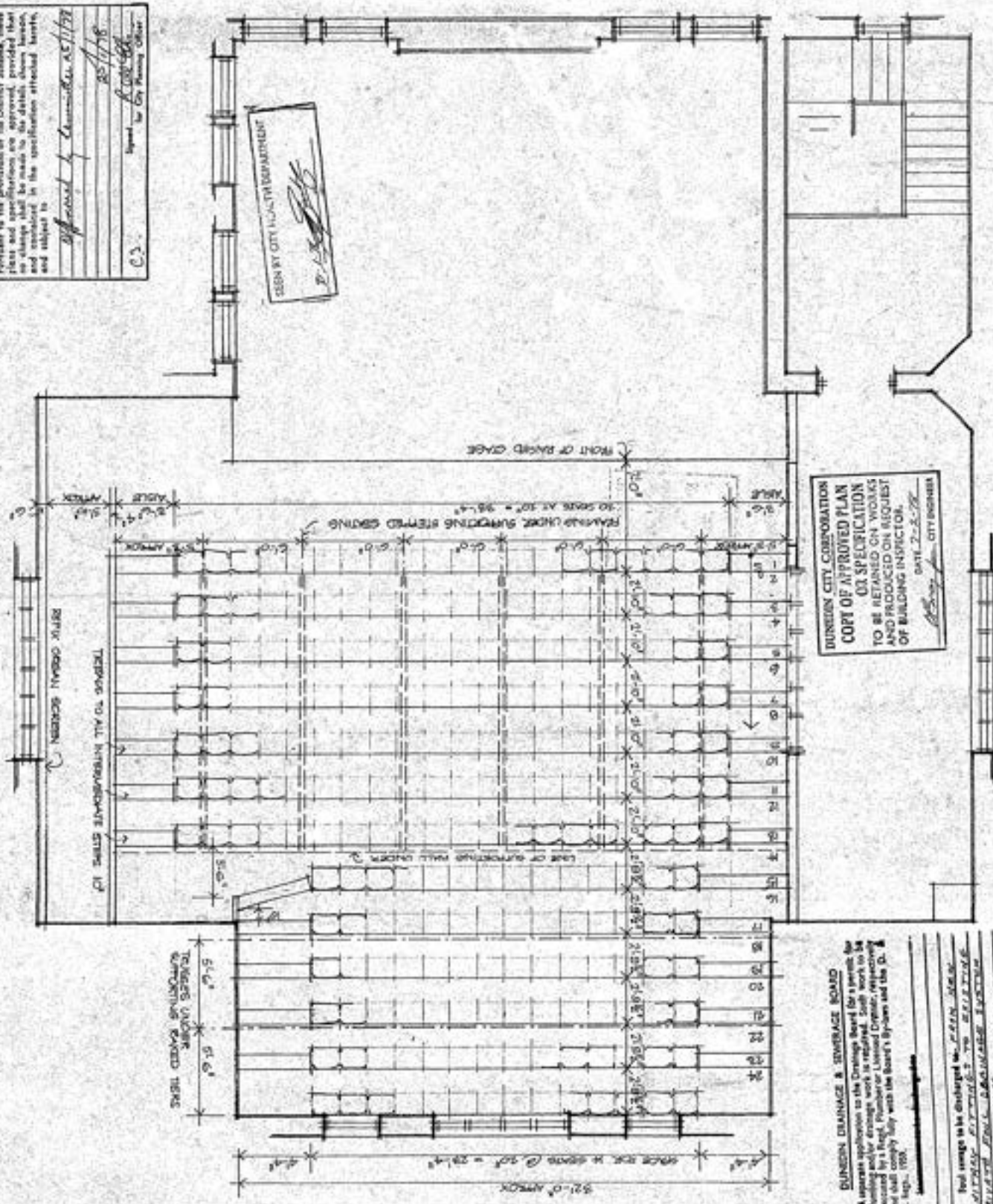
Approved by Commissioner on 15/1/78
25/1/78
Signed by City Planning Officer
C.S.

SEEN BY CITY HEALTH DEPARTMENT
P. J. B. 25/1/78

DUNDEE CITY CORPORATION
COPY OF APPROVED PLAN
OR SPECIFICATION
TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.
DATE 2-2-78
CITY ENGINEER

DUNDEE DRAINAGE & SEWERAGE BOARD
A separate application to the Drainage Board for a permit for
excavating and/or drainage work is required. Such work to be
executed by a Registered Drainage Contractor, respectively
and shall comply fully with the Board's By-laws and the D.S.
R. Regs., 1958.

Full charge to be discharged to: P. J. B. 25/1/78
SAULTY STEELWORKS LTD. 25/1/78
REMARKS FOR WORKABLE SECTION
SPECIALS: BOUNDARIES

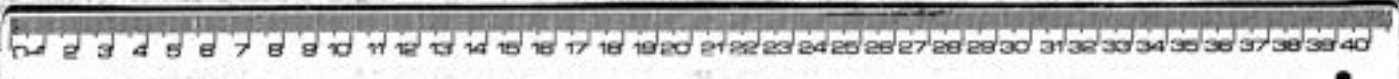
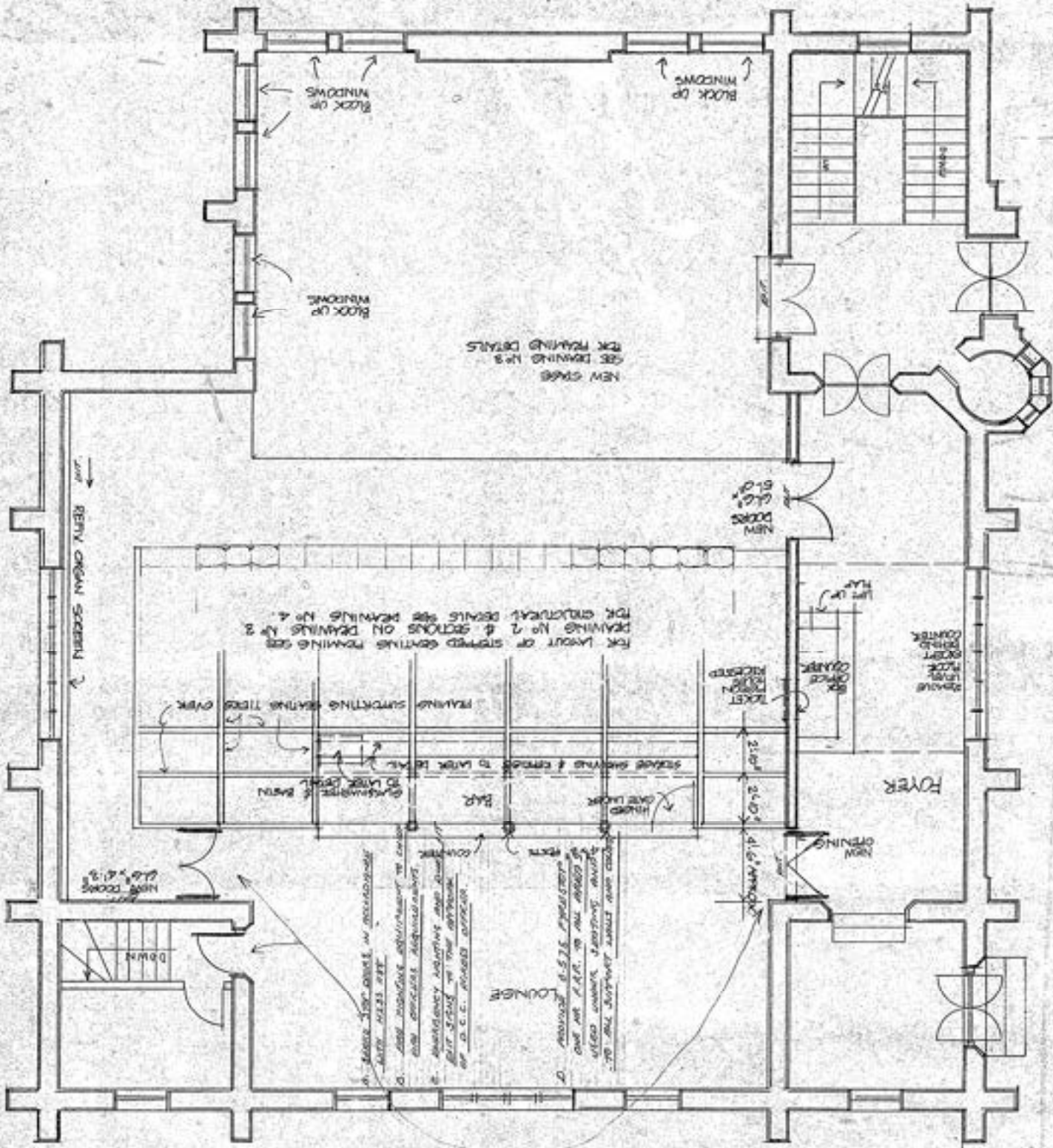


8965

DRAWING
No 1 of 4
16.1.78

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

PLAN AT GROUND FLOOR LEVEL SCALE 1/8" = 1'-0"

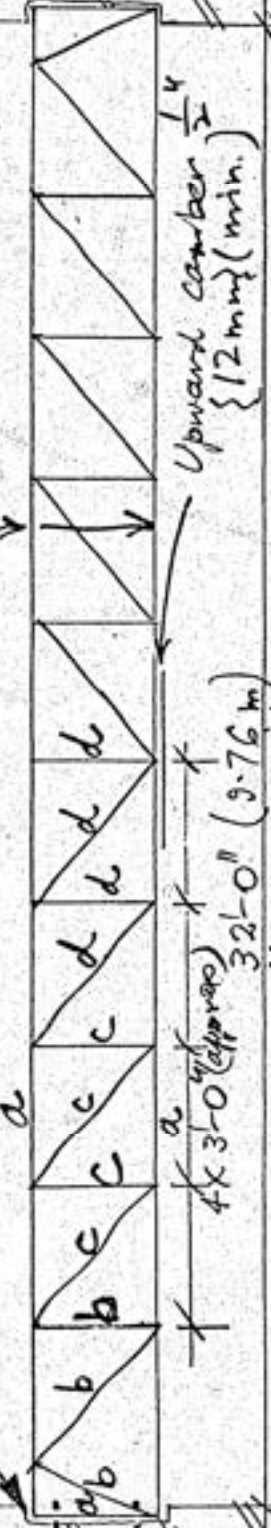


79081/4

Symmetrical about Φ

Build in min 3' into stone walls each end - concrete in

Drill top & bottom chords $\frac{3}{16}'' \phi @ 30\% \phi c$



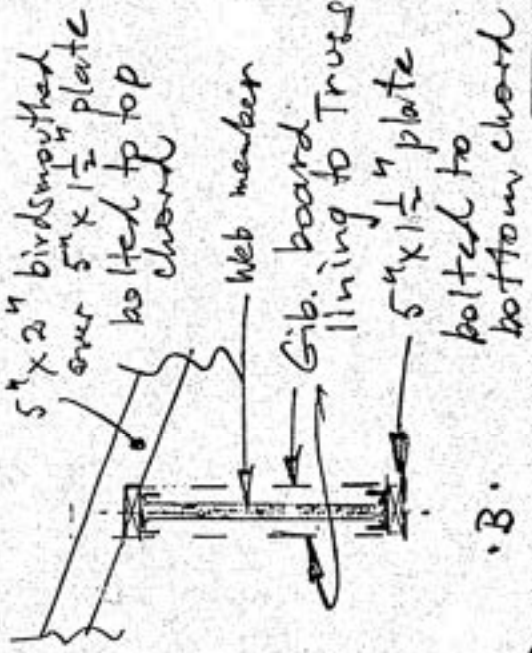
2 No. $\frac{3}{4}'' \phi$ dyn bolts or $\frac{3}{4}'' \phi$ bolts right thru wall $5\frac{1}{2}''$ to $2\frac{1}{2}'' \times 4\frac{1}{2}'' \times 7\frac{1}{2}''$ on rear face

4 x 3'-0" (approx) 32'-0" (9.76 m) Confirm on site

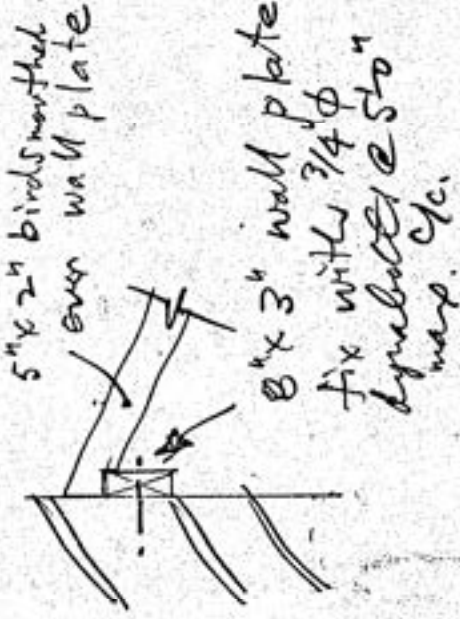
TRUSS 1 - No. OFF : 2

LEGEND

a	102XS1 DSC 10.4 or 76X76 RH 9.14
b	50NB 2.9 CHS
c	40NB 2.9 CHS
d	25NB 2.65 CHS



DETAIL AT TRUSS 'B'



DETAIL AT REAR WALL 'A'

STRUCTURAL DETAILS, CONVERSION OF TRINITY CHURCH for FORTUNE THEATRE Co.

BRICKELL, MOSS, RANKINE & HILL
O.S.B. BUILDING, GEORGE ST.,
P.O. BOX 5243,
DUNEDIN, PHONE 88-203

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

DRAWING
No 2 of 4
16.1.78

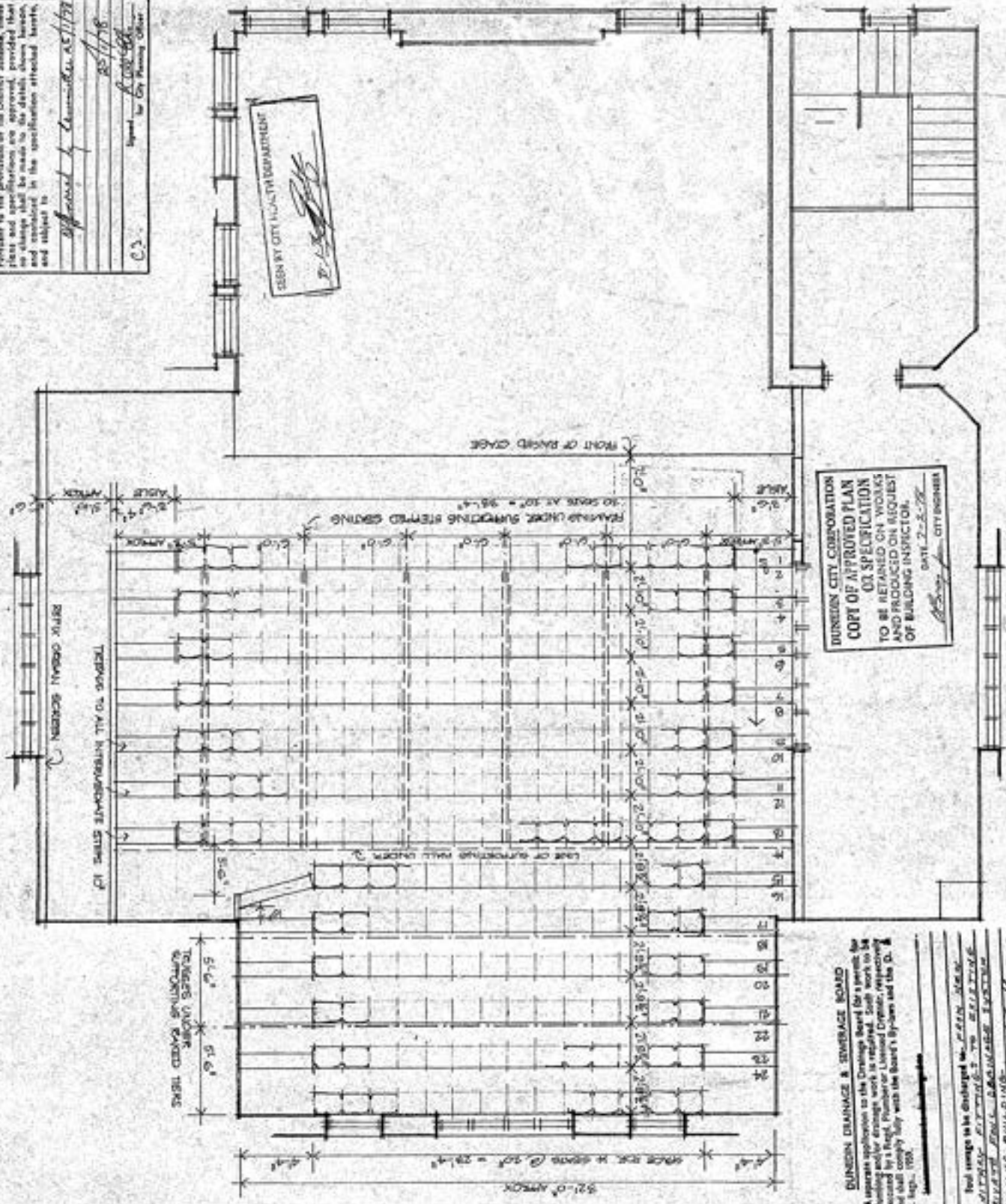
PLAN AT UPPER LEVEL SCALE: 1/4" = 1'-0"

CITY PLANNING DEPARTMENT
Present to the position of the District Scheme, these
plans and specifications are approved, provided that
no changes shall be made to the details shown hereon,
and contained in the specification attached hereto,
and subject to
Approved by Commissioner 15/1/78
25/1/78
Signed by City Planning Officer
C.S.

SEEN BY CITY HEALTH DEPARTMENT
[Signature]

DUNDEE CITY CORPORATION
COPY OF APPROVED PLAN
OR SPECIFICATION
TO BE RETURNED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.
DATE: 2-2-78
[Signature] CITY ENGINEER

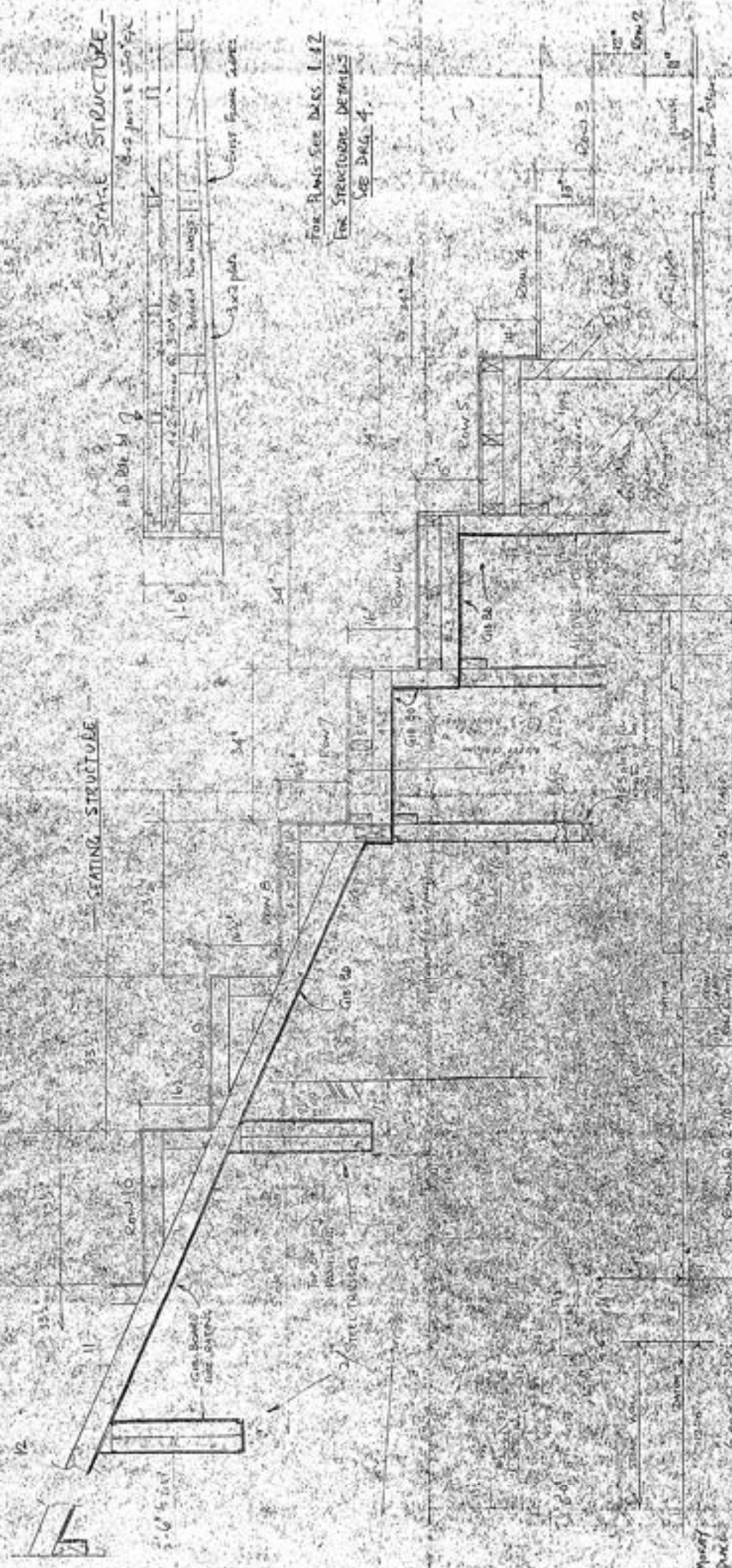
DUNDEE DRAINAGE & SEWERAGE BOARD
A separate application to the Drainage Board for a permit for
excavating and/or drainage work is required. Such work to be
executed by a Registered Drainage Contractor, respectively
and shall comply fully with the Board's By-laws and the D.S.B.
R. Regs., 1958.
This sewage to be discharged to: *RAIN SEWER*
SEWERAGE SYSTEMS TO BELTLINE
SEWERAGE FOR UNSEWERED SECTION
SEWERAGE MAINLINE
[Signature] 15/1/78



13

SEATING STRUCTURE

STAGE STRUCTURE

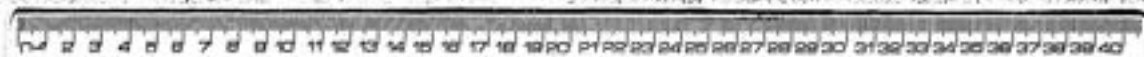


CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

LONGITUDINAL SECTION AT GRISS LINES

SECTIONS

DRAWING
NO. 3 of 4

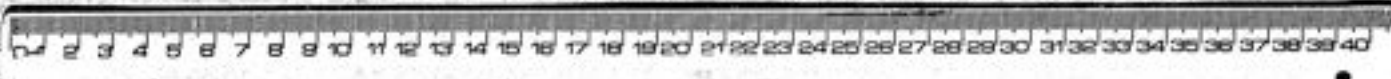
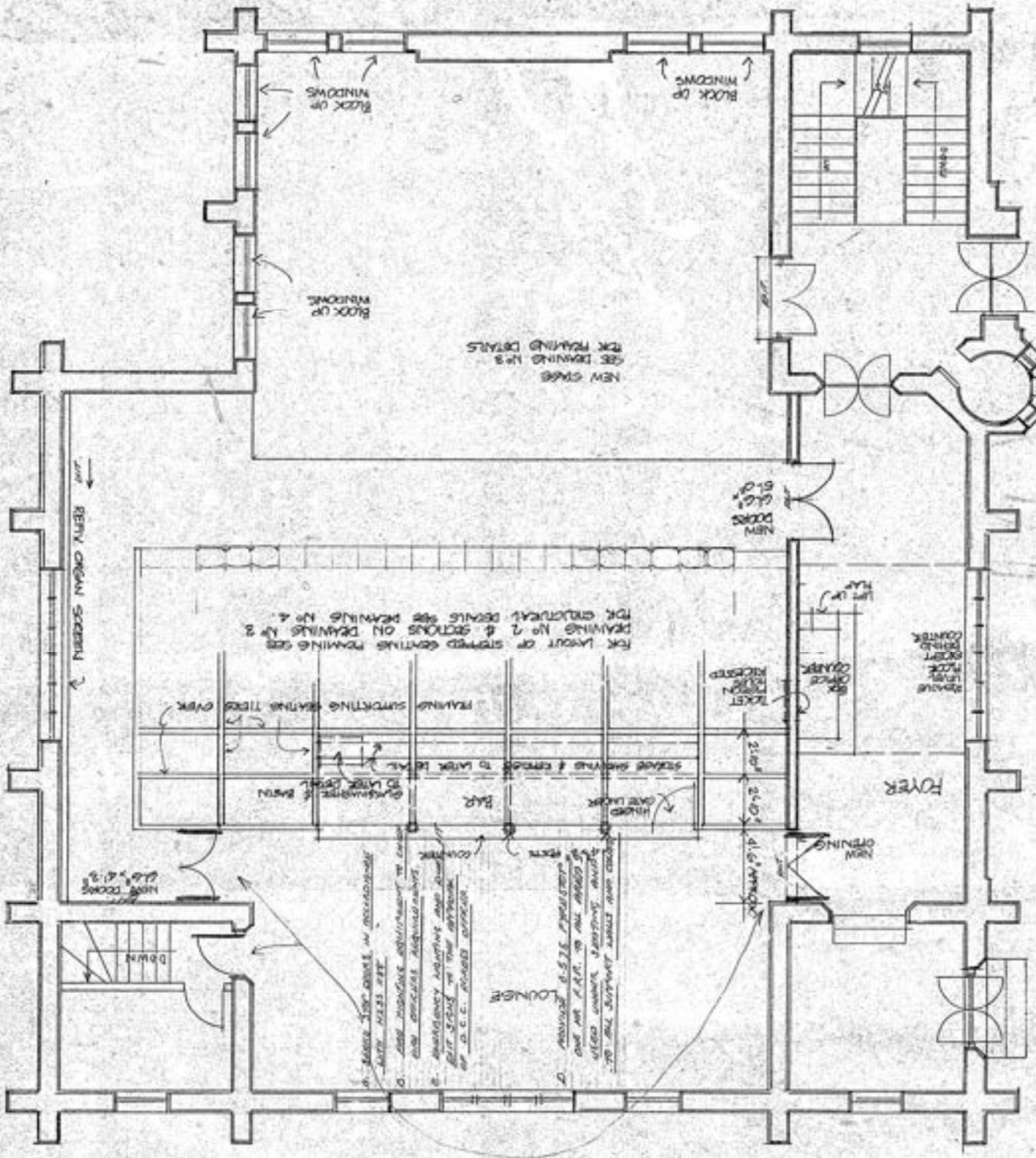


8965

DRAWING
No 1 of 4
16.1.78

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

PLAN AT GROUND FLOOR LEVEL SCALE 1/8" = 1'-0"

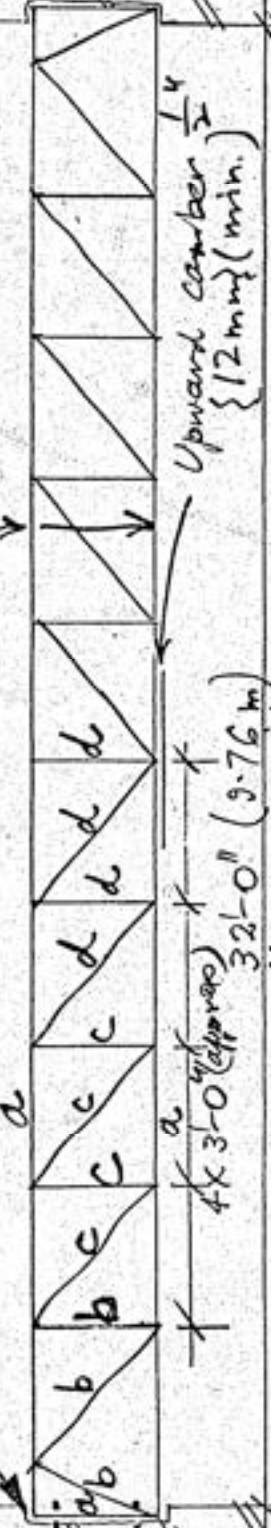


79081/4

Symmetrical about Φ

Build in min $3'$ into stone walls each end - concrete in

Drill top & bottom chords $3/16" \phi @ 30" \phi c$



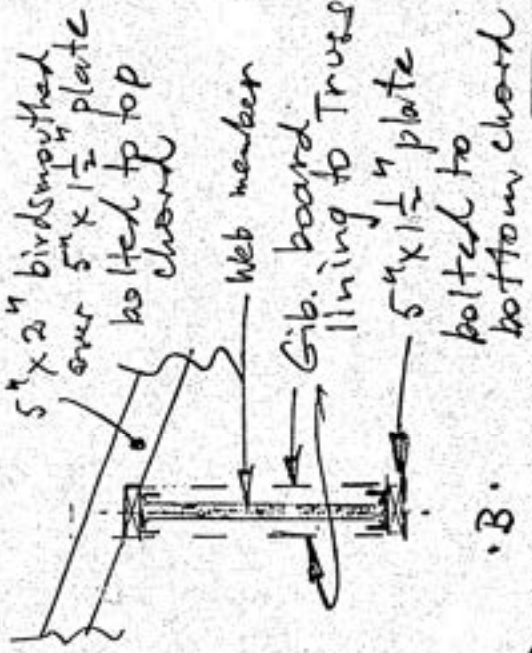
2 No. $3/4" \phi$ diagonal bolts or $3/4" \phi$ bolts right through wall $5/8" \times 2'-6" \times 4' \times 7/8"$ on rear face

Confirm on site

TRUSS 1 - No. OFF : 2

LEGEND

a	102XS1 DSC 10.4 or 76X76 RH 9.14
b	50NB 2.9 CHS
c	40NB 2.9 CHS
d	25NB 2.65 CHS

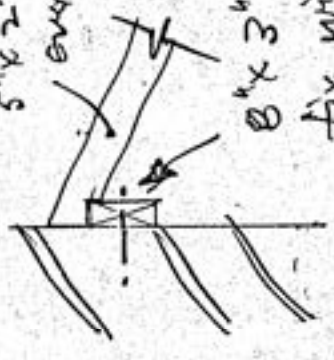


'B' bolted to bottom chord

DETAIL AT TRUSS

$5" \times 2"$ birds mouth over wall plate

$8" \times 3"$ wall plate - fix with $3/4" \phi$ diagonal @ $5'0"$ max. etc.



'A'

DETAIL AT REAR WALL

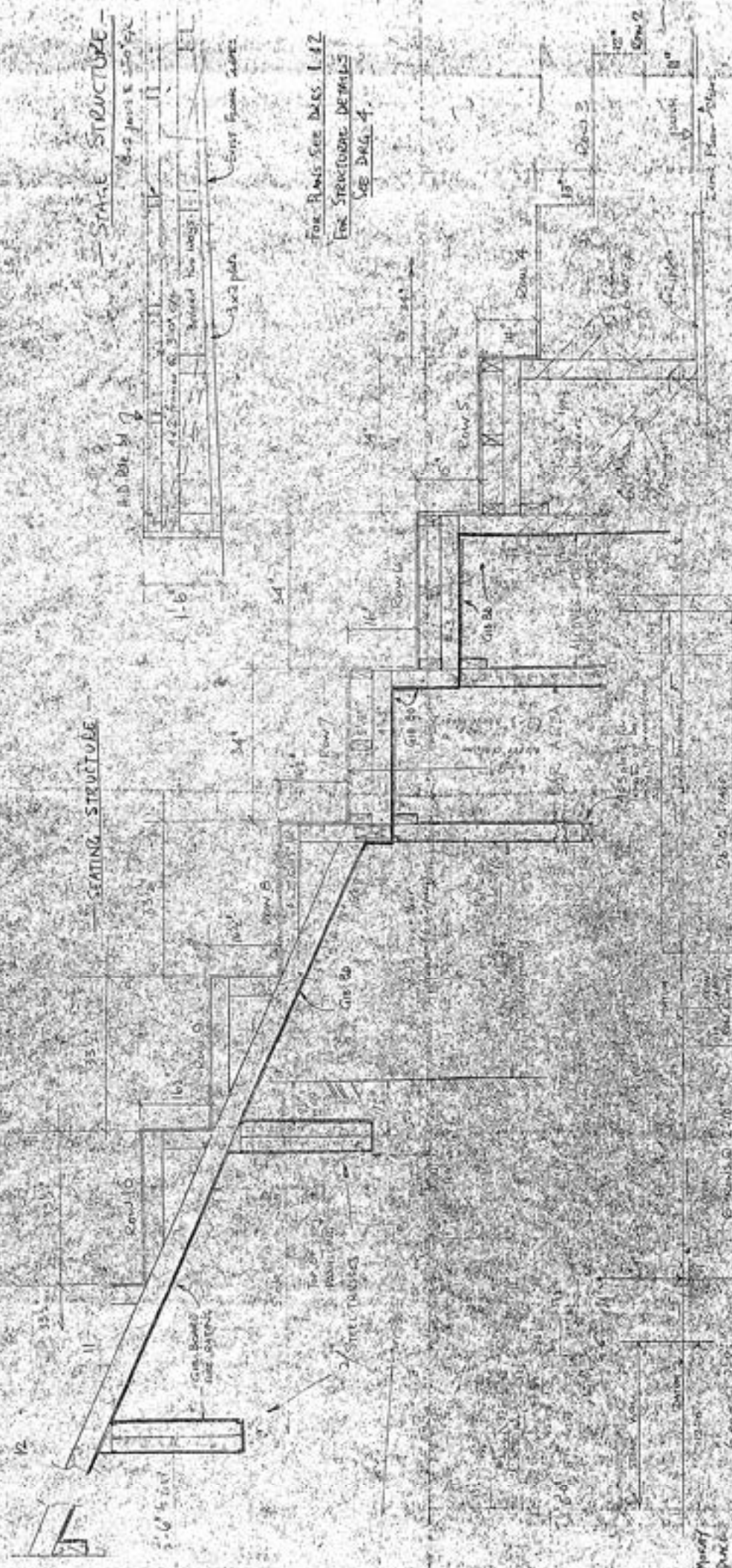
BRICKELL, MOSS, RANKINE & HILL
O.S.B. BUILDING, GEORGE ST.,
P.O. BOX 5243,
DUNEDIN, PHONE 88-203

STRUCTURAL DETAILS, CONVERSION OF TRINITY CHURCH for FORTUNE THEATRE Co.

13

SEATING STRUCTURE

STAGE STRUCTURE



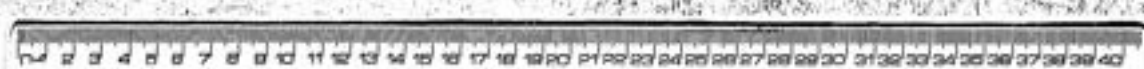
FOR ROWS SEE DESS. 1.42
 FOR STRUCTURE DETAILS
 SEE DRG. 4.

CONVERSION OF TRINITY
 METHODIST CHURCH
 FOR FORTUNE THEATRE

LONGITUDINAL SECTION AT GRID LINES

SECTIONS

DRAWING
 No. 3 of 4

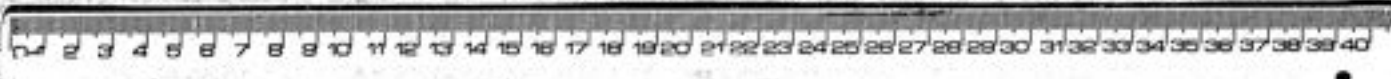
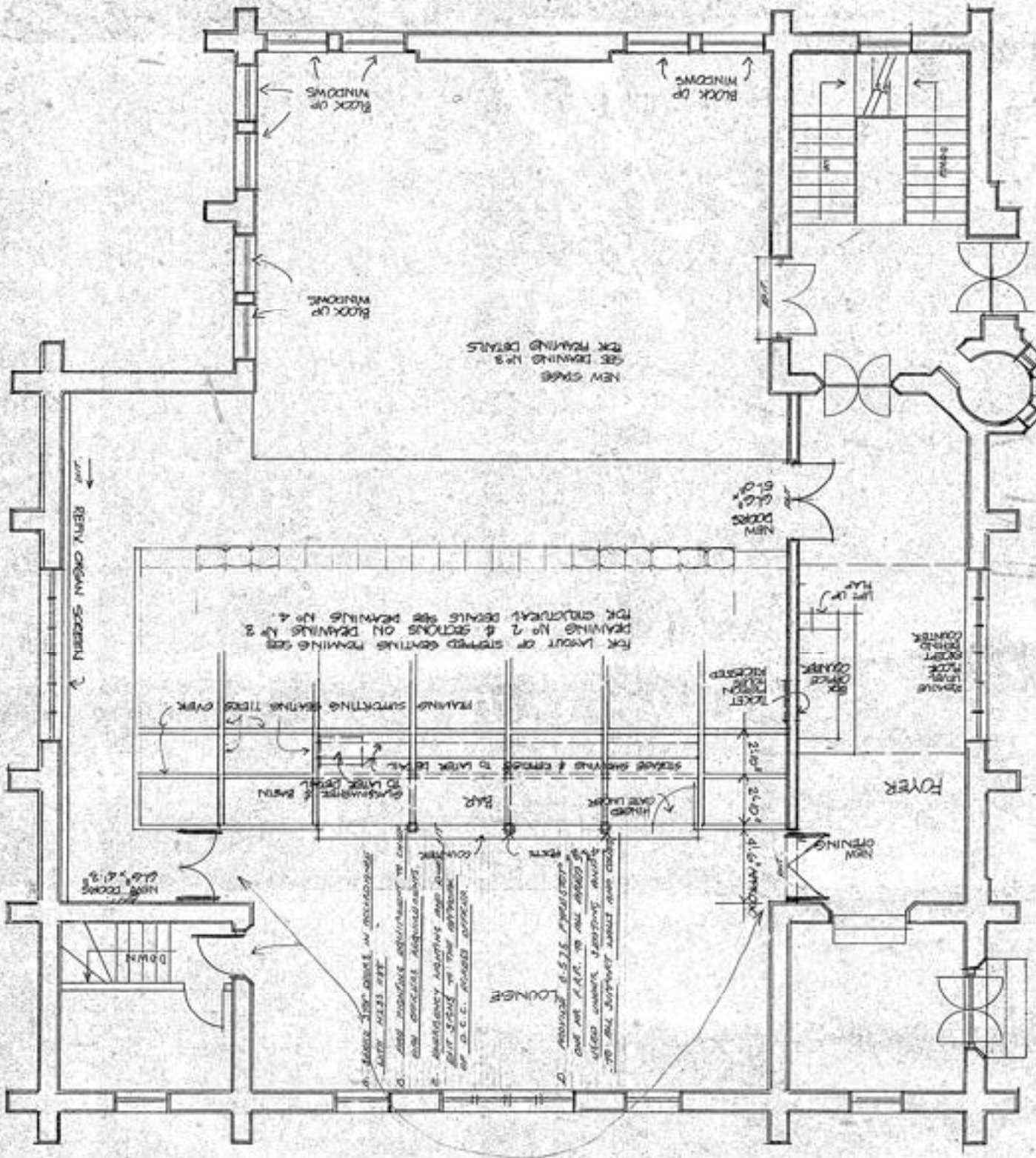


8965

DRAWING
No 1 of 4
16.1.78

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

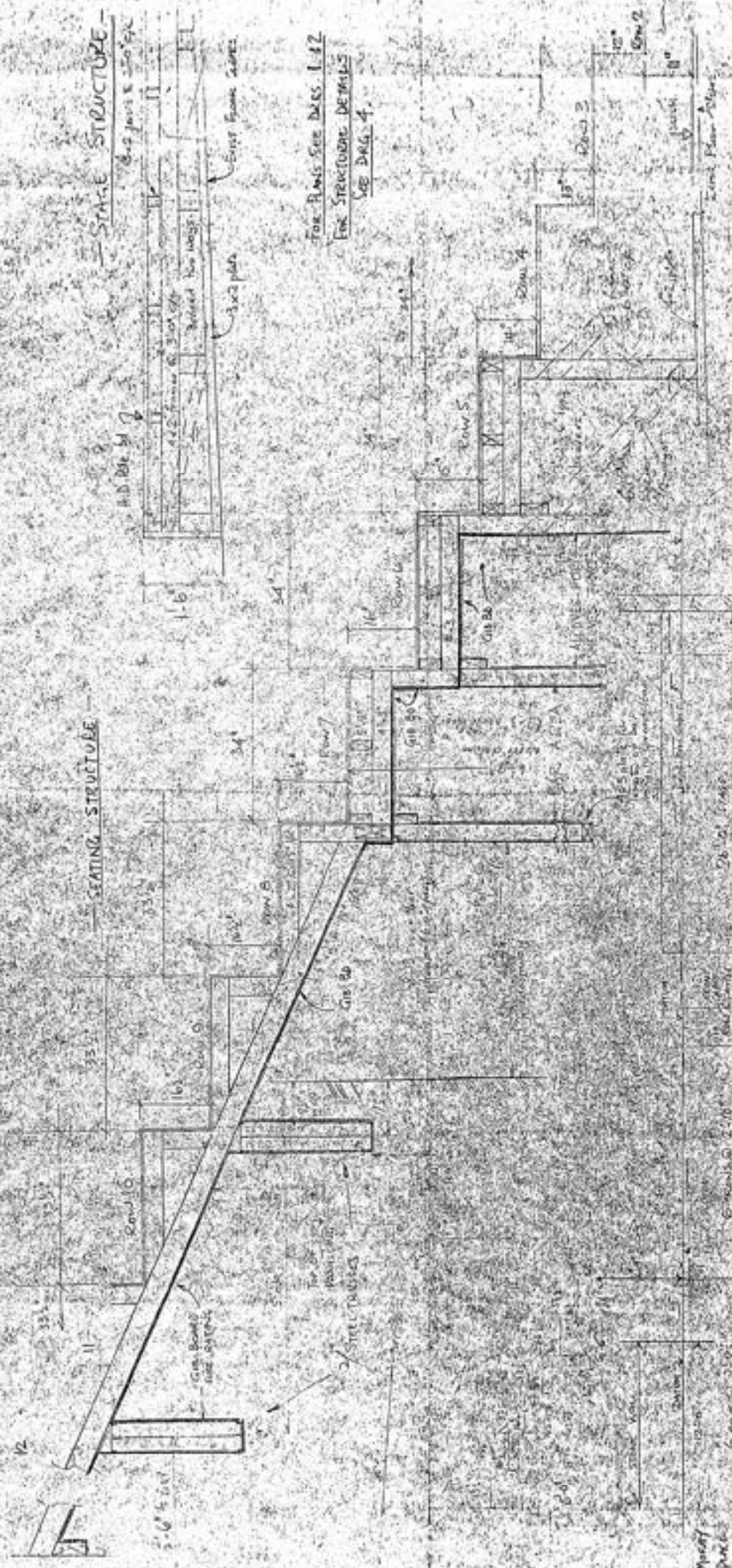
PLAN AT GROUND FLOOR LEVEL SCALE 1/8" = 1'-0"



13

SEATING STRUCTURE

STAGE STRUCTURE



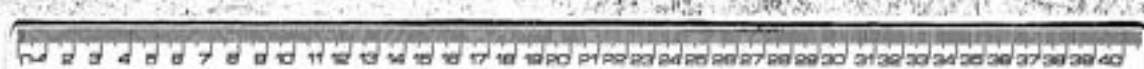
FOR ROWS SEE DESS. 1.42
 FOR STRUCTURE DETAILS
 SEE DRG. 4.

CONVERSION OF TRINITY
 METHODIST CHURCH
 FOR FORTUNE THEATRE

LONGITUDINAL SECTION BY GRID LINES

SECTIONS

DRAWING
 No. 3 of 4

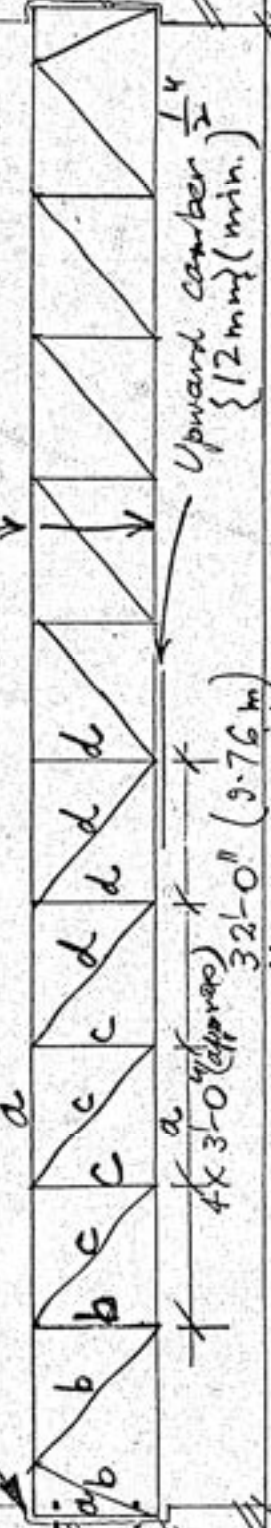


79081/4

Symmetrical about Φ

Build in min $3'$ into stone walls each end - concrete in

Drill top & bottom chords $3/16" \phi @ 30" \phi c$



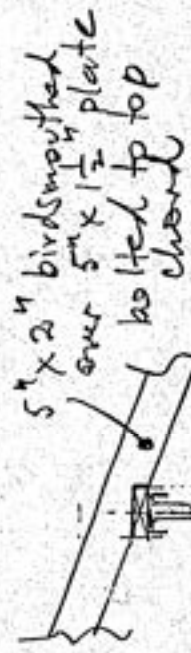
2 No. $3/4" \phi$ diagonal bolts or $3/4" \phi$ bolts right through wall $5/4$ to $2-6" \times 4" \times 7/8"$ on rear face

Confirm on site

TRUSS 1 - No. OFF : 2

LEGEND

a	102XS1 DSC 10.4 or 76X76 RH 9.14
b	50NB 2.9 CHS
c	40NB 2.9 CHS
d	25NB 2.65 CHS

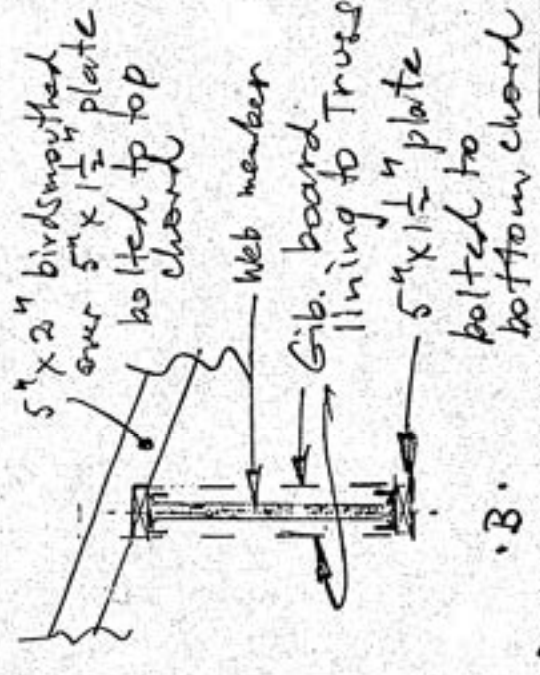


5" x 2" birds mouth over wall plate

8" x 3" wall plate - fix with $3/4" \phi$ diagonal @ $50"$ max. etc.

'A'

DETAIL AT REAR WALL



'B'

DETAIL AT TRUSS

STRUCTURAL DETAILS, CONVERSION OF TRINITY CHURCH for FORTUNE THEATRE Co.

BRICKELL, MOSS, RANKINE & HILL
O.S.B. BUILDING, GEORGE ST.,
P.O. BOX 5243,
DUNEDIN, PHONE 88-203

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

DRAWING
No 2 of 4
16.1.78

PLAN AT UPPER LEVEL SCALE: 1/4" = 1'-0"

CITY PLANNING DEPARTMENT
Present to the positions of the District Scheme, these
plans and specifications are approved, provided that
no changes shall be made to the details shown hereon,
and submitted in the specification attached hereto,
and subject to

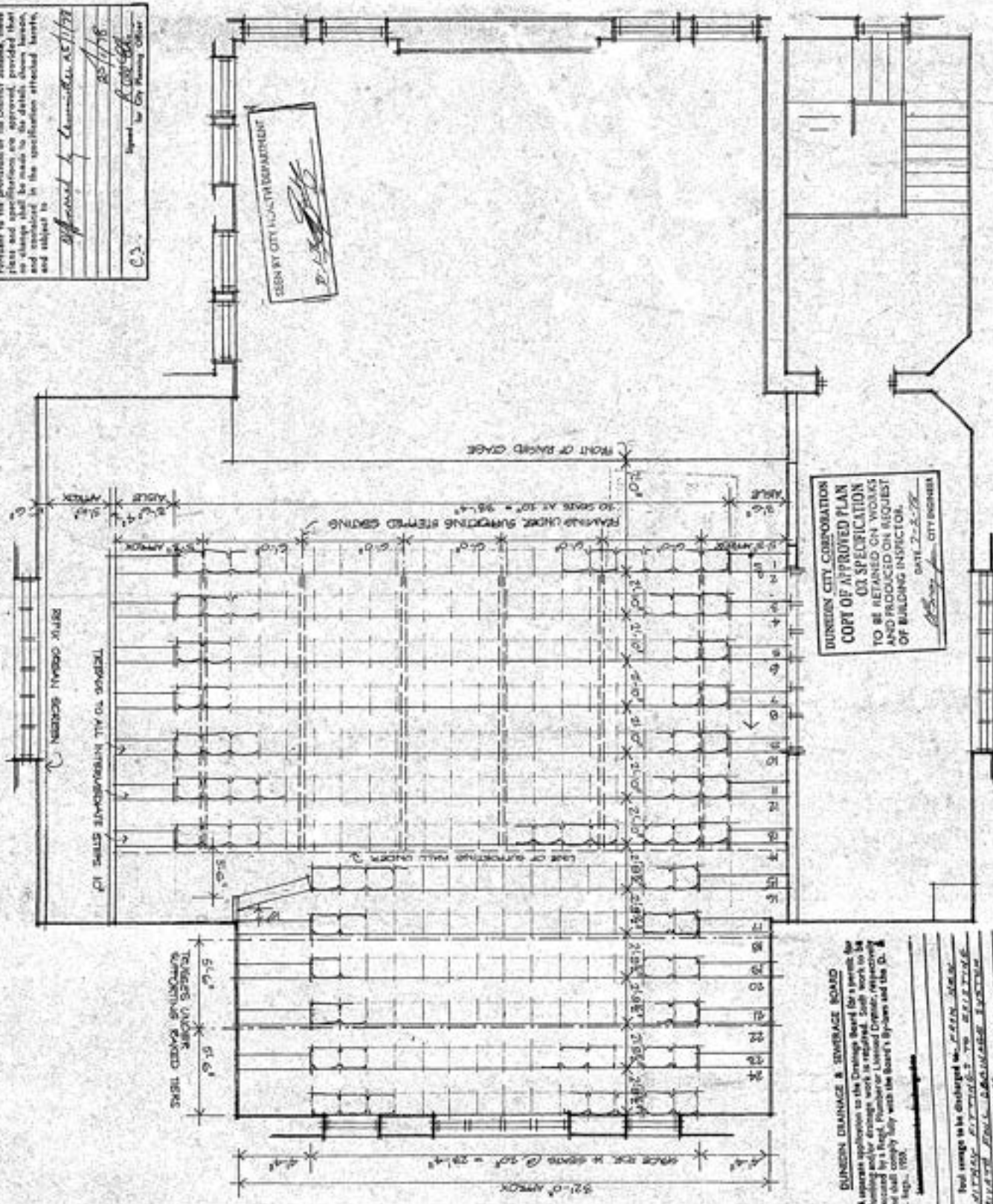
Approved by Commissioner 15/1/78
Signed for City Planning Officer
C.S.

SEEN BY CITY HEALTH DEPARTMENT
15/1/78

DUNDEEN CITY CORPORATION
COPY OF APPROVED PLAN
OR SPECIFICATION
TO BE RETAINED ON WORKS
AND PRODUCED ON REQUEST
OF BUILDING INSPECTOR.
DATE 2-2-78
CITY ENGINEER

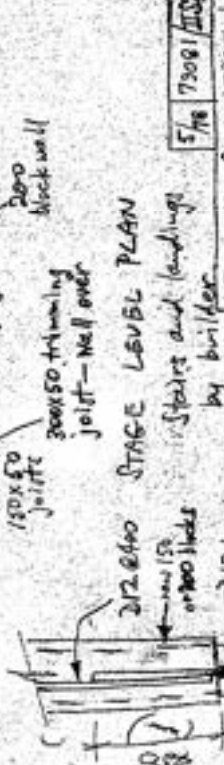
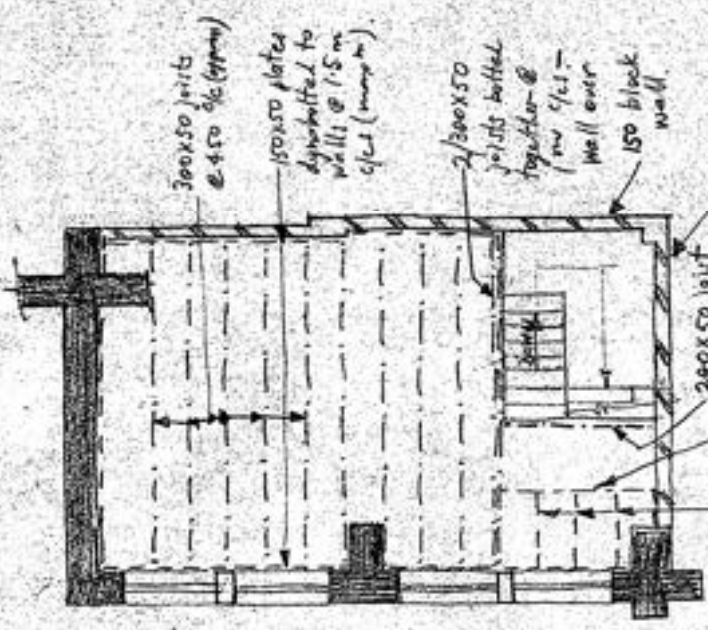
DUNDEEN DRAINAGE & SEWERAGE BOARD
A separate application to the Drainage Board for a permit for
excavating and/or drainage work is required. Such work to be
executed by a Registered Engineer or Licensed Contractor respectively
and shall comply fully with the Board's By-laws and the D.S.B.
R. Regs., 1958.

Full charge to be discharged to: P. J. J. J. J.
SPECIALIST CONTRACTORS TO ELECTRICAL
SPECIALIST ELECTRICAL CONTRACTORS
SPECIALIST ELECTRICAL CONTRACTORS
15/1/78

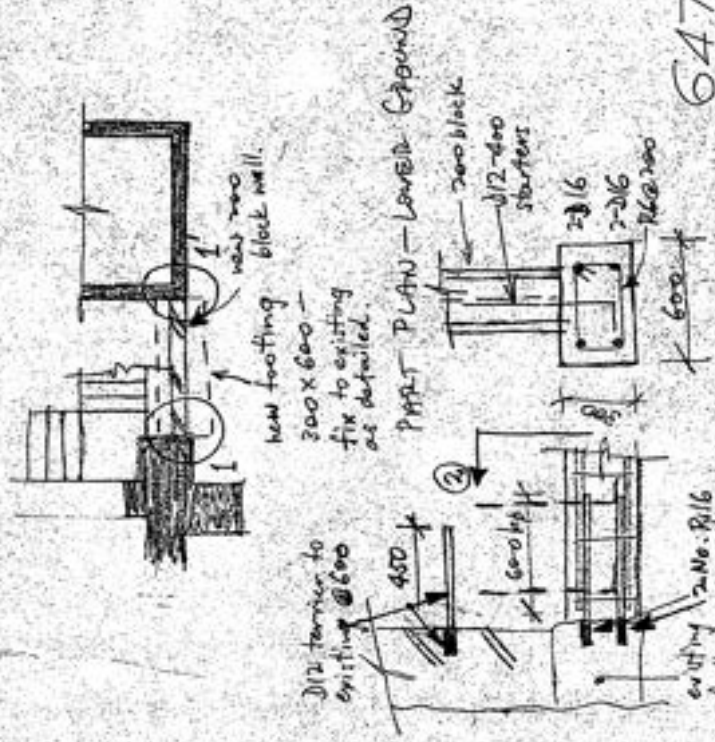


1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34

This permit is issued subject to the additional conditions shown on the back hereof.



5/18 73081/1032
 TRINITY CONVERSION
 Stage II
 IRVING & DETMERS
 BRICKELL MOSS, RANKINE & HILL
 O.S.B. BUILDING, GEORGE ST.
 P.O. BOX 5243,
 DUNEDIN, PHONE 88-303

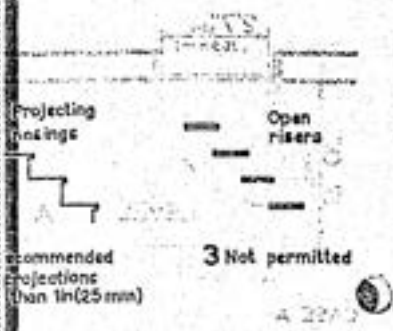


6474
 5/18 73081/1031
 TRINITY CONVERSION
 Stage II
 IRVING & DETMERS
 BRICKELL MOSS, RANKINE & HILL
 O.S.B. BUILDING, GEORGE ST.
 P.O. BOX 5243,
 DUNEDIN, PHONE 88-303

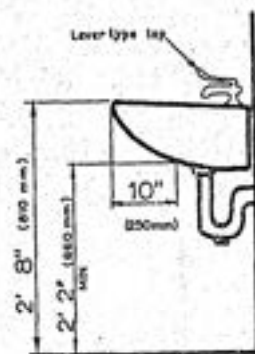
C.S.
 11/6/78
 R.M.C.

DUNEDIN DRAINAGE & SEWERAGE BOARD
 A separate application to the Drainage Board for a permit to place any other drainage work is required. Such work to be carried by a Registered Engineer or Licensed Tradesperson, and shall comply fully with the Board's By-laws and the D.S.B. Regs. 1977.
 Sewerage to be discharged to
 Sewerage to be discharged to THE SEWERAGE BOARD'S SEWERAGE SYSTEM AS DETERMINED BY THE DRAINAGE BOARD'S ENGINEER.
 W. J. Allan
 19/6/78

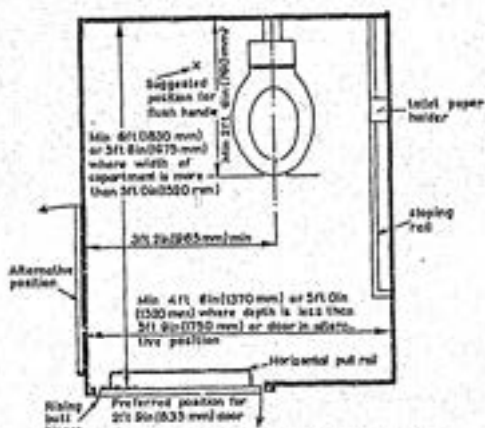
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34



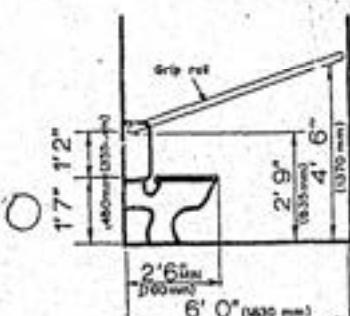
Extend handrail at head of staircase. Handrail 3ft 0in (910 mm) above centre of tread or 2ft 9in (835 mm) from nosing.



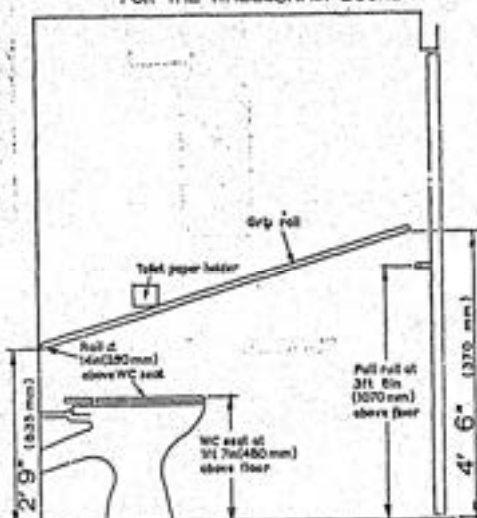
WASH BASIN DETAIL



SUGGESTED PLAN WC COMPARTMENT FOR THE WHEELCHAIR BOUND



WC DETAIL



SECTION THROUGH WC COMPARTMENT FOR WHEELCHAIR BOUND

Fig. 16

W.C. COMPARTMENT FOR THE WHEELCHAIR BOUND

6474

Set for Tom Donaldson if required

ICE
O

EXIT

DOWN FROM
LOUNGE/BAR
& AUDITORIUM

URINAL

MEN

NEW TOILETS

*Vented
Lobby
34838
MH²*

*toilet
vent
12x12 x(2)
300x300*

ALLOW FOR
WHEELCHAIR ACCESS

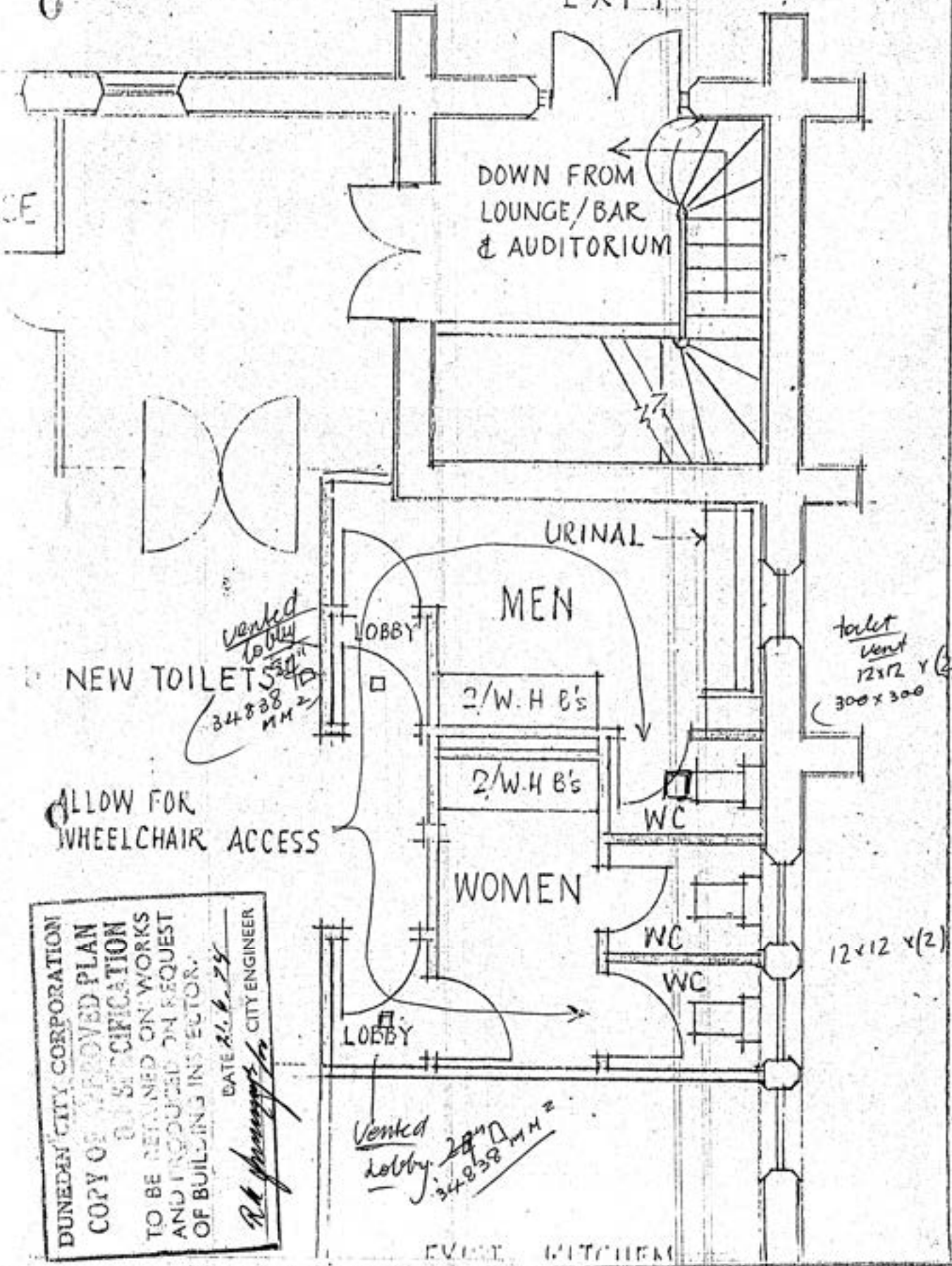
WOMEN

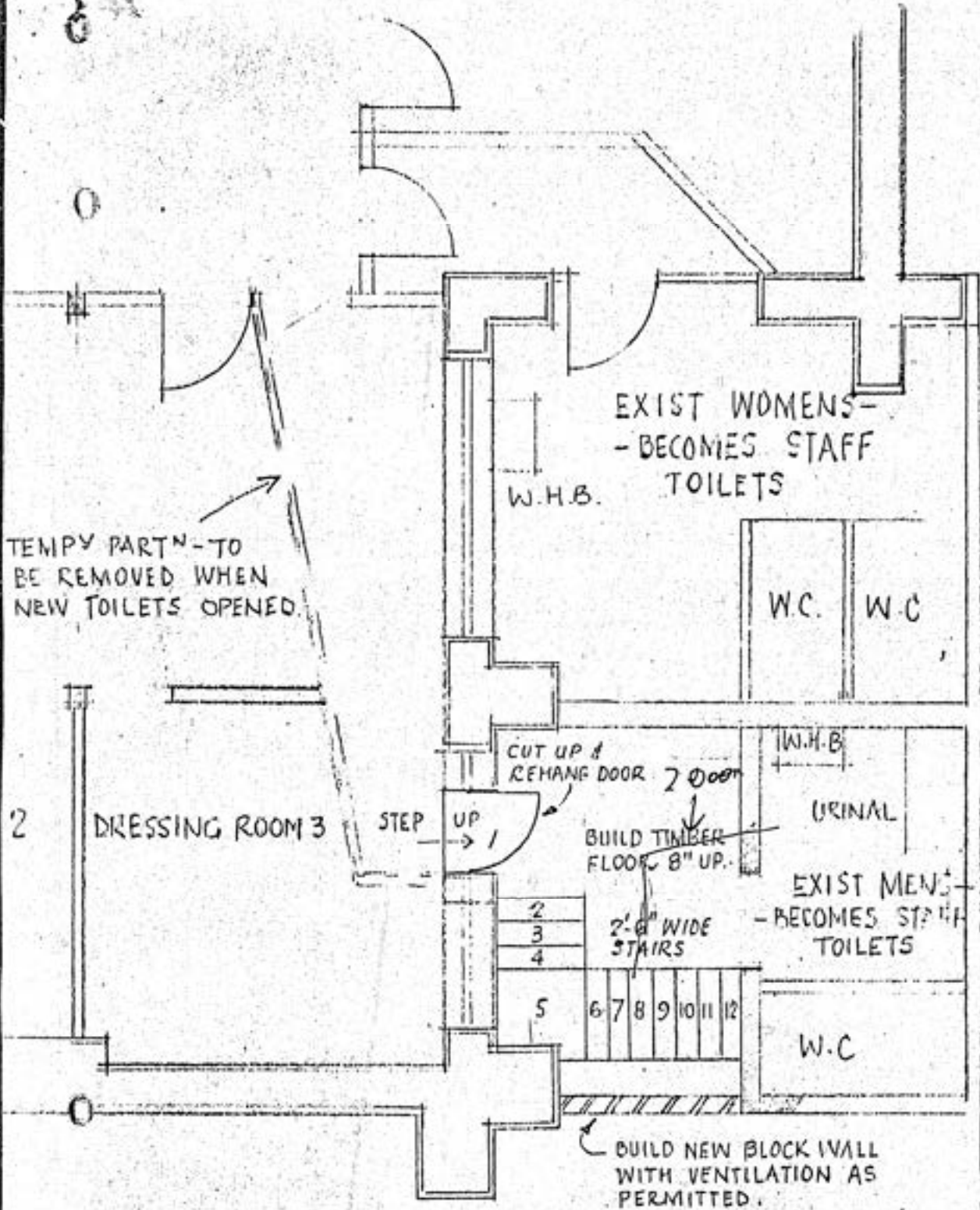
DUNEDIN CITY CORPORATION
COPY OF APPROVED PLAN
TO BE RETURNED ON WORKS
AND REQUIRED ON REQUEST
OF BUILDING INSPECTOR.
DATE 21.6.74
R. H. [Signature] CITY ENGINEER

*Vented
Lobby 28th
34838
MH²*

12x12 x(2)

EVENT KITCHEN



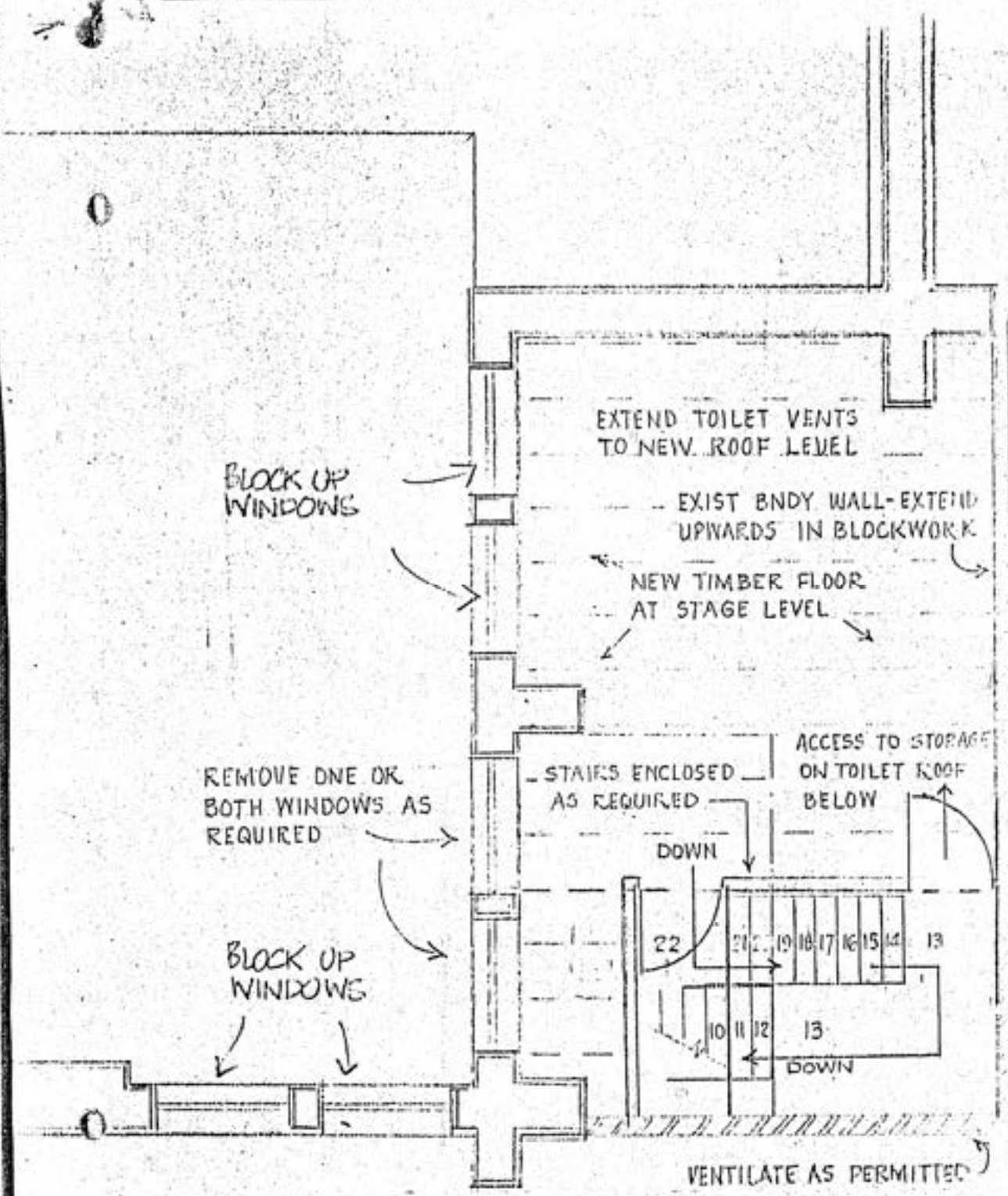


DOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$ BOUNDARY ↗

CONVERSION OF TRINITY
 METHODIST CHURCH
 FOR FORTUNE THEATRE

Handwritten signature

23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40

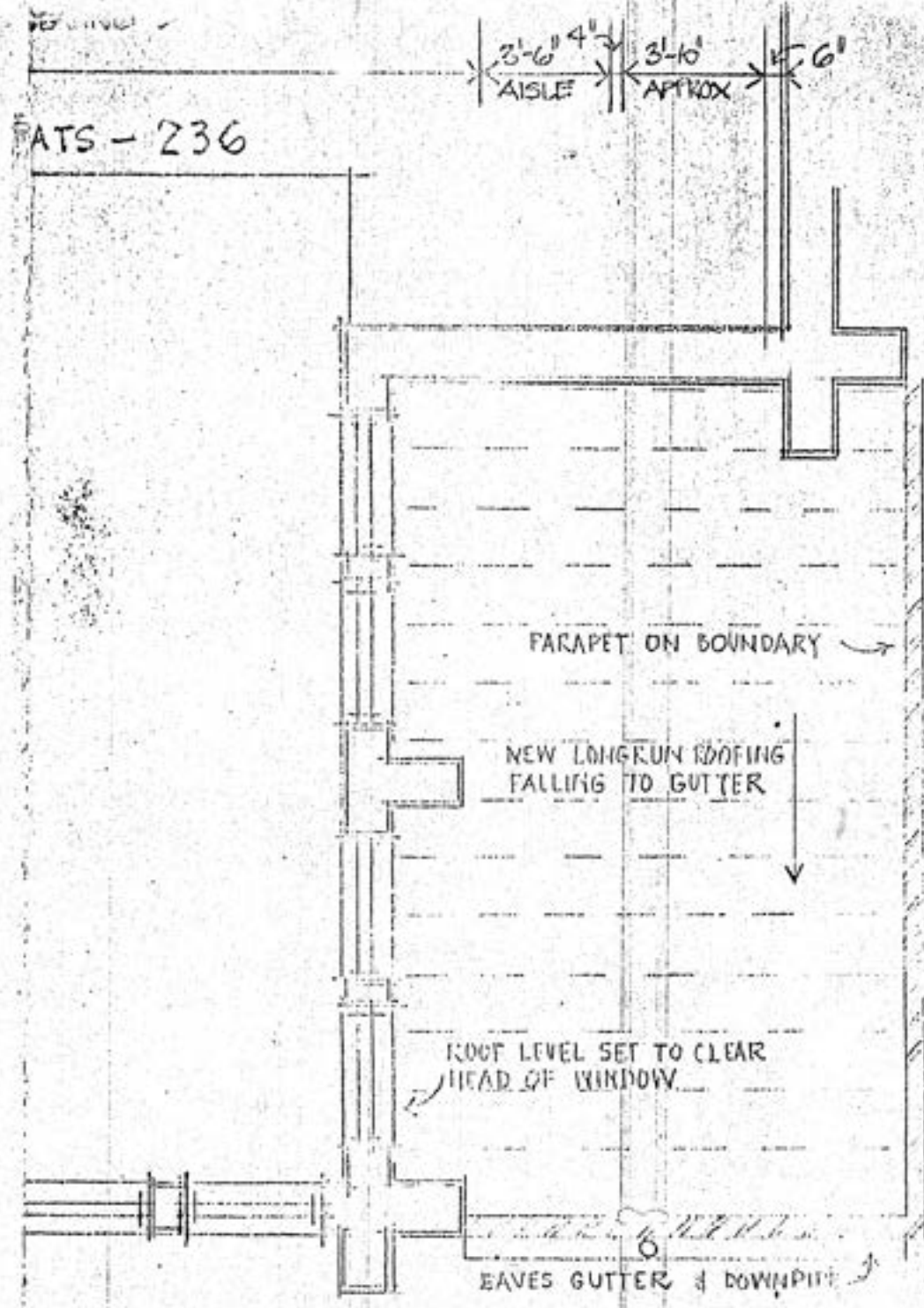


FLOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$ BOUNDARY ↗

CONVERSION OF TRINITY
 METHODIST CHURCH
 TO FORTUNE THEATRE

Handwritten signature

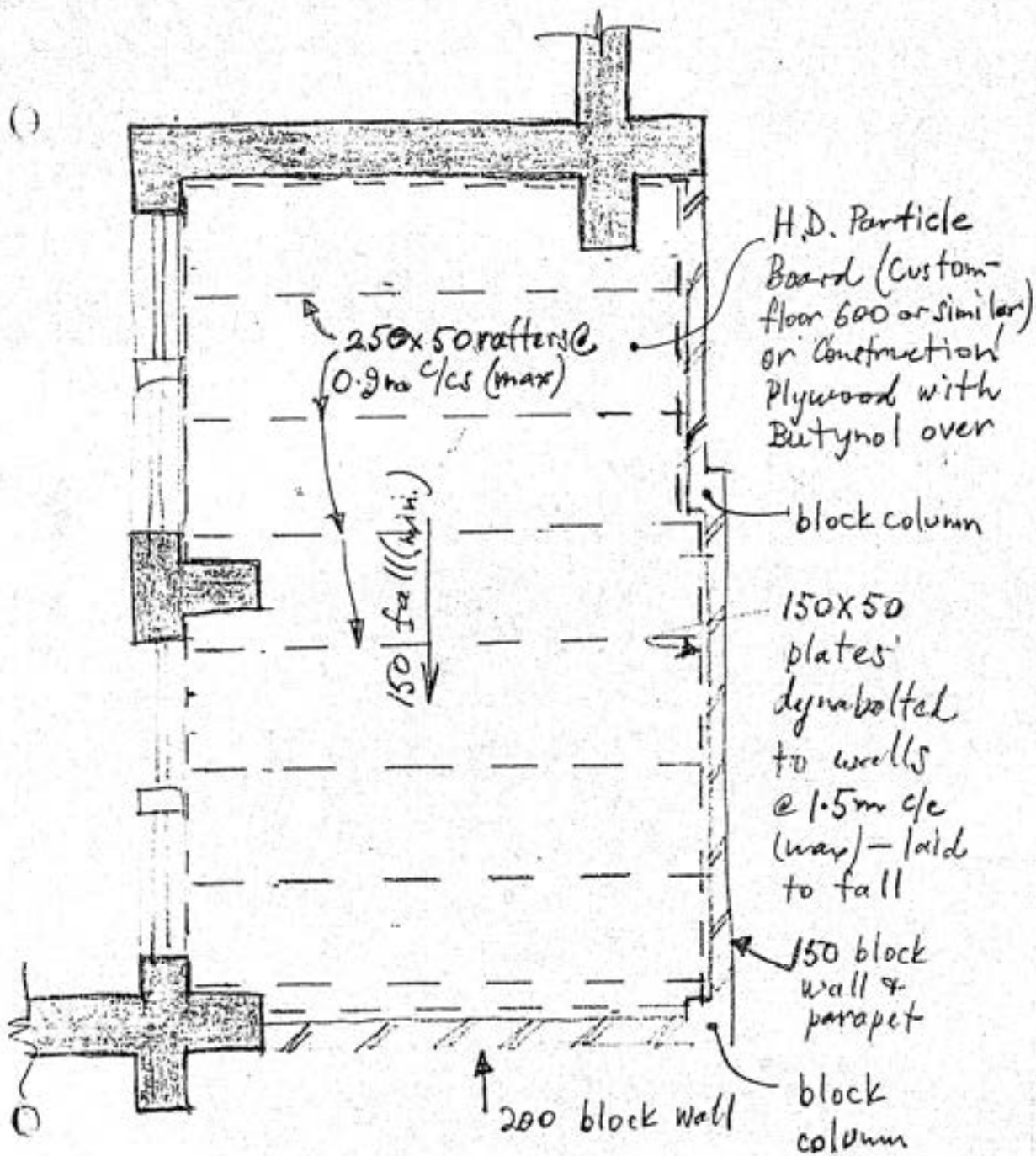
0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40



CONVERSION OF TRINITY
 METHODIST CHURCH
 OR FORTUNE THEATRE

5.78

Handwritten initials or signature.



ROOF PLAN

Note acoustic ceiling under - see architectural details.

Sinking (Custom floor or Ply) to be continuous over at least 2 spans,

5/78 79081/II S3

TRINITY CONVERSION STAGE II

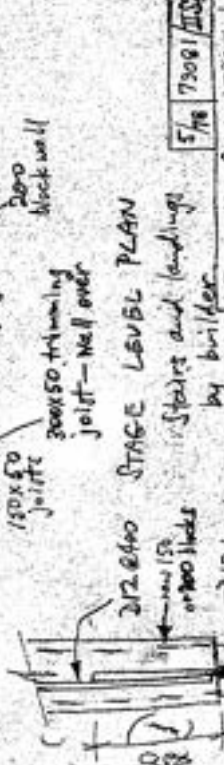
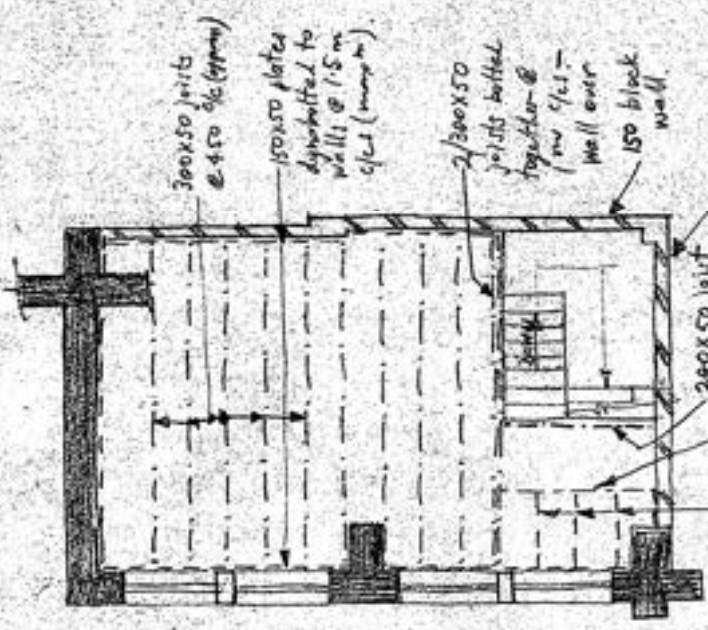
STRUCTURAL DETAILS.

BRICKELL, MOSS, RANKINE & HILL,
O.S.B. BUILDING, GEORGE ST.,
P.O. BOX 5243.

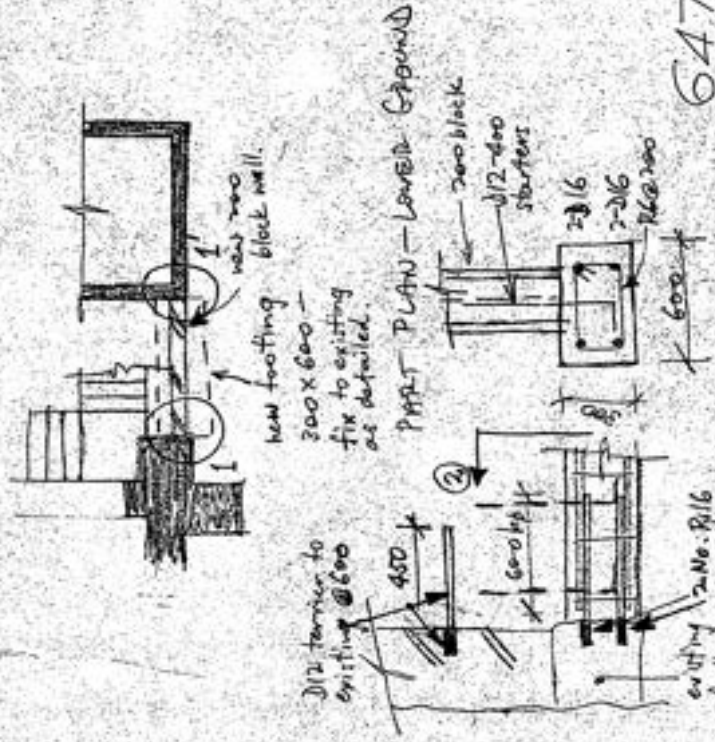
D E

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34

This permit is issued subject to the additional conditions shown on the back hereof.



5/18 73081/1032
 TRINITY CONVERSION
 Stage II
 IRVINGWATER DETAIL
 BRICKELL MOSS, RANKINE & HILL
 O.S.B. BUILDING, GEORGE ST.
 P.O. BOX 5243,
 DUNEDIN, PHONE 88-303

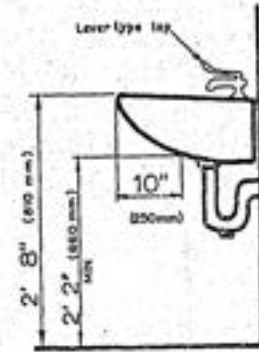
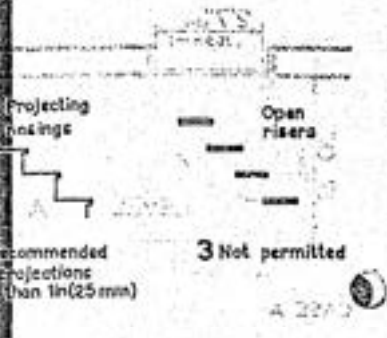


6474
 5/18 73081/1031
 TRINITY CONVERSION
 Stage II
 IRVINGWATER DETAIL
 BRICKELL MOSS, RANKINE & HILL
 O.S.B. BUILDING, GEORGE ST.
 P.O. BOX 5243,
 DUNEDIN, PHONE 88-303

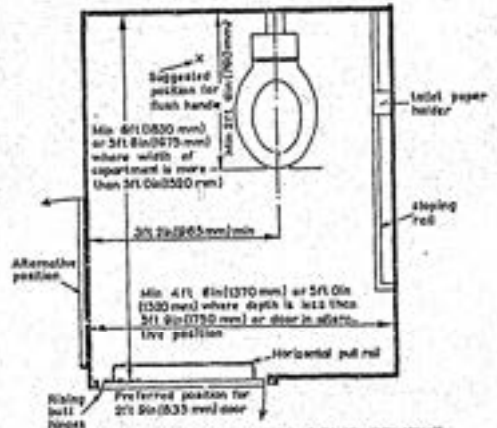
31/6/78
 R. H. G. G.
 C.E.S.

DUNEDIN DRAINAGE & SEWERAGE BOARD
 A separate application to the Drainage Board for a permit to place any public drainage work is required. Such work to be executed by a Registered Engineer or Licensed Drainage Engineer, and shall comply fully with the Board's By-laws and the D.S.B. Regs. 1977.
 Sewerage to be discharged to:
 Sewerage to be discharged to THE SEWERAGE BOARD'S SEWERAGE SYSTEM AS DETERMINED BY THE DRAINAGE BOARD'S ENGINEER.
 A. J. Allan
 19/6/78

4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34

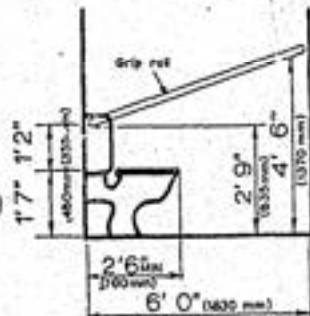


WASH BASIN DETAIL

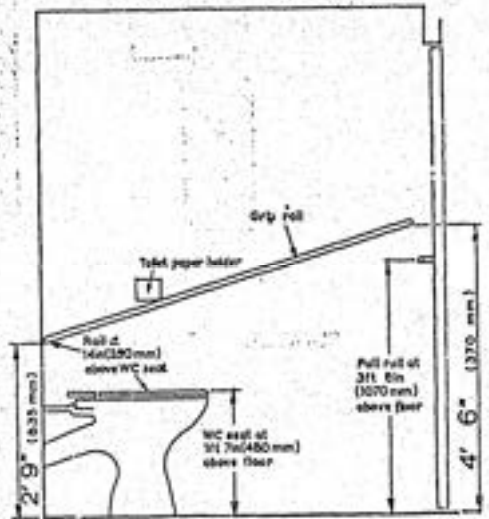


SUGGESTED PLAN WC COMPARTMENT FOR THE WHEELCHAIR BOUND

Extend handrail at head of staircase. Handrail 3ft 0in (910 mm) above centre of tread or 2ft 9in (835 mm) from nosing.



WC DETAIL



SECTION THROUGH WC COMPARTMENT FOR WHEELCHAIR BOUND

Fig. 16

W.C. COMPARTMENT FOR THE WHEELCHAIR BOUND

6474

Set for Tom Donaldson if required

ICE
O

EXIT

DOWN FROM
LOUNGE/BAR
& AUDITORIUM

URINAL

MEN

WOMEN

NEW TOILETS

ALLOW FOR
WHEELCHAIR ACCESS

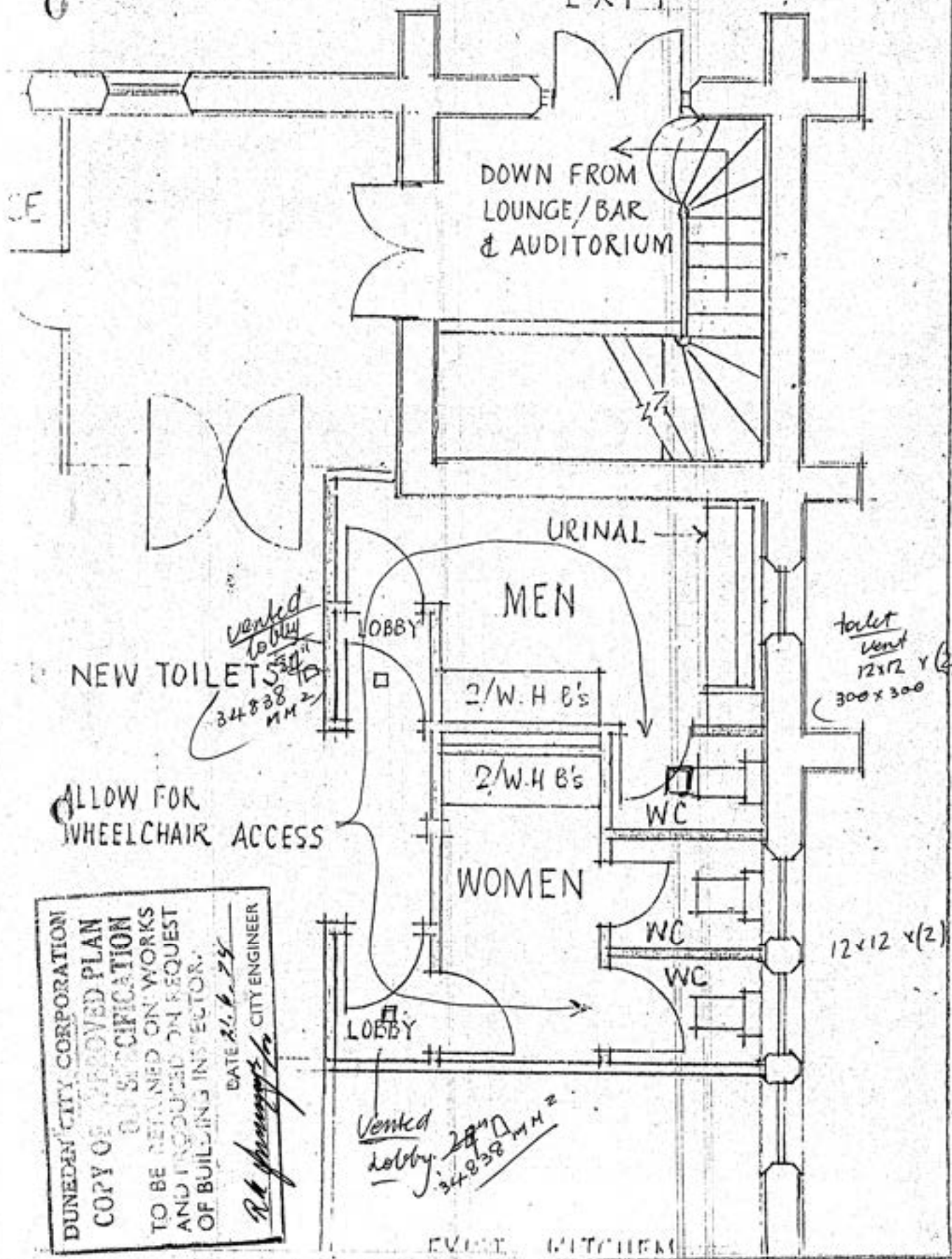
toilet
vent
12x12 x (2)
300 x 300

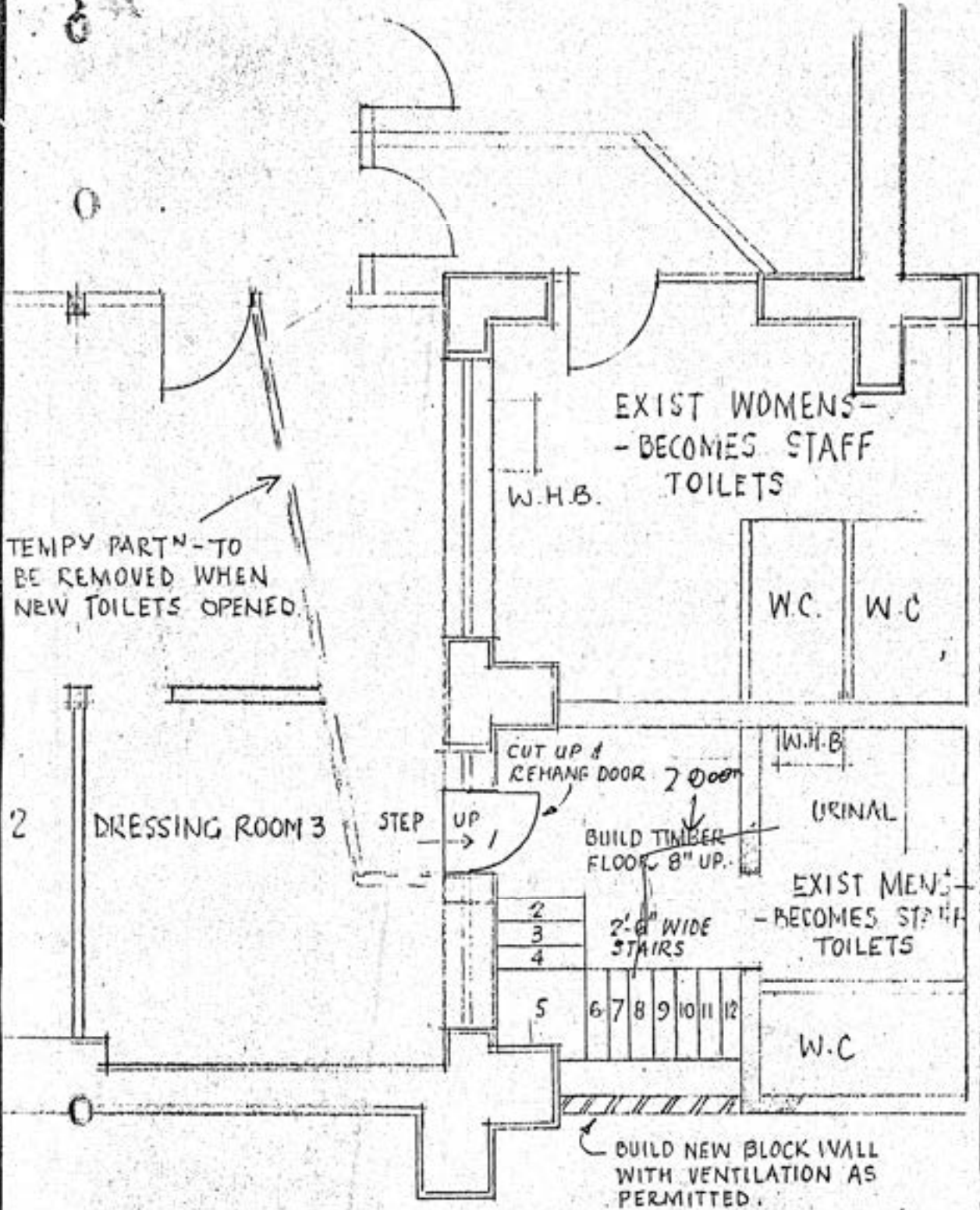
12x12 x (2)

DUNEDIN CITY CORPORATION
COPY OF APPROVED PLAN
SPECIFICATION
TO BE RETURNED ON WORKS
AND REQUIRED ON REQUEST
OF BUILDING INSPECTOR.
DATE 21.6.74
R. K. [Signature] CITY ENGINEER

Vented
lobby 28th
34838 MM²

EVENT KITCHEN



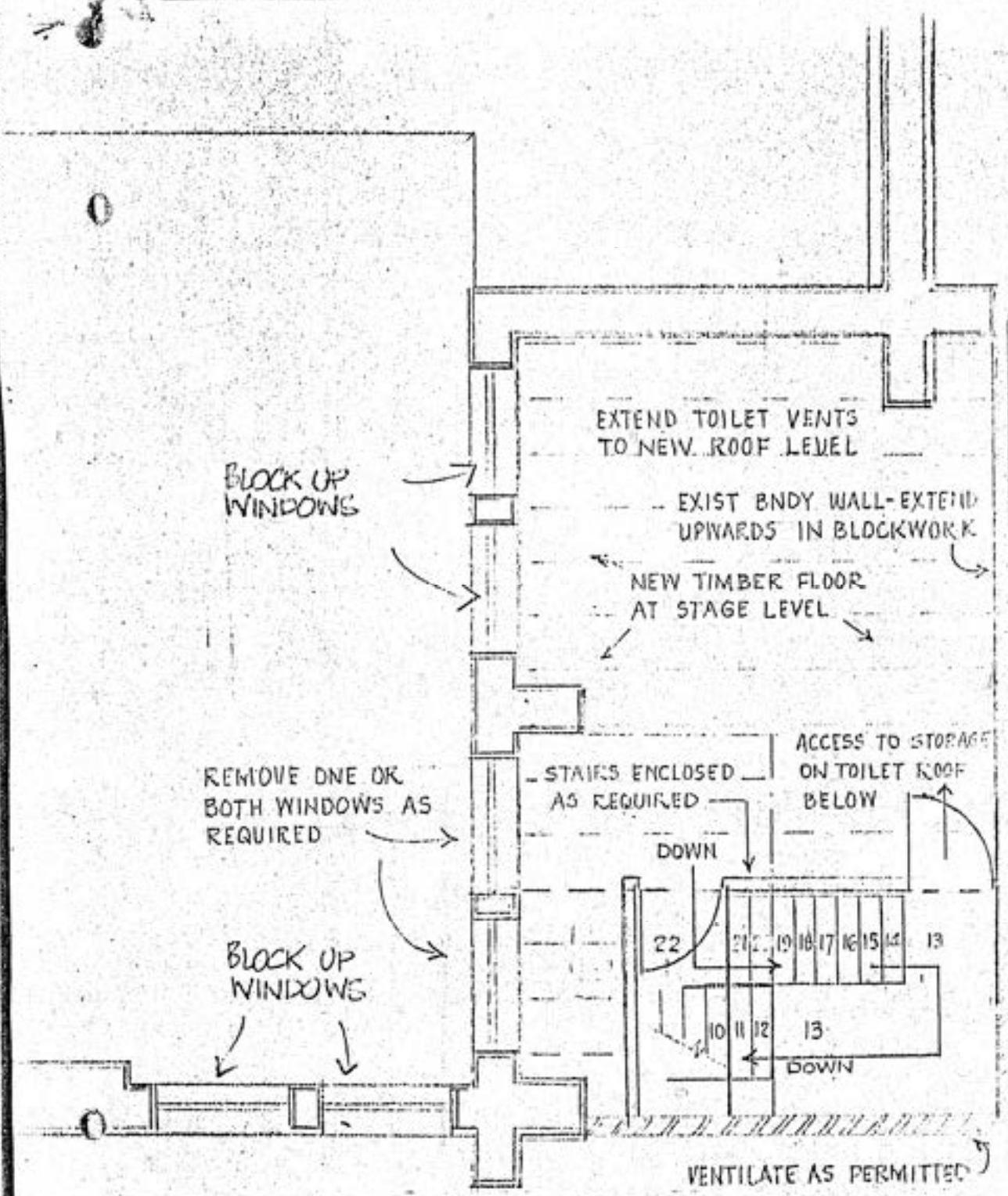


DOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$ BOUNDARY ↗

CONVERSION OF TRINITY
 METHODIST CHURCH
 FOR FORTUNE THEATRE

Handwritten signature

23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40



BLOCK UP WINDOWS

EXTEND TOILET VENTS TO NEW ROOF LEVEL

EXIST BNDY WALL-EXTEND UPWARDS IN BLOCKWORK

NEW TIMBER FLOOR AT STAGE LEVEL

REMOVE ONE OR BOTH WINDOWS AS REQUIRED

STAIRS ENCLOSED AS REQUIRED

ACCESS TO STORAGE ON TOILET ROOF BELOW

DOWN

BLOCK UP WINDOWS

22 21 20 19 18 17 16 15 14 13

10 11 12 13 DOWN

VENTILATE AS PERMITTED

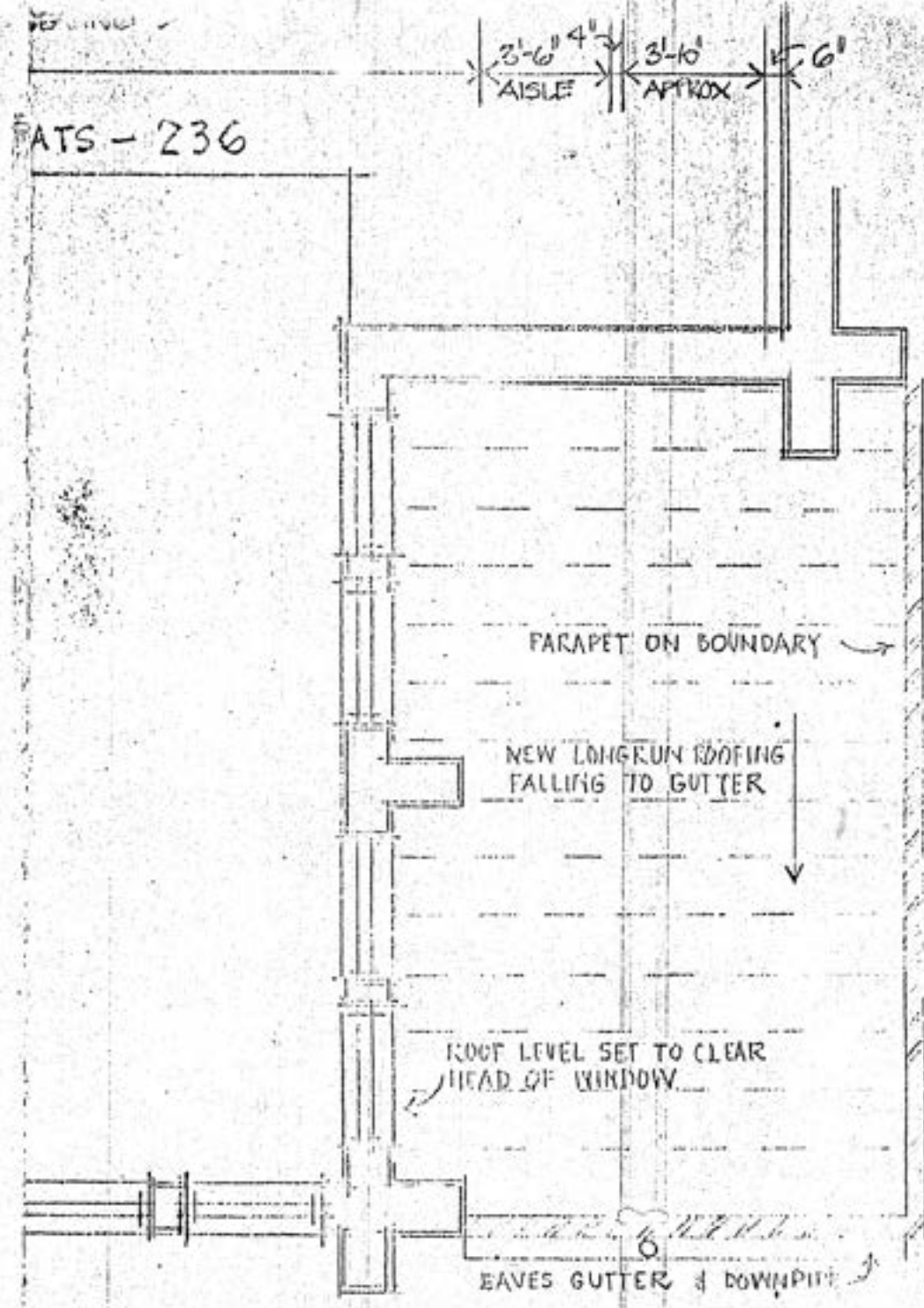
FLOOR LEVEL SCALE 1/4" = 1'-0"

BOUNDARY

CONVERSION OF TRINITY METHODIST CHURCH TO FORTUNE THEATRE

Handwritten signature

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40

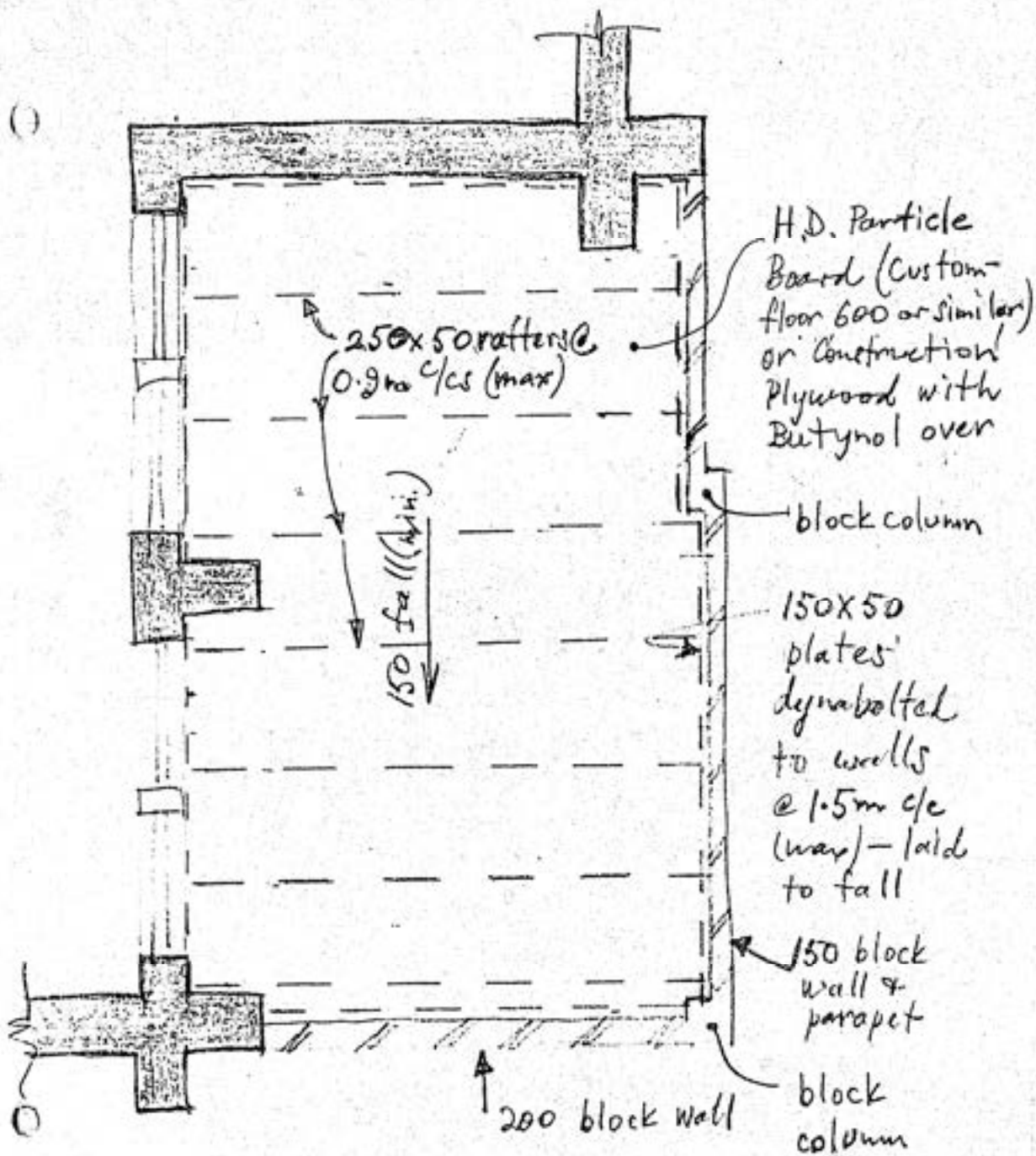


FATS - 236

CONVERSION OF TRINITY METHODIST CHURCH OR FORTUNE THEATRE

5.78

Handwritten initials or signature



ROOF PLAN

Note acoustic ceiling under - see architectural details.

Sinking (Custom floor or Ply) to be continuous over at least 2 spans,

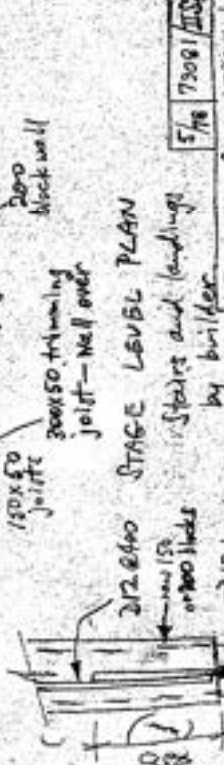
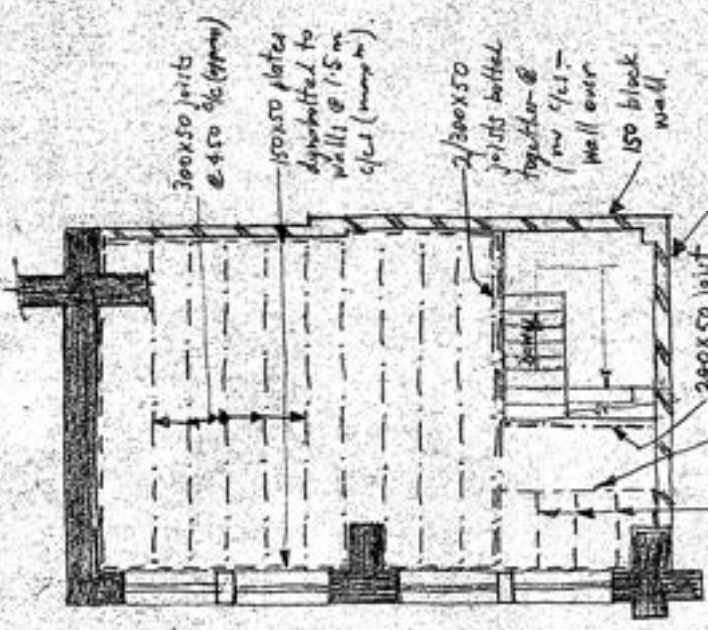
5/78 79081/ISS3

TRINITY CONVERSION
 STAGE II
 STRUCTURAL DETAILS.
 BRICKELL, MOSS, RANKINE & HILL,
 O.S.B. BUILDING, GEORGE ST.,
 P.O. BOX 5243.

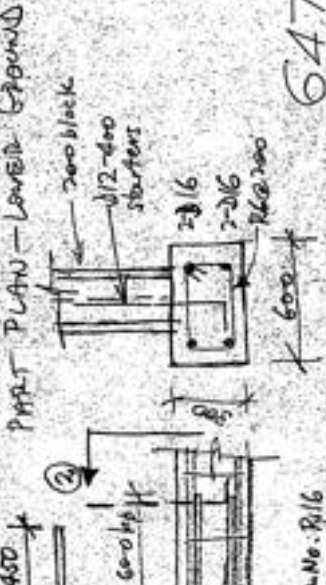
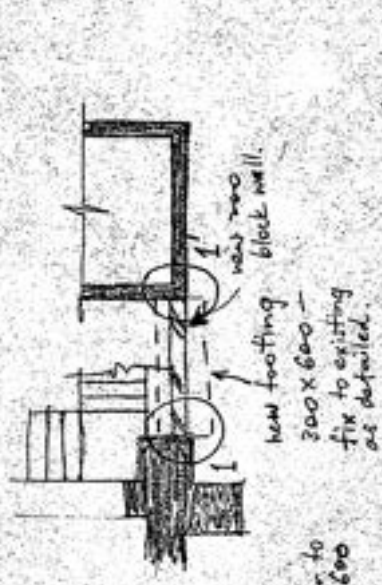
D E

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34

This permit is issued subject to the additional conditions shown on the back hereof.



5/18 73081/1032
 TRINITY CONVERSION
 STAGE II
 IRVINGWATER DETAILS
 BRICKELL MOSS, RANKINE & HILL
 O.S.B. BUILDING, GEORGE ST.
 P.O. BOX 5243, DUNEDIN, PHONE 88-303



6474
 5/18 73081/1031
 TRINITY CONVERSION
 STAGE II
 IRVINGWATER DETAILS
 BRICKELL MOSS, RANKINE & HILL
 O.S.B. BUILDING, GEORGE ST.
 P.O. BOX 5243, DUNEDIN, PHONE 88-303

DUNEDIN DRAINAGE & SEWERAGE BOARD.
 A separate application to the Drainage Board for a permit to place any public drainage work is required. Such work to be executed by a Registered Engineer or Licensed Drainage Engineer, and shall comply fully with the Board's By-laws and the D.S.B. Regs. 1974.
 Sewerage to be discharged to:
 Sewerage to be discharged to THE SEWERAGE BOARD'S SEWERAGE SYSTEM AS DETERMINED BY THE DRAINAGE BOARD'S ENGINEER.
 A. J. Allan
 19/6/78

Set for Tom Donaldson if required

ICE
O

EXIT

DOWN FROM
LOUNGE/BAR
& AUDITORIUM

URINAL

MEN

WOMEN

NEW TOILETS

ALLOW FOR
WHEELCHAIR ACCESS

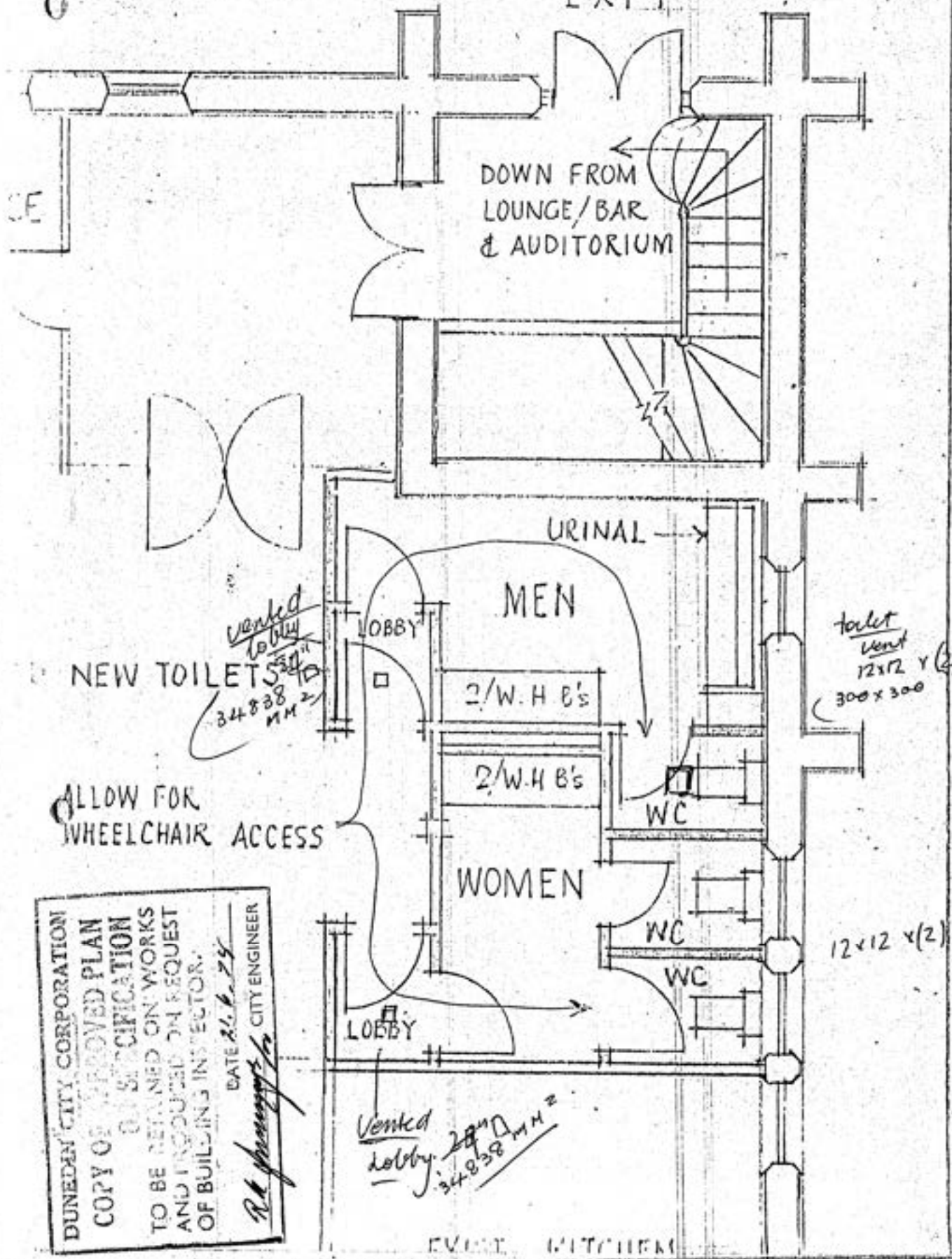
toilet
vent
12x12 x (2)
300 x 300

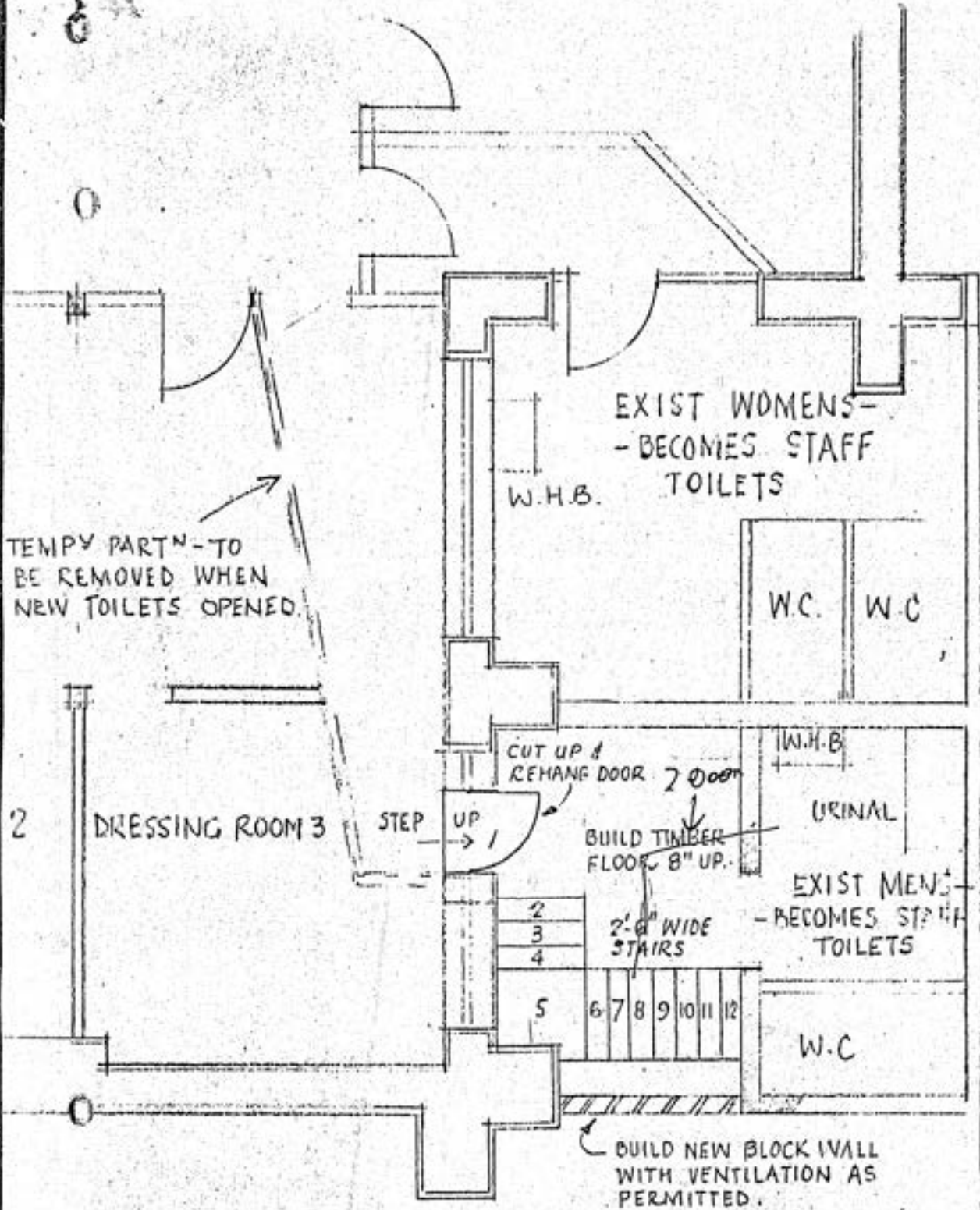
12x12 x (2)

DUNEDIN CITY CORPORATION
COPY OF APPROVED PLAN
SPECIFICATION
TO BE RETURNED ON WORKS
AND REQUIRED ON REQUEST
OF BUILDING INSPECTOR.
DATE 21.6.74
R. H. [Signature] CITY ENGINEER

Vented
lobby 28th
34838 MM²

EVENT KITCHEN



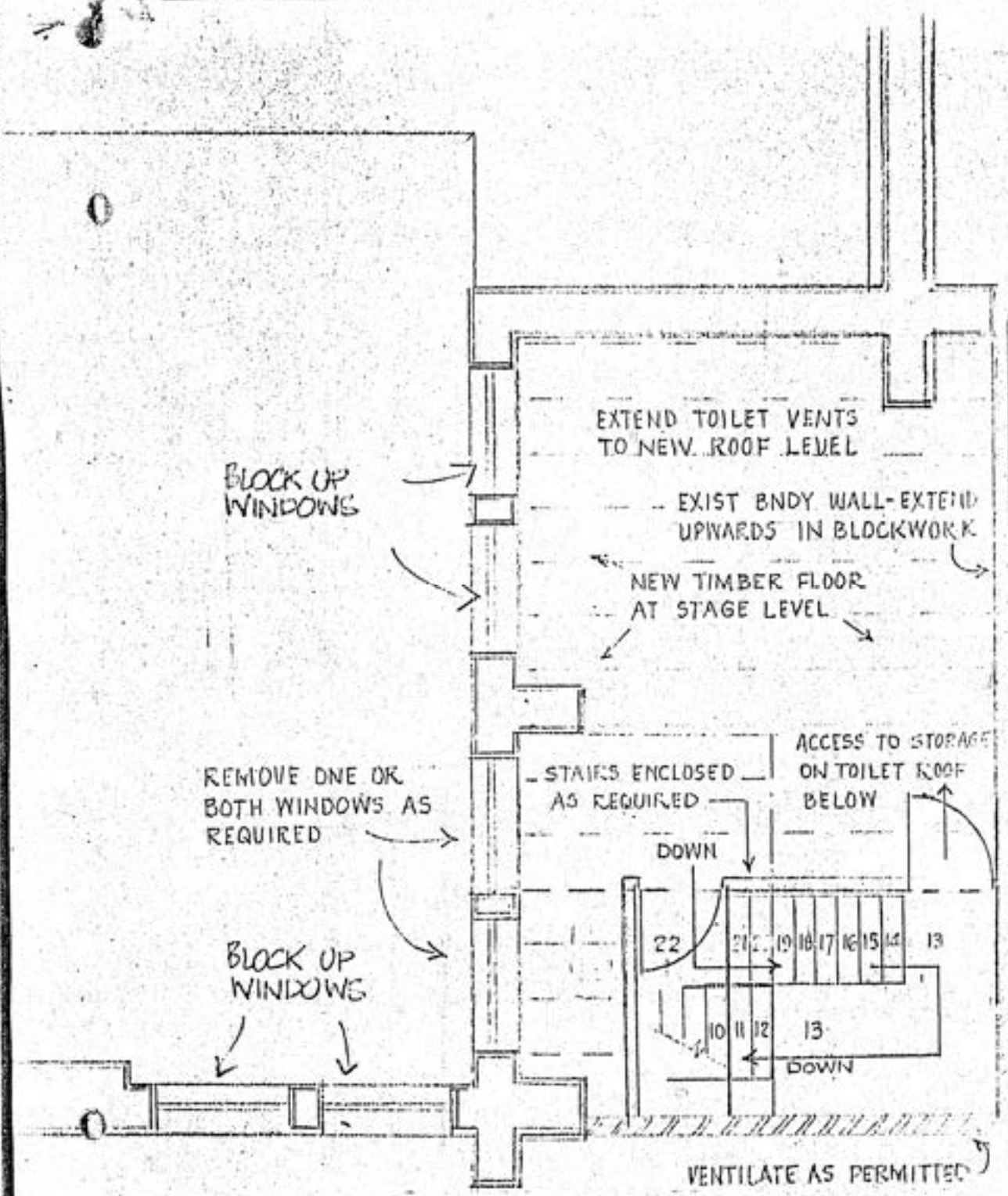


DOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$ BOUNDARY ↗

CONVERSION OF TRINITY
 METHODIST CHURCH
 FOR FORTUNE THEATRE

Handwritten signature

23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40

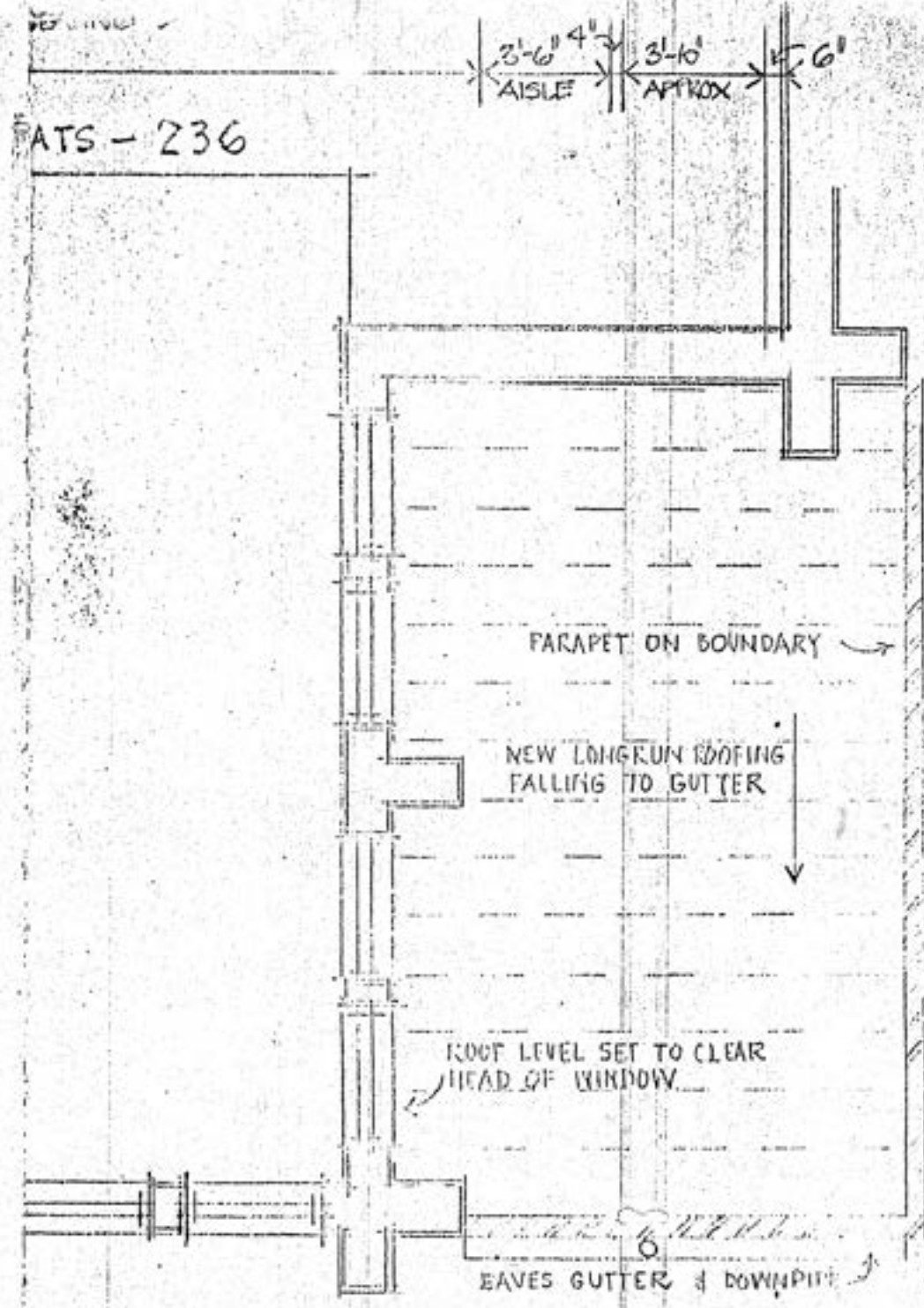


FLOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$ BOUNDARY

CONVERSION OF TRINITY
 METHODIST CHURCH
 TO FORTUNE THEATRE

Handwritten signature

0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40

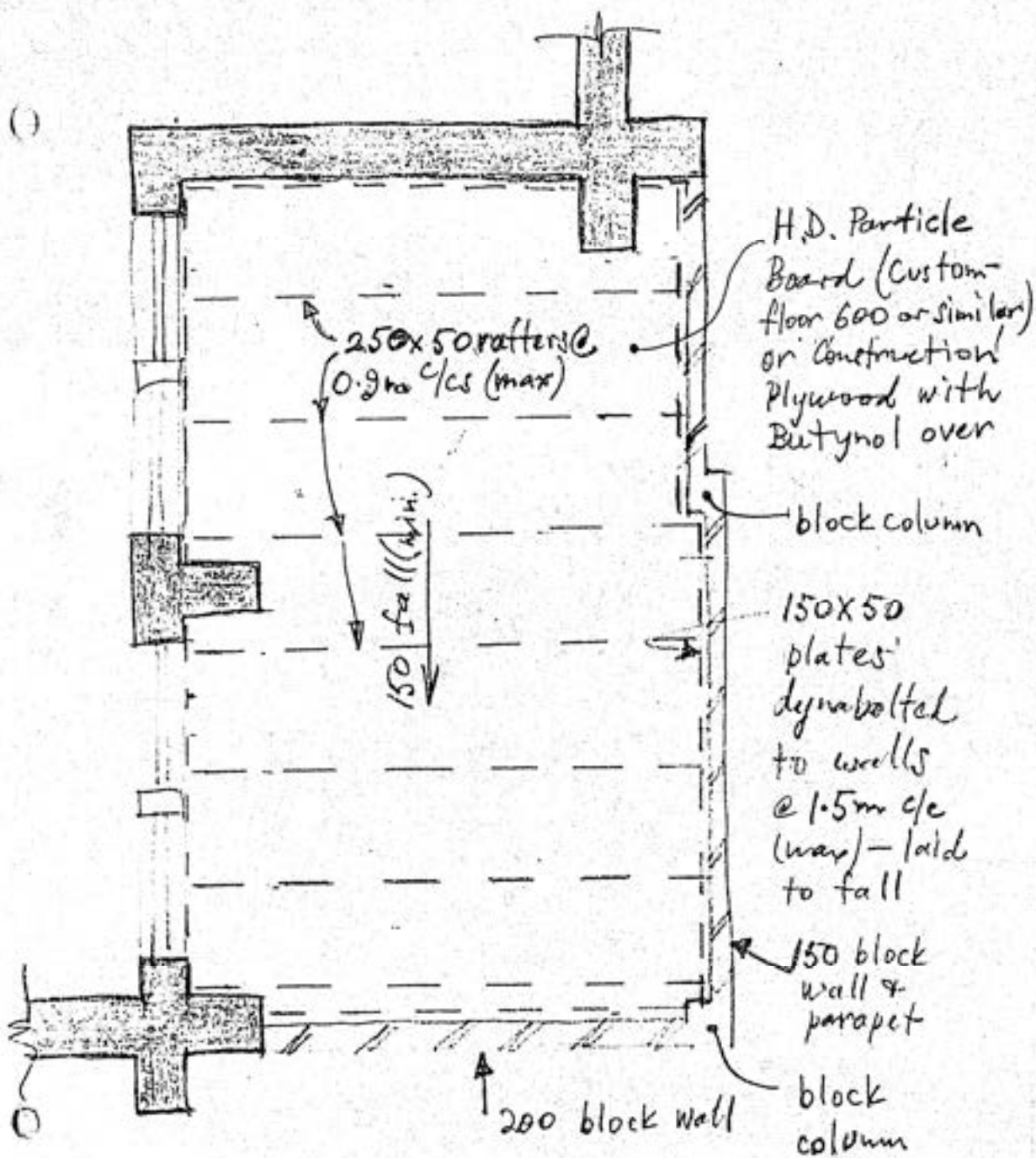


FATS - 236

CONVERSION OF TRINITY
METHODIST CHURCH
OR FORTUNE THEATRE

5.78

Handwritten initials or signature



ROOF PLAN

Note acoustic ceiling under - see architectural details.

Sinking (Custom floor or Ply) to be continuous over at least 2 spans,

5/78 79081/ISS3

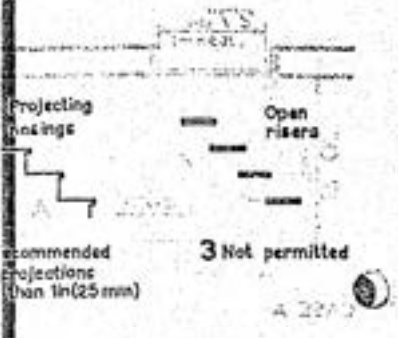
TRINITY CONVERSION
STAGE II

STRUCTURAL DETAILS.

BRICKELL, MOSS, RANKINE & HILL,
O.S.B. BUILDING, GEORGE ST.,
P.O. BOX 5243.

250
 150
 D
 E

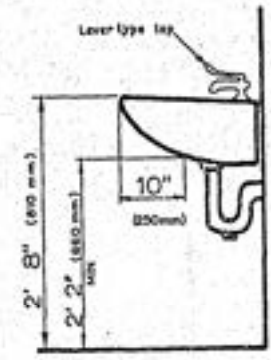
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33



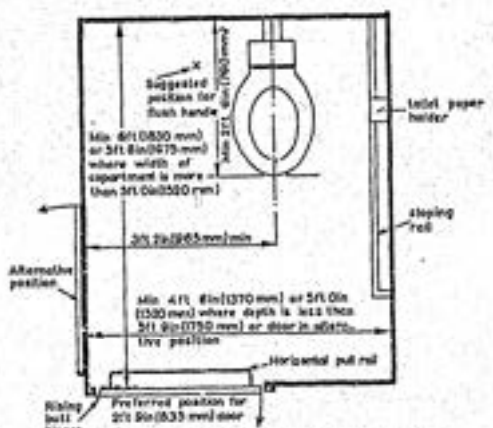
Extend handrail at head of staircase.
Handrail 3ft 0in (910 mm) above centre of tread or 2ft 9in (835 mm) from nosing.

TOP STEP

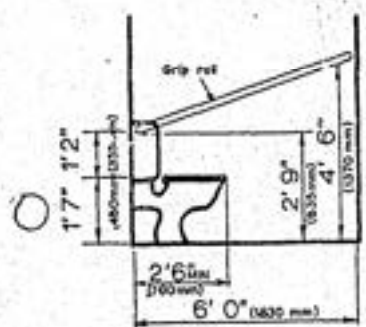
DOOR CASE



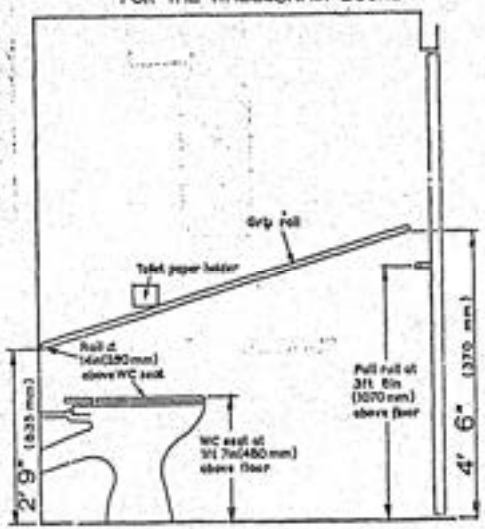
WASH BASIN DETAIL



SUGGESTED PLAN WC COMPARTMENT FOR THE WHEELCHAIR BOUND



WC DETAIL



SECTION THROUGH WC COMPARTMENT FOR WHEELCHAIR BOUND

Fig. 16

W.C. COMPARTMENT FOR THE WHEELCHAIR BOUND

6474

Set for Tom Donaldson if required

ICE
O

EXIT

DOWN FROM
LOUNGE/BAR
& AUDITORIUM

URINAL

MEN

WOMEN

NEW TOILETS

ALLOW FOR
WHEELCHAIR ACCESS

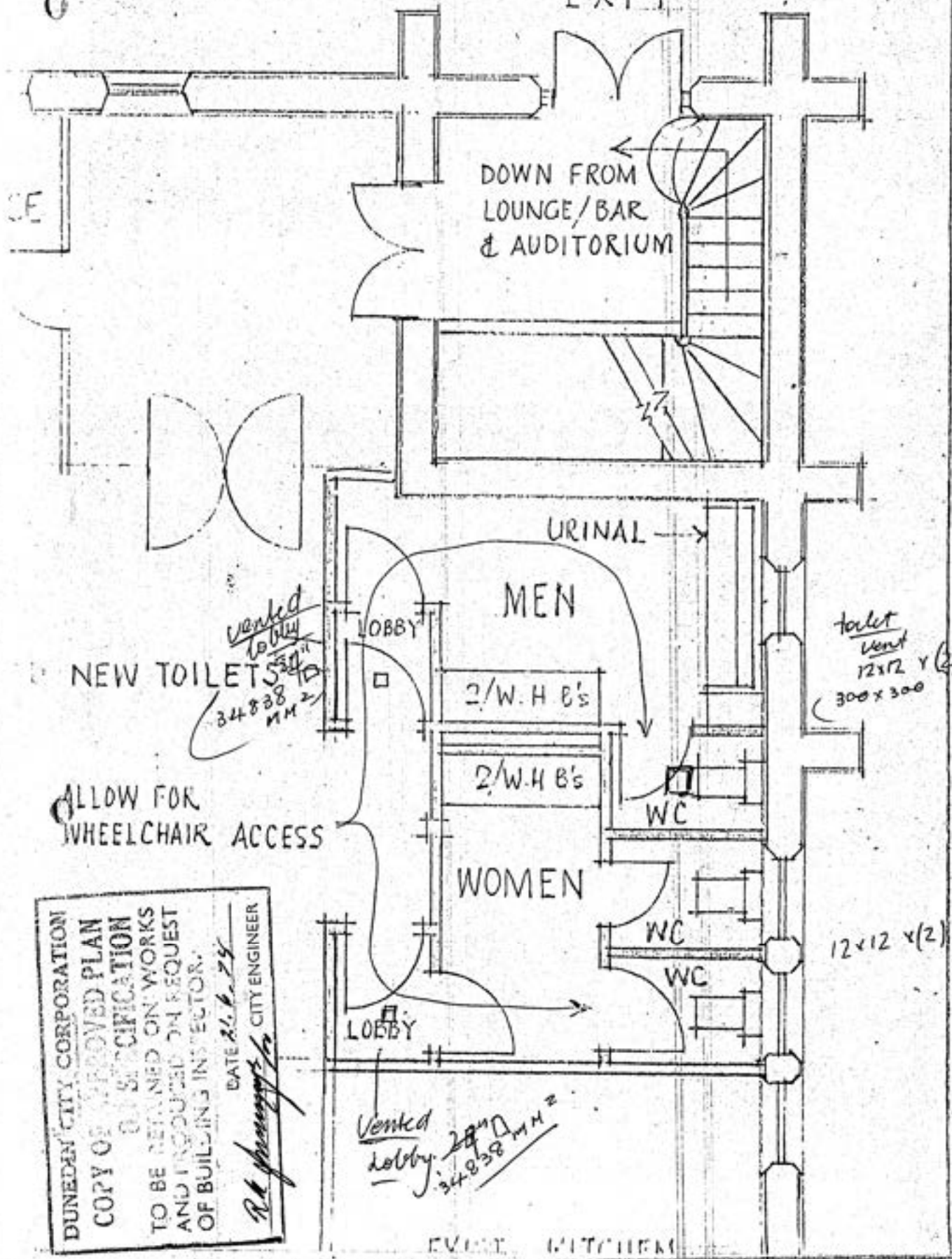
toilet
vent
12x12 x (2)
300 x 300

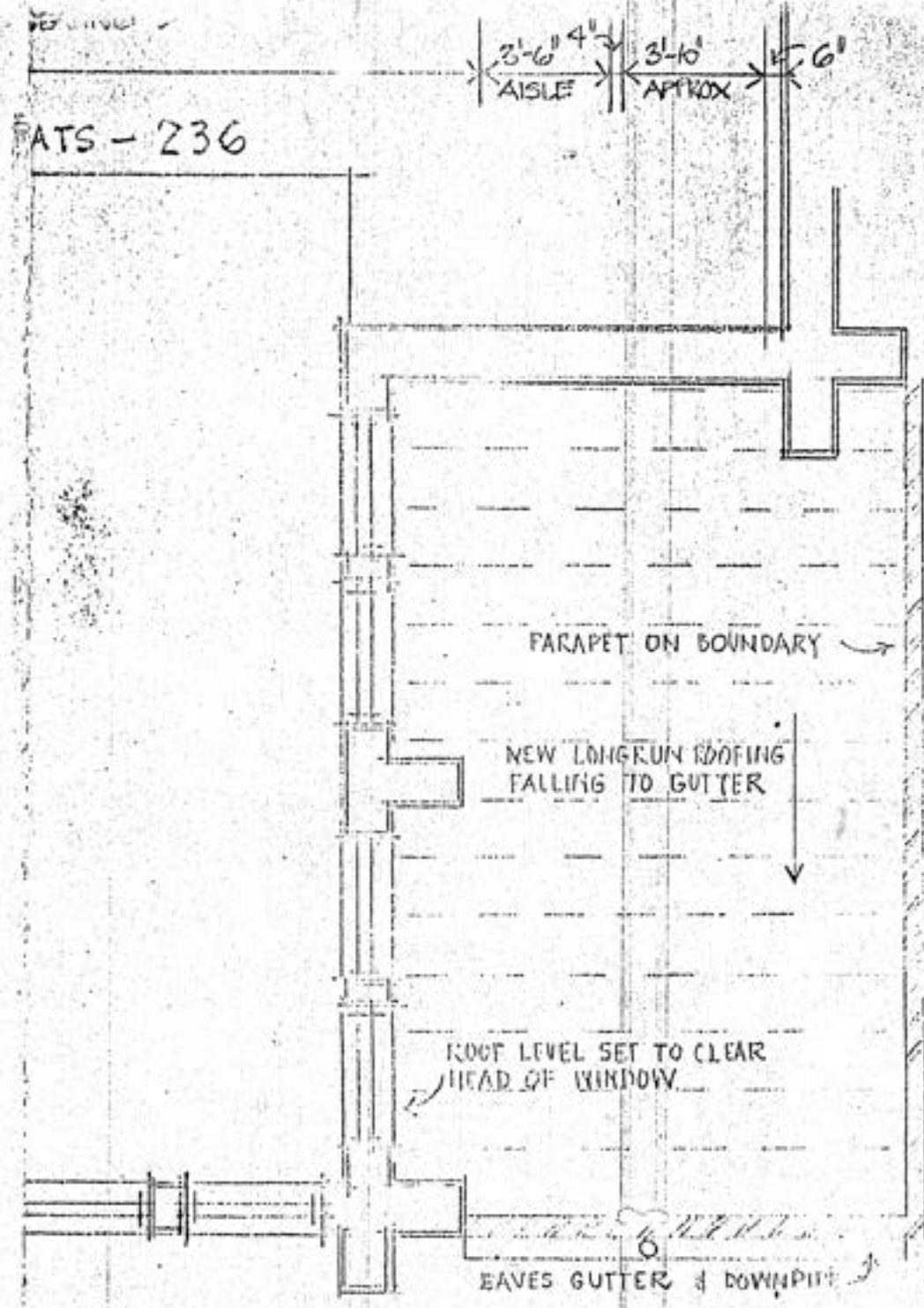
12x12 x (2)

DUNEDIN CITY CORPORATION
COPY OF APPROVED PLAN
SPECIFICATION
TO BE RETURNED ON WORKS
AND REQUIRED ON REQUEST
OF BUILDING INSPECTOR.
DATE 21.6.74
R. H. [Signature] CITY ENGINEER

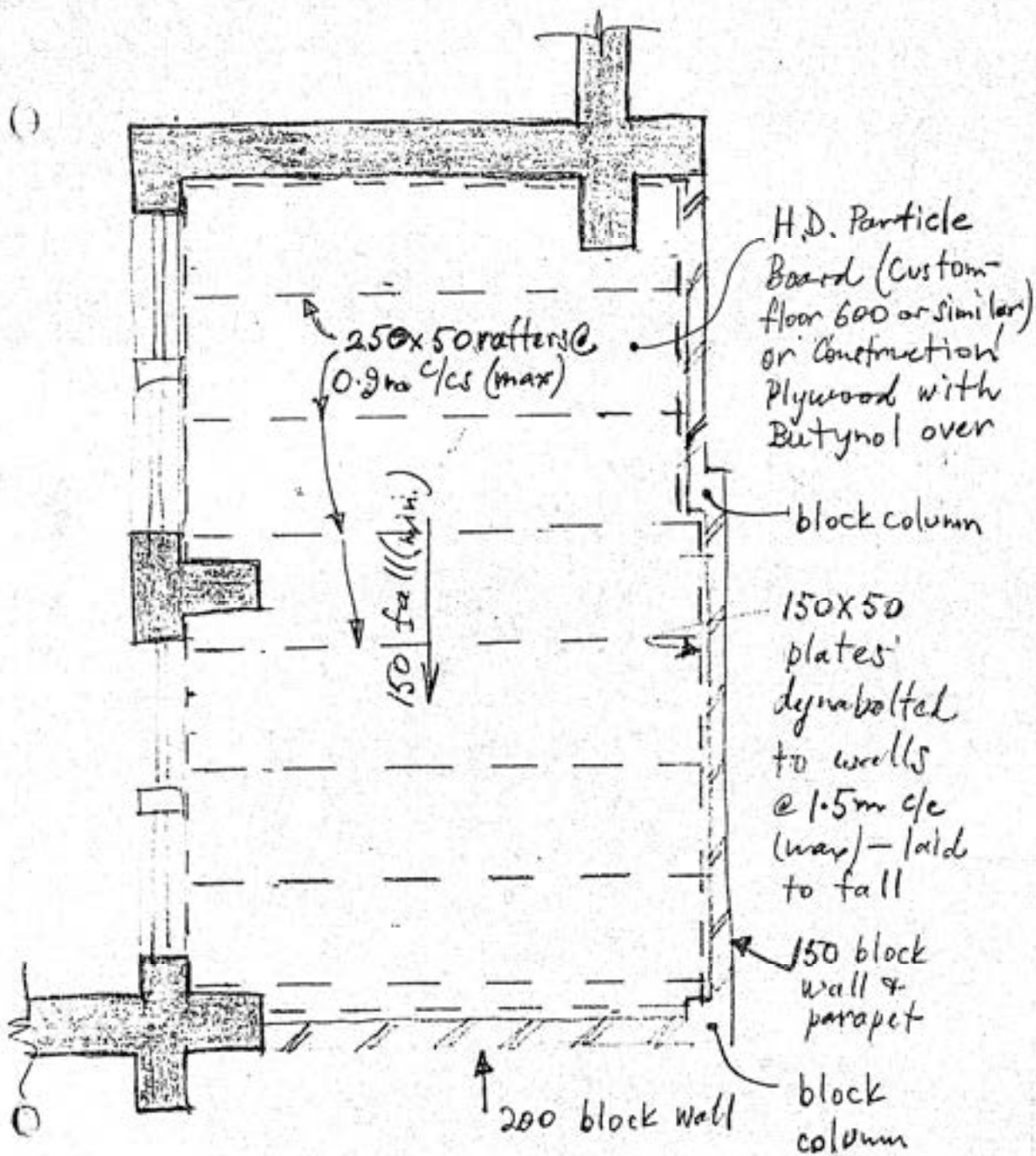
Vented
lobby 28th
34838 MM²

EVENT KITCHEN





CONVERSION OF TRINITY
METHODIST CHURCH
OR FORTUNE THEATRE



ROOF PLAN

Note acoustic ceiling under - see architectural details.

Sinking (Custom floor or Ply) to be continuous over at least 2 spans,

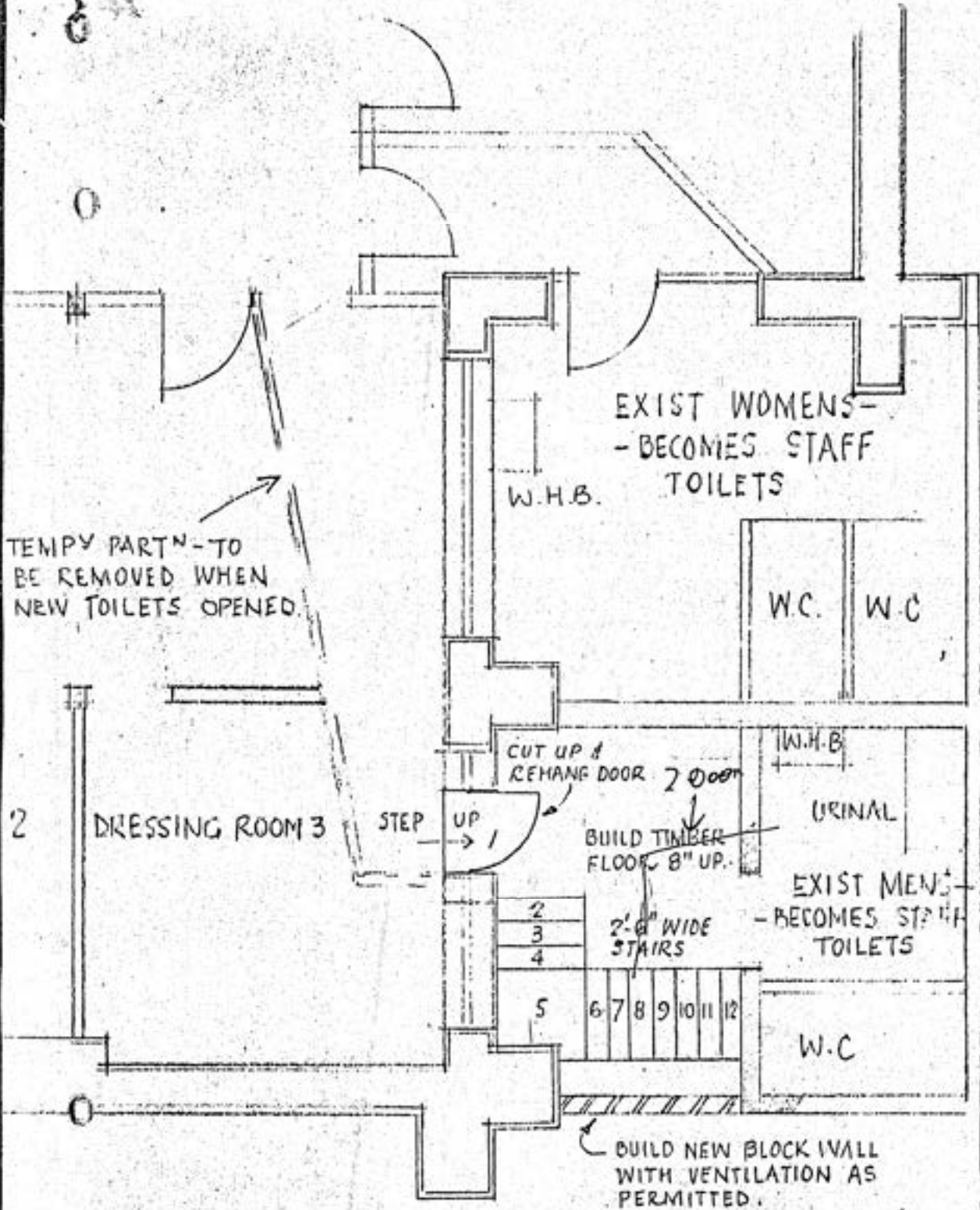
5/78 79081/II S3

TRINITY CONVERSION STAGE II

STRUCTURAL DETAILS.

BRICKELL, MOSS, RANKINE & HILL,
O.S.B. BUILDING, GEORGE ST.,
P.O. BOX 5243.

250
 150
 100
 50
 0
 50
 100
 150
 200
 250
 300
 350
 400
 450
 500
 550
 600
 650
 700
 750
 800
 850
 900
 950
 1000



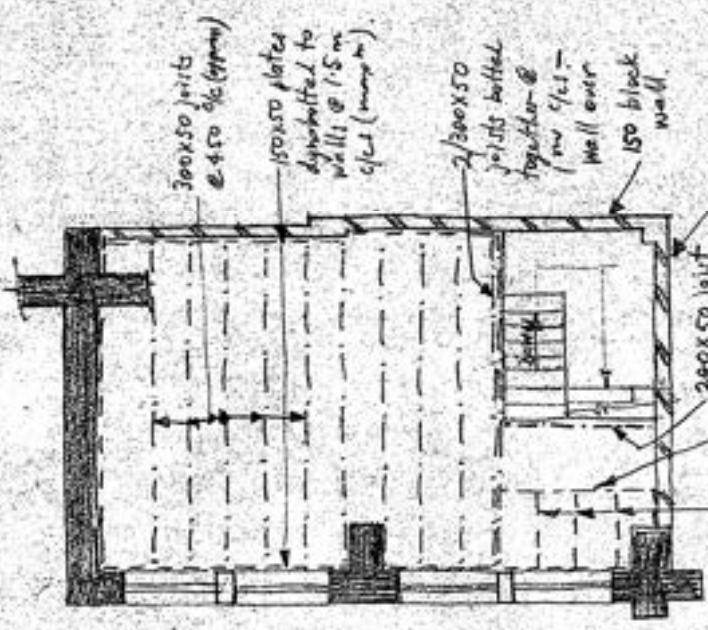
DOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$ BOUNDARY ↗

CONVERSION OF TRINITY
 METHODIST CHURCH
 FOR FORTUNE THEATRE

Handwritten signature

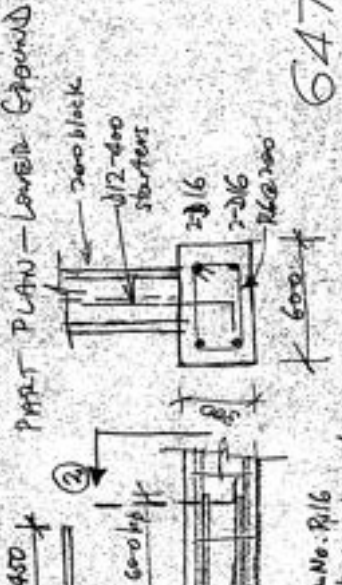
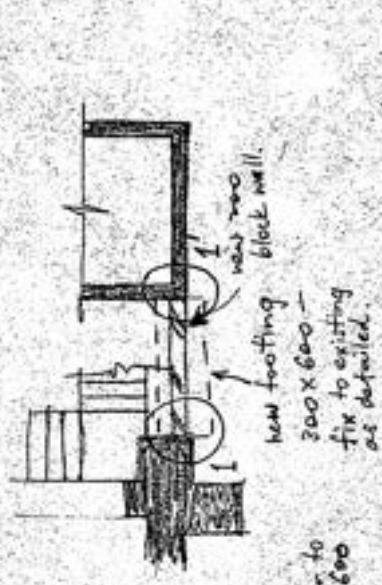
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34

This permit is issued subject to the additional conditions shown on the back hereof.



TRINITY CONVERSION
 Stage II
 IRVING & DETMERS
 BRICKELL MOSS, RANKINE & HILL
 G.S.B. BUILDING, GEORGE ST.
 P.O. BOX 5243,
 DUNEDIN, PHONE 88-203

DETAIL TO EXISTING PARAPET



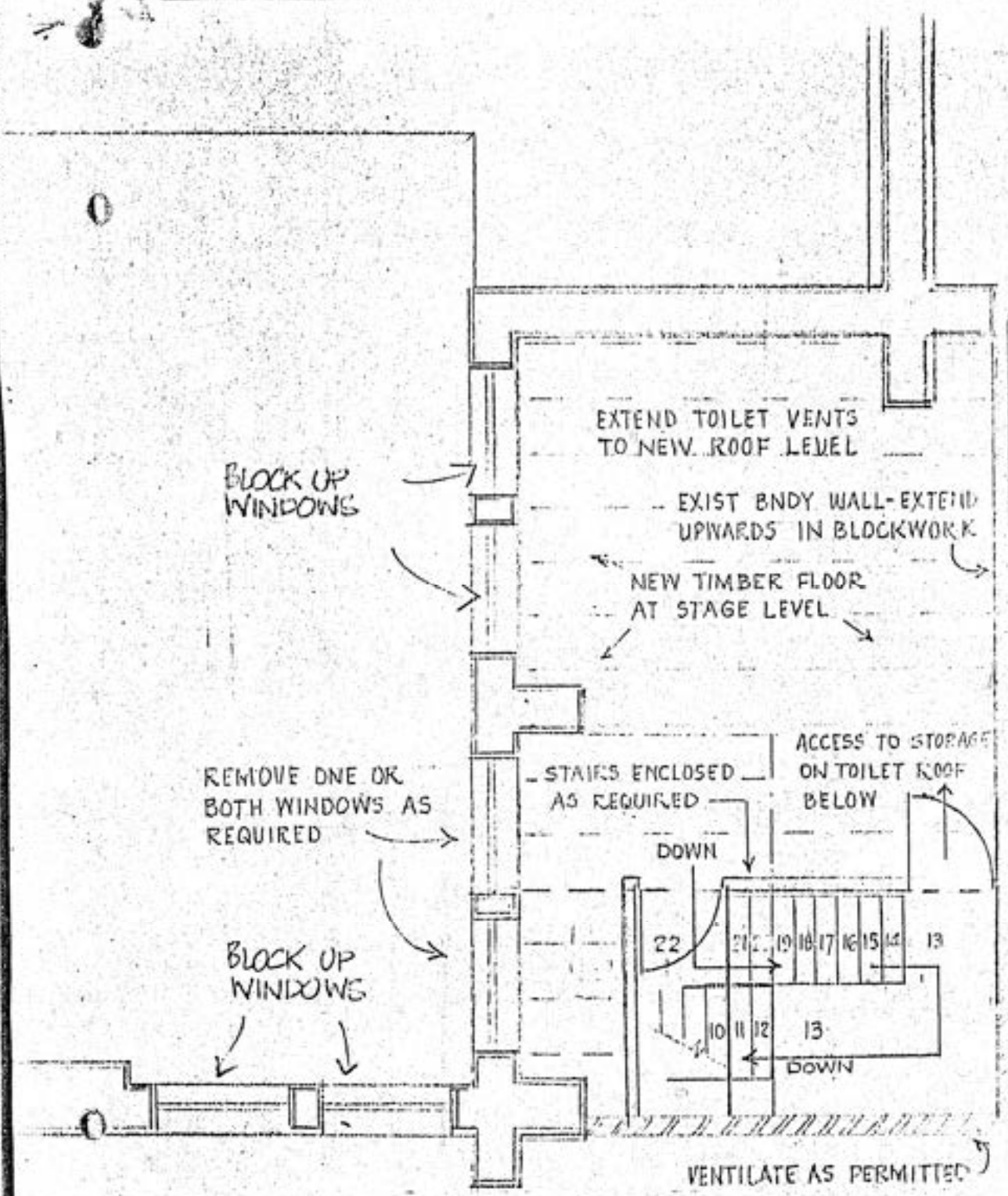
TRINITY CONVERSION
 Stage II
 IRVING & DETMERS
 BRICKELL MOSS, RANKINE & HILL
 G.S.B. BUILDING, GEORGE ST.
 P.O. BOX 5243,
 DUNEDIN, PHONE 88-203

C.S.
 19/6/78
 [Signature]

DUNEDIN DRAINAGE & SEWERAGE BOARD
 A separate application to the Drainage Board for a permit to place any other drainage work is required. Such work to be carried by a Registered Engineer or Licensed Tradesperson, and shall comply fully with the Board's By-laws and the D.S.B. Regs. 1977.
 Sewerage to be discharged to
 Sewerage to be discharged to THE SEWERAGE SYSTEM AS DETERMINED BY THE DRAINAGE BOARD'S ENGINEER.
 [Signature] 19/6/78

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34

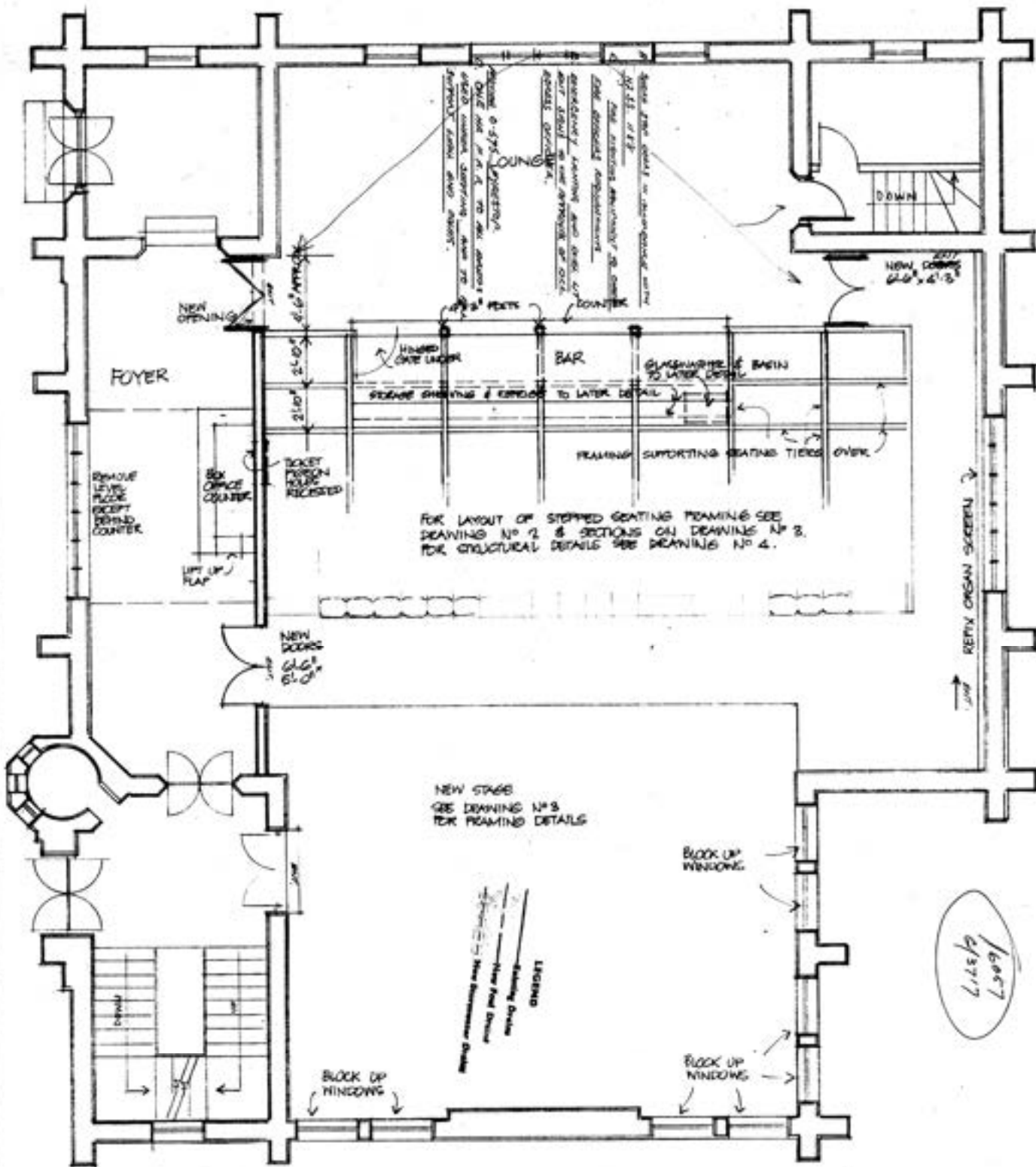
23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40



FLOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$ BOUNDARY ↗

CONVERSION OF TRINITY
 METHODIST CHURCH
 TO FORTUNE THEATRE

Handwritten signature



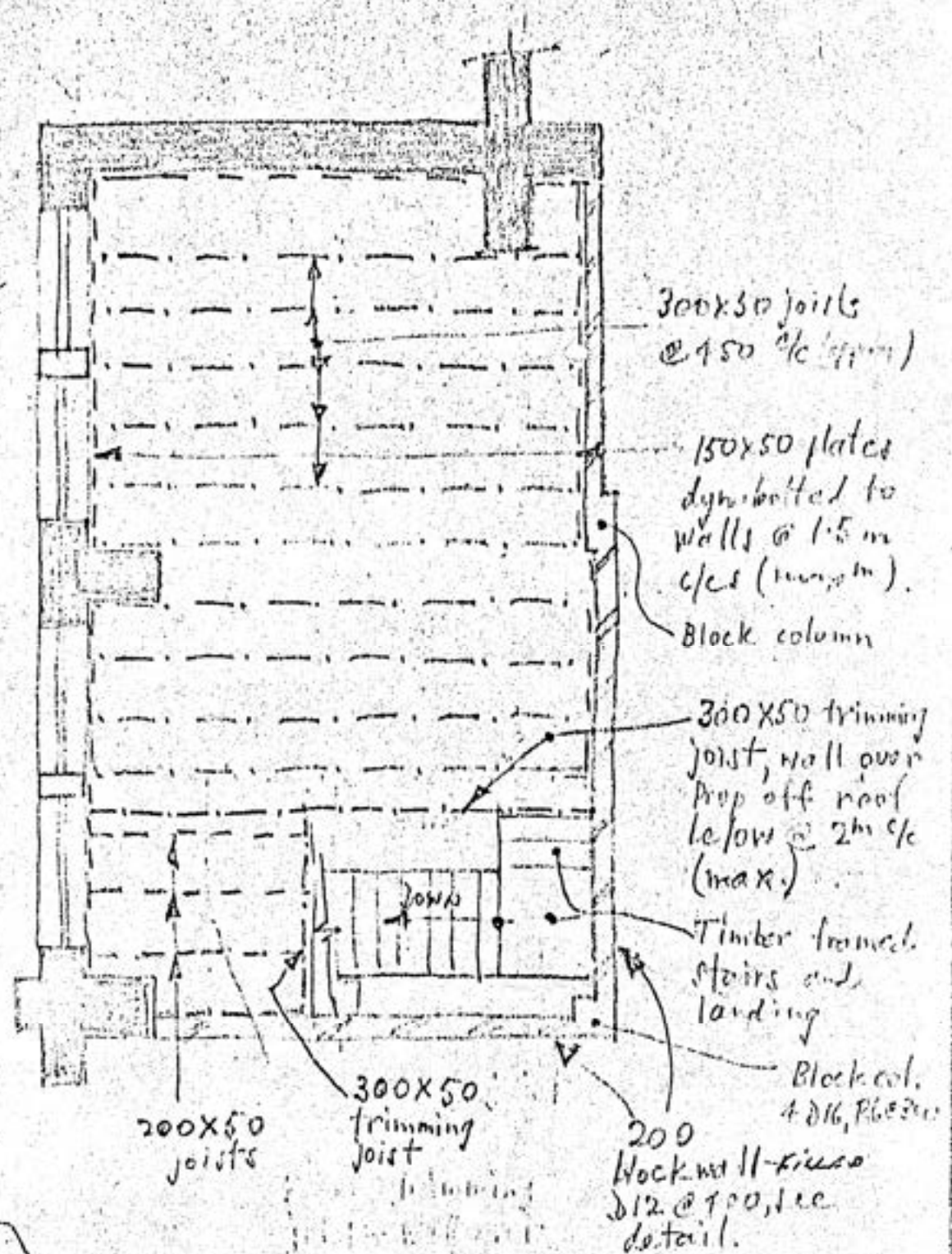
PLAN AT GROUND FLOOR LEVEL SCALE 1/8" = 1'-0"

DRAWING
No 1 of 4
16.1.78

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

16067
4/3/77

5/8/77
L.P.
3/4/78



300x50 joists
@ 450 c/c (max)

150x50 plates
dynabolted to
walls @ 1.5 m
c/c (max).
Block column

300x50 trimming
joist, wall over
prop off roof
below @ 2m c/c
(max)

Timber framed
stairs and
landing

Block col.
4 D16, R6@200

200x50
joists

300x50
trimming
joist

200
Hock wall fixer
D12 @ 100, see
detail.

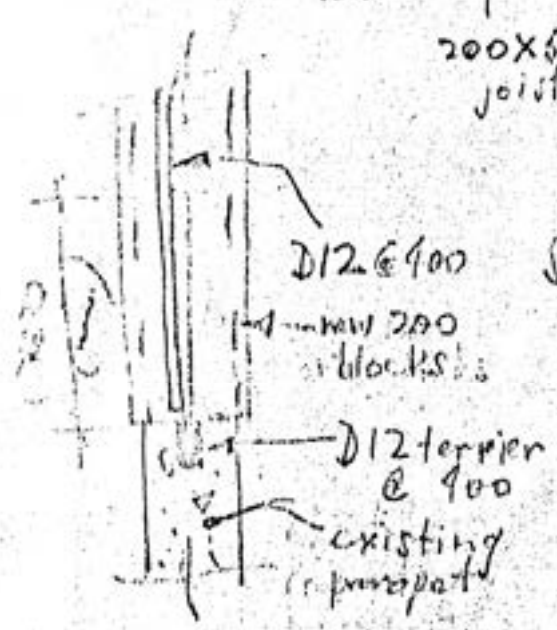
STAGE LEVEL PLAN

Stairs and landings
by builder.

1/79 790 1/16/20

TRINITY CONVERSION
STAGE II

STRUCTURAL
BRICKELL MOSS, RANKIN & HILL
O.S.B. BUILDING, GEORGETOWN
P.O. BOX 5243,
DUNEDIN.

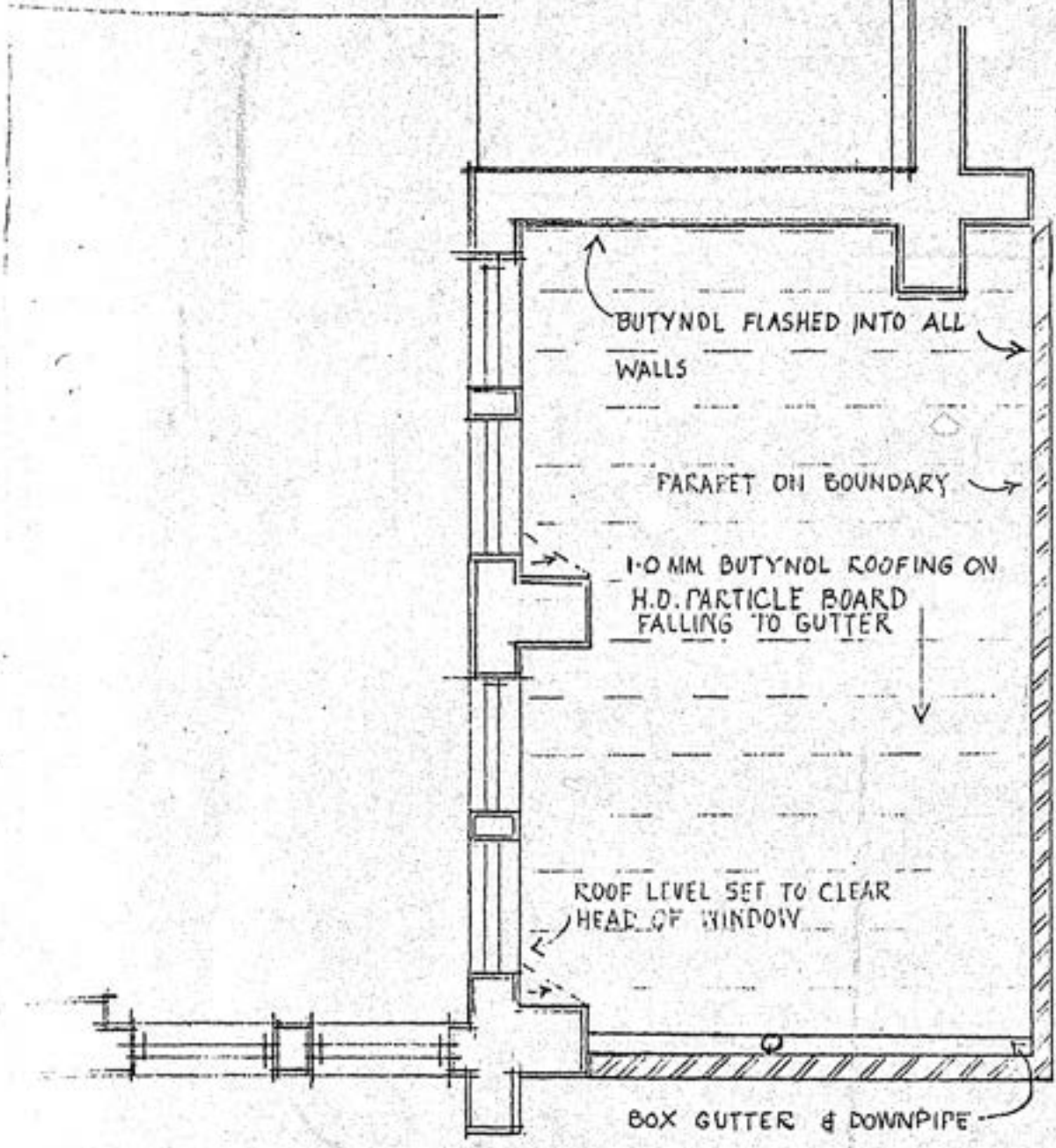


DETAIL TO
EXISTING PARAPET

7454 5010

TOTAL SEATS - 236

↑ AISLE ↑ APPROX ↑



1.0" ROOF LEVEL

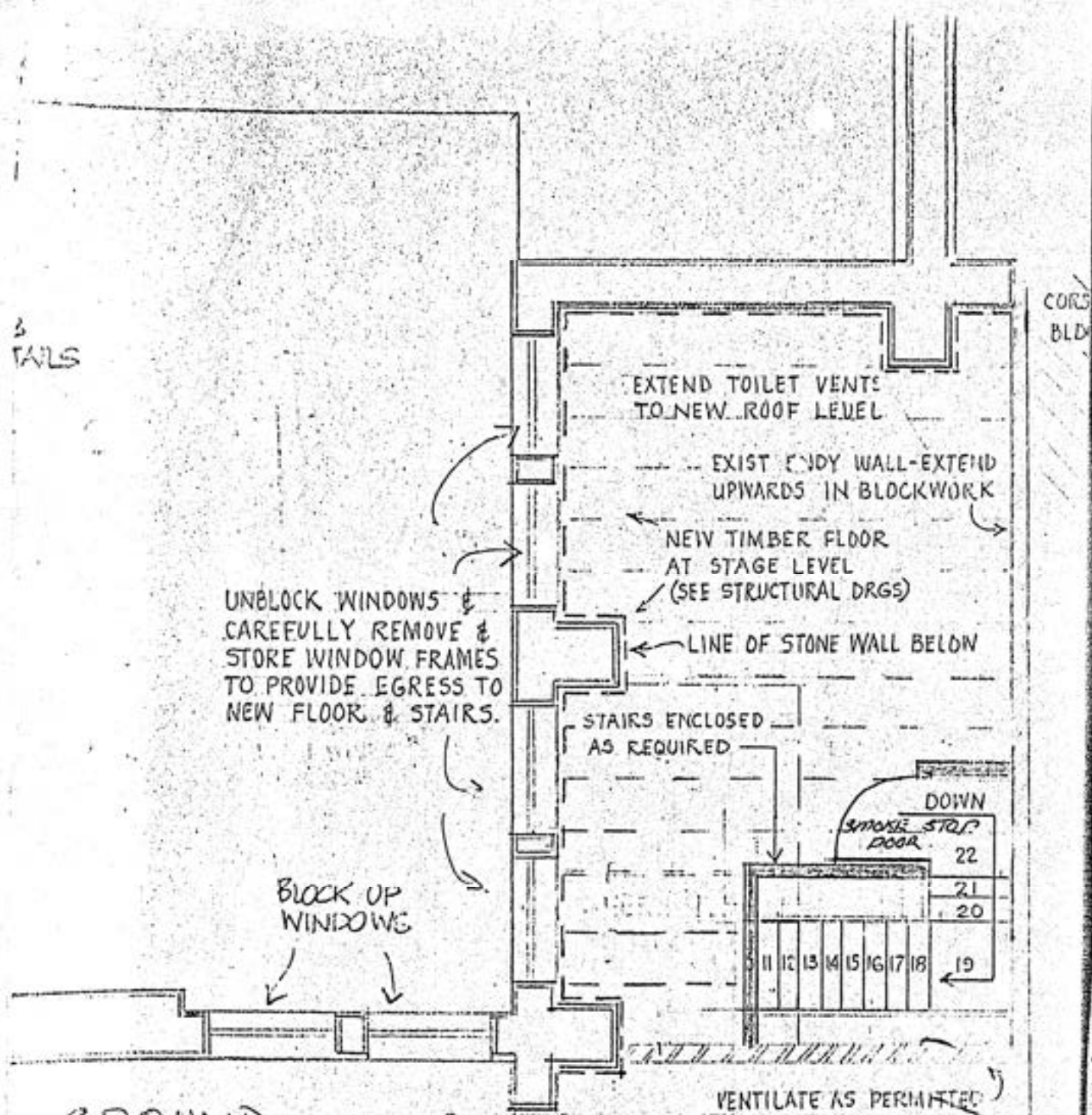
CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

ADDED 8-5-78

1/2 1/2

7454 4010

3
WLS



GROUND FLOOR LEVEL, SCALE $\frac{1}{4}'' = 1'-0''$

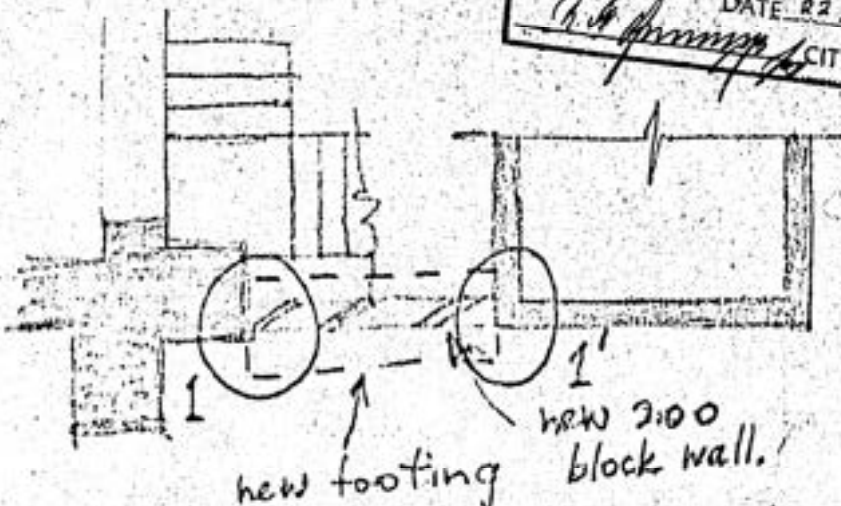
CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

'C' STAIR AMENDED 20.12.78

Whitman

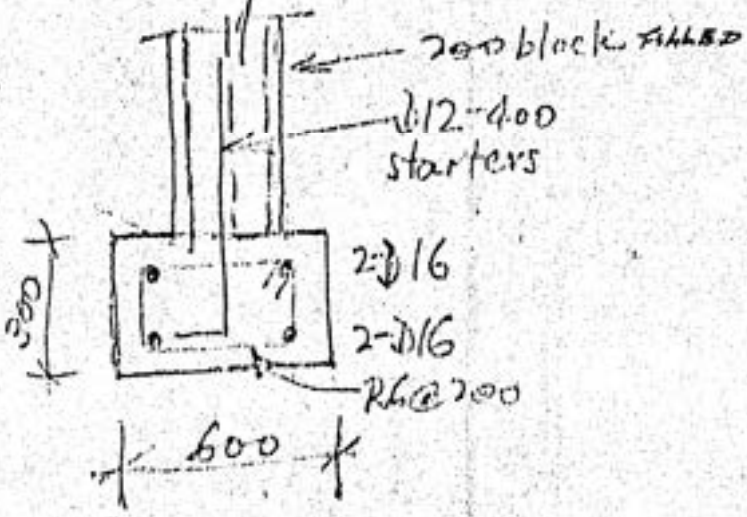
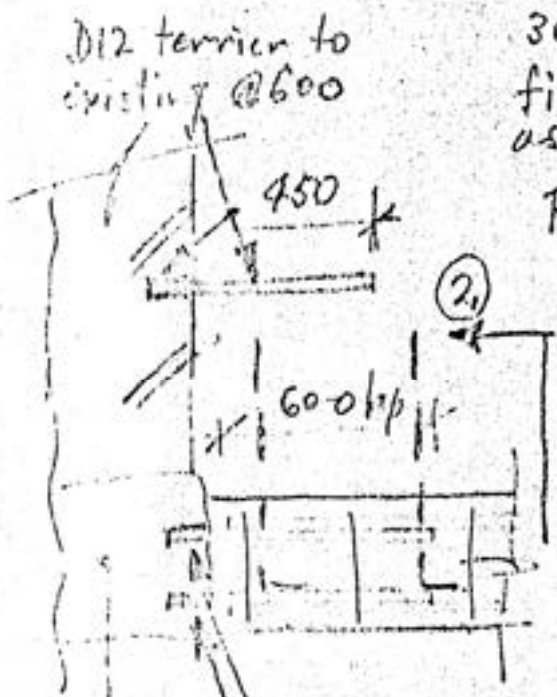
7454 30910

DUNEDIN CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETAINED ON WORKS
 AND PRODUCED ON REQUEST
 OF BUILDING INSPECTOR.
 DATE 22.2.71
 R. A. [Signature] CITY ENGINEER



new footing 300x600 -
 fix to existing
 as detailed.

PART PLAN - LOWER GROUND



existing footing
 2 No. R#16
 terraces top and
 bottom drilled into
 existing - confirm
 on site.

①
 ① SIMILAR.

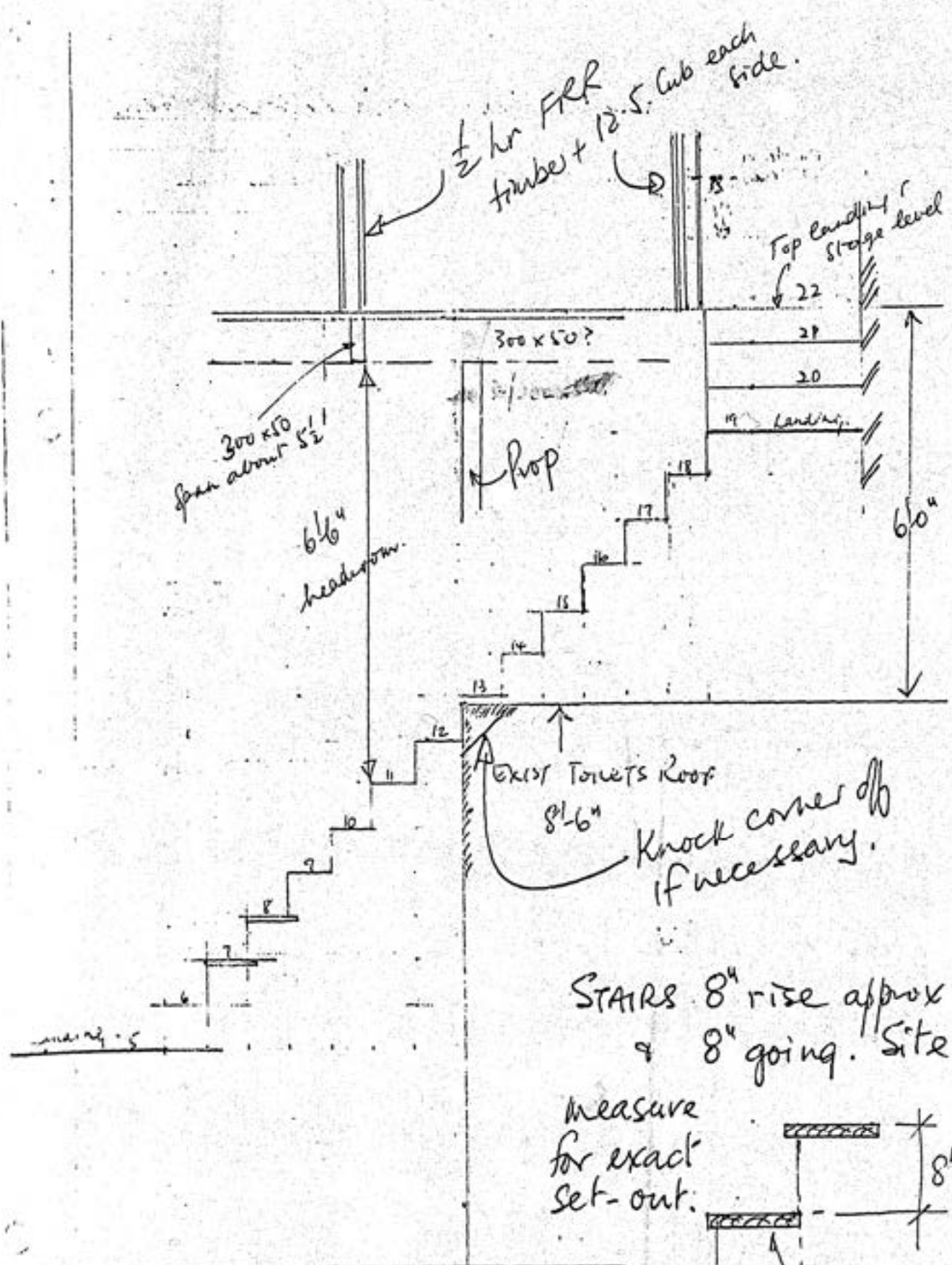
10/10

7454

②

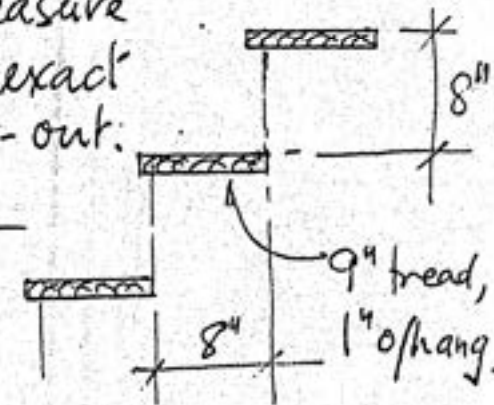
5/78	7/09/1/100
------	------------

TRINITY CONVERSION
 STAGE II
 STRUCTURAL
 BRICKELL, MOSS, RANKINE & HILL,
 O.S.B. BUILDING, GEORGE ST.,
 P.O. BOX 5243,
 DUNEDIN, PHONE 82



STAIRS 8" rise approx
 & 8" going. Site

measure
 for exact
 set-out:

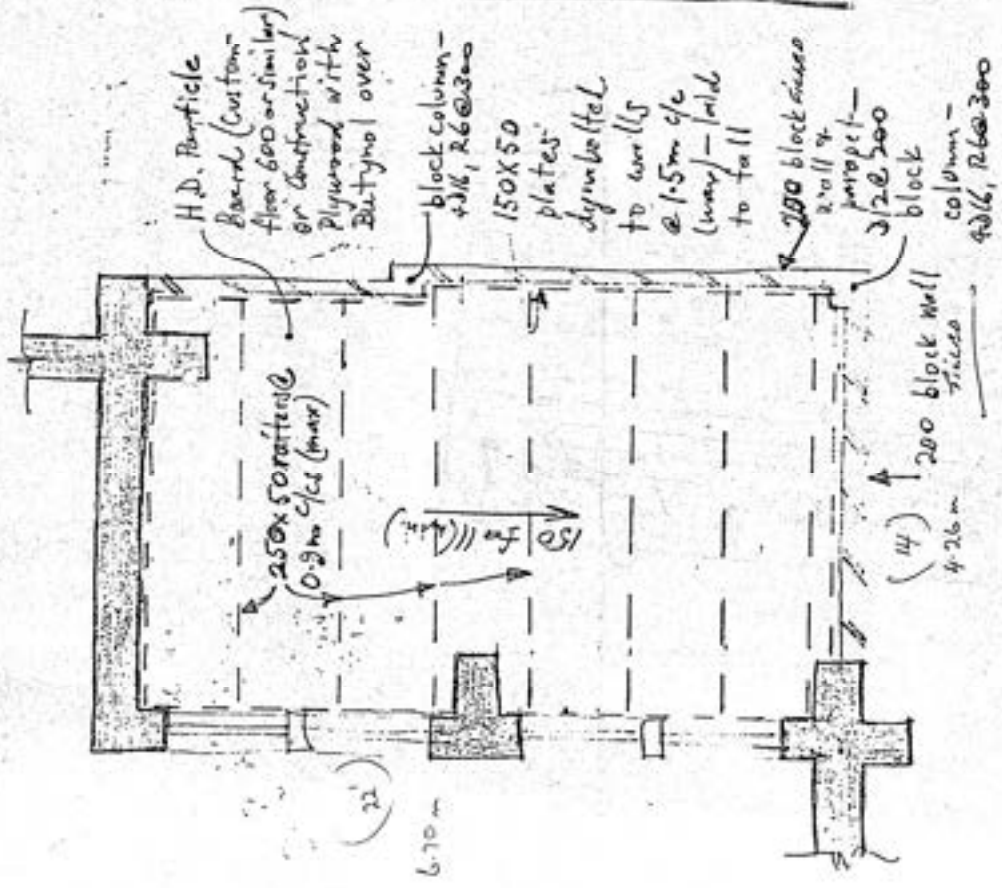


7454 6010

CITY PLANNING DEPARTMENT

Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown herein, and contained in the specification attached hereto, and subject to:

03
 Registered Building Surveyor
 Special for City Planning Dept.
 13/3/59



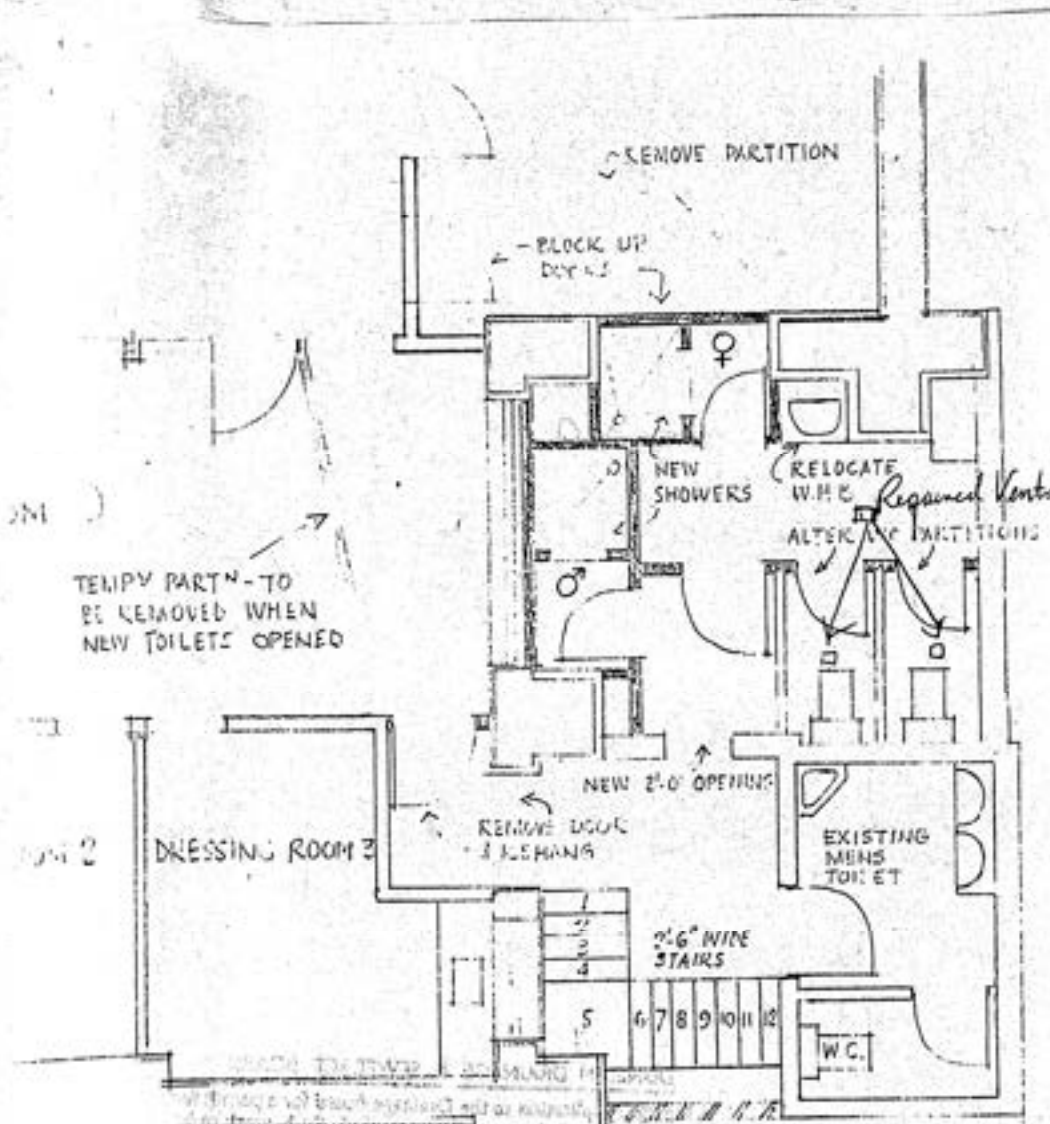
H.D. Particle Board (Custom floor 600 or similar) or construction Plywood with Butynol over
 block column - 406, R60300
 150x50 plates
 dynamitted to walls @ 1.5m c/c (max) - fold to fall
 200 block masonry wall
 200 block masonry pier
 200 block masonry column - 406, R60300

ROOF PLAN

Note acoustic ceiling under - see architectural details.

Sinking (Custom floor or Ply) to be continuous over at least 2 spans.

5/78 79081/II S3A
 TRINITY CONVERSION
 STAGE II
 STRUCTURAL DETAILS
 BRICKELL, MOSS, RANKINE & HILL,
 O.S.D. BUILDING, GEORGE ST., 7454 7010
 P.O. BOX 5743



TEMPY PARTN - TO BE REMOVED WHEN NEW TOILETS OPENED

DRESSING ROOM 2

6'-6" WIDE STAIRS

EXISTING MENS TOILET

W.C.

LOWER FLOOR LEVEL

SCALE 1/4" = 1'-0"

BOUNDARY

CONVERSION OF
SECRET OFFICE
FOR FORTUNE TELLER

This permit is issued subject to the additional conditions shown on the back hereof.

UNRECORDED - DRAINAGE & SEWERAGE BOARD

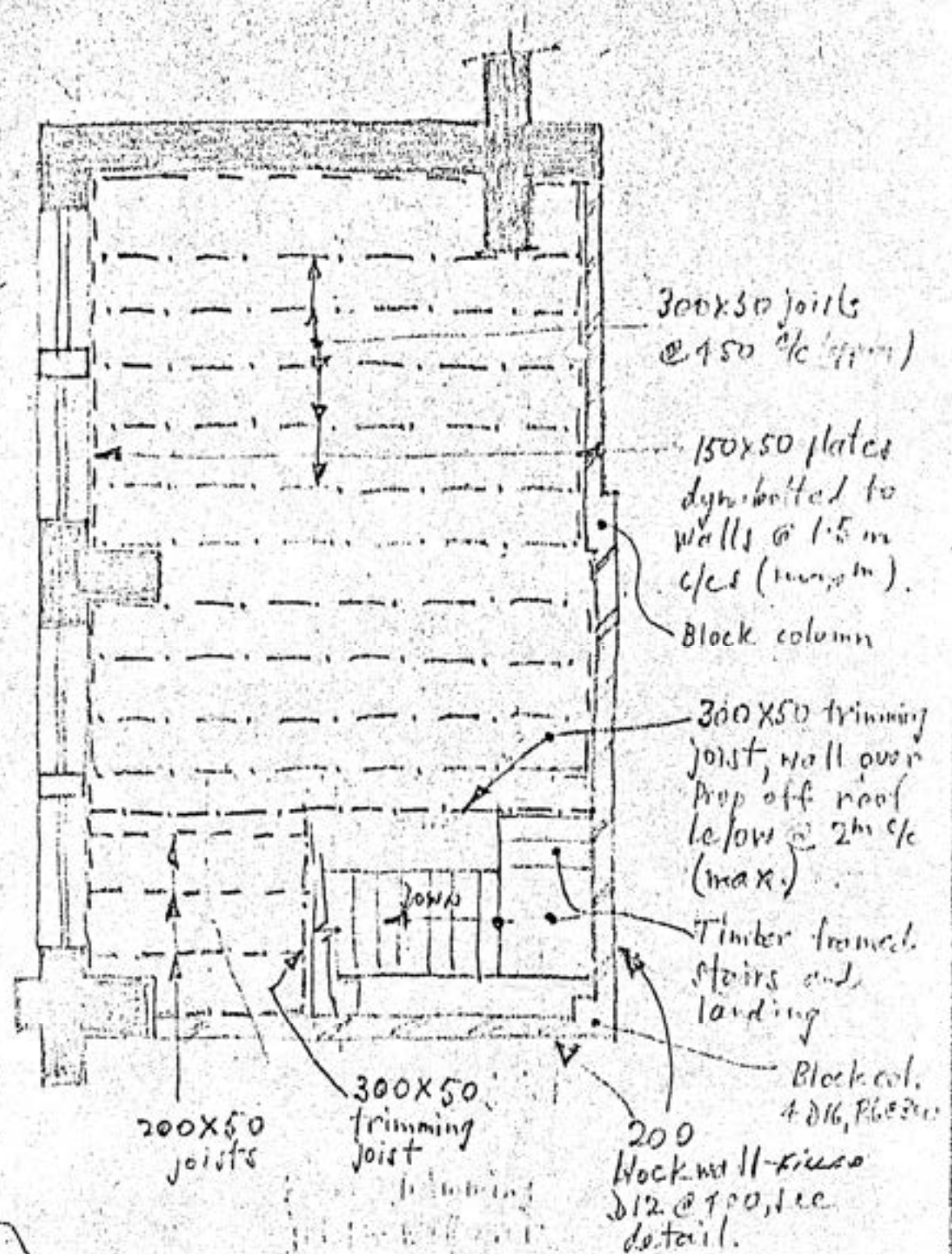
A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be executed by a Regd. Plumber or Licensed Drainer, respectively and shall comply fully with the Board's By-laws and the D. & P. Regs., 1959.

Stormwater to be discharged to

Foot sewage to be discharged to Ext. of existing
 foul drains Required Ventilation
 of INTERNAL W.C.s and ISOLATION
 COMPARTMENTS

PNS/PM 19-2-79

7454 20810



300x50 joists
@ 450 c/c (max)

150x50 plates
dynabolted to
walls @ 1.5 m
c/c (max)

Block column

300x50 trimming
joist, wall over
prop off roof
below @ 2m c/c
(max)

Timber framed
stairs and
landing

Block col.
4 D16, R6 @ 200

200x50
joists

300x50
trimming
joist

200
Block wall - Ficus
D12 @ 400, see
detail.

STAGE LEVEL PLAN

Stairs and landings
by builder.

1/79 790 1/16/20

TRINITY CONVERSION
STAGE II

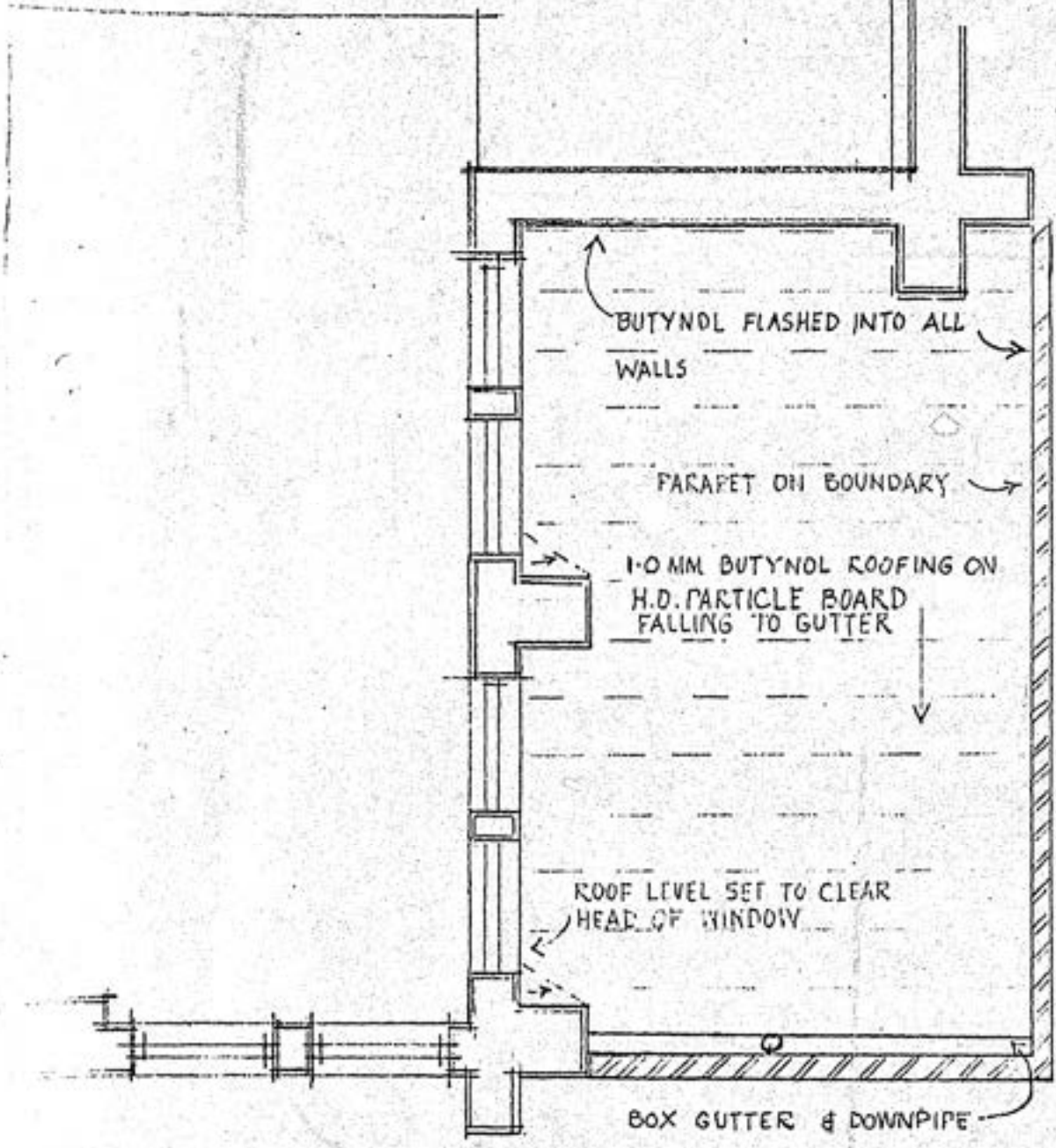
STRUCTURAL
BRICKELL MOSS, RANKIN & HILL
O.S.B. BUILDING, GEORGETOWN
P.O. BOX 5243,
DUNEDIN.

DETAIL TO
CONCRETE PARAPET

7454 5010

TOTAL SEATS - 236

↑ AISLE ↑ APPROX ↑



11'-0" ROOF LEVEL

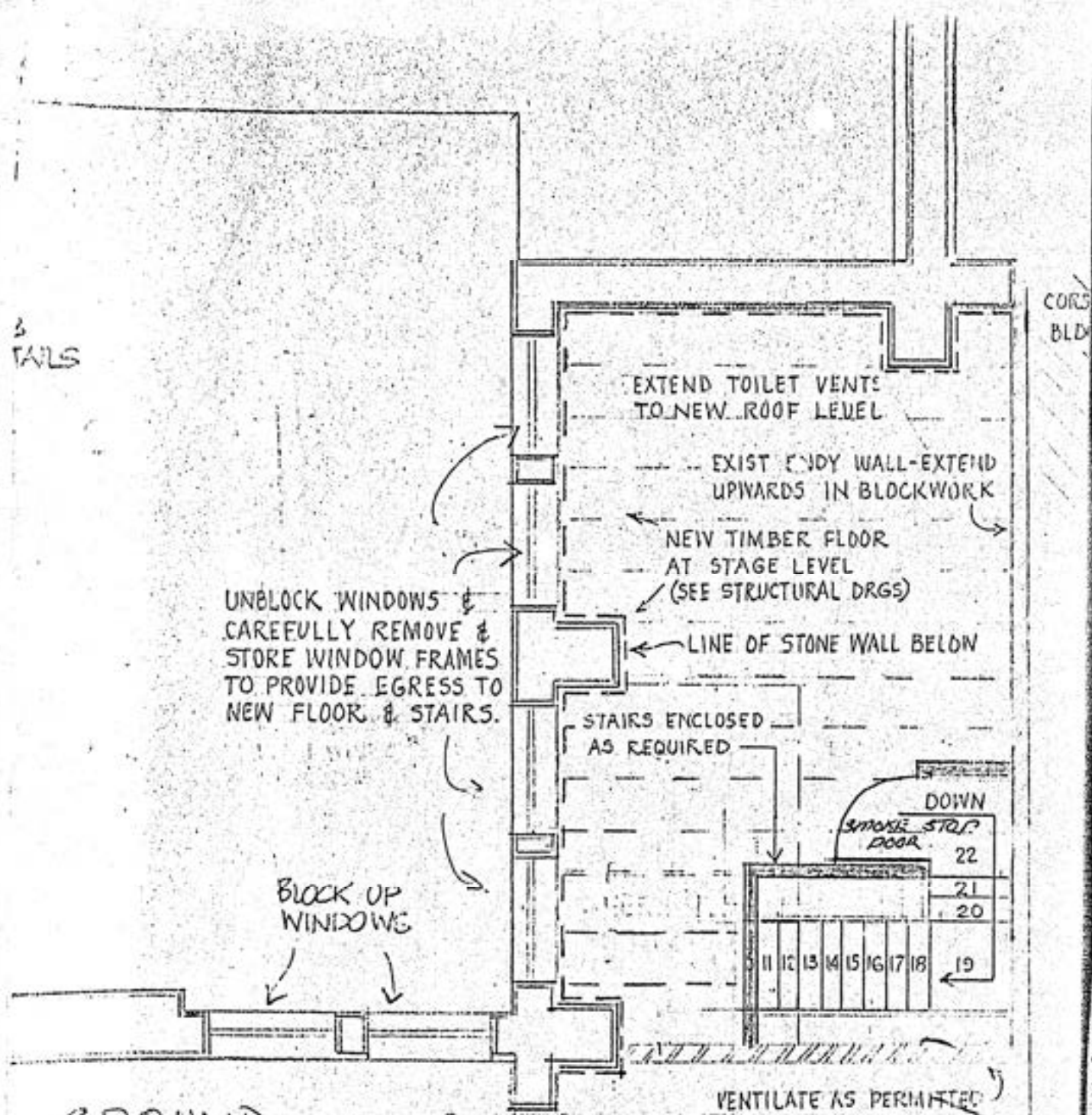
CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

ADDED 8-5-78

1/2 1/2

7454 4010

3
WLS



GROUND FLOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$

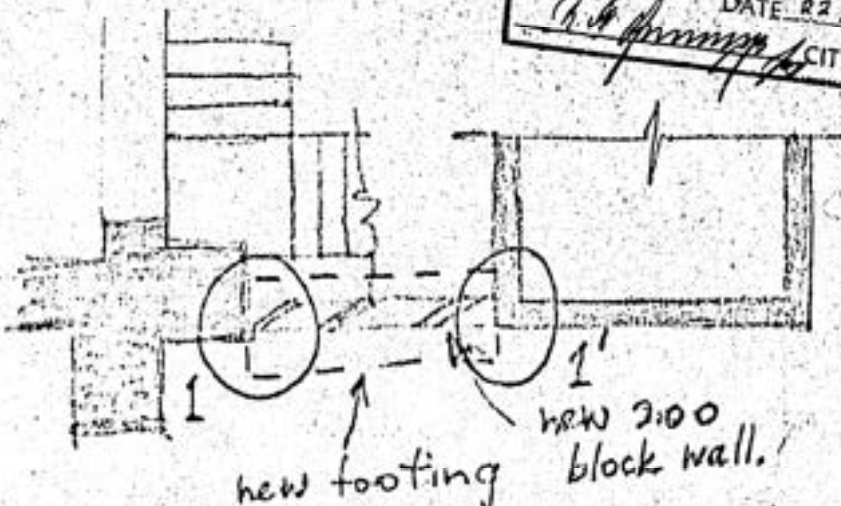
CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

'C' STAIR AMENDED 20.12.78

Whitman

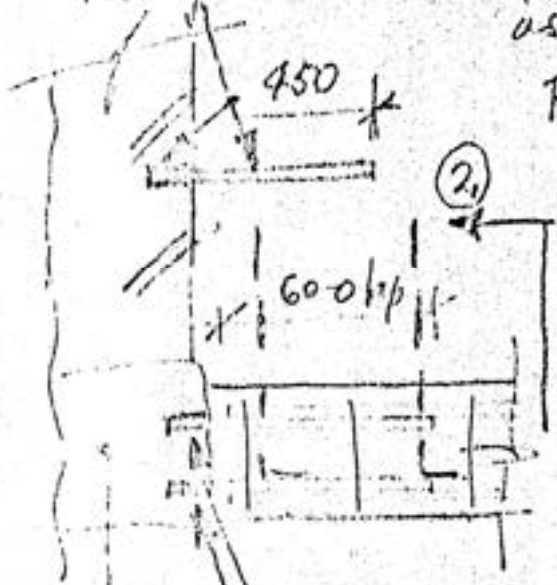
7454 30910

DUNEDIN CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETAINED ON WORKS
 AND PRODUCED ON REQUEST
 OF BUILDING INSPECTOR.
 DATE 22.2.71
 R. A. [Signature] CITY ENGINEER

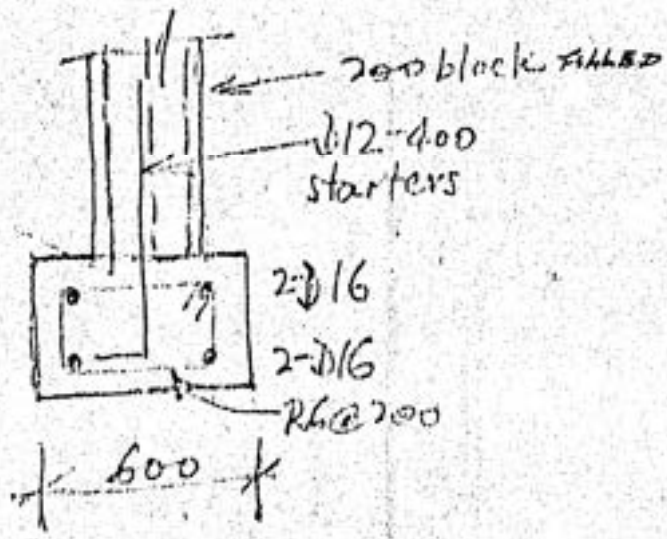


new footing
 300 X 600 -
 fix to existing
 as detailed.

Ø12 terraces to
 existing @ 600



PART PLAN - LOWER GROUND



existing footing
 2 No. R16
 terraces top and
 bottom drilled into
 existing - confirm
 on site.

①

① SIMILAR.

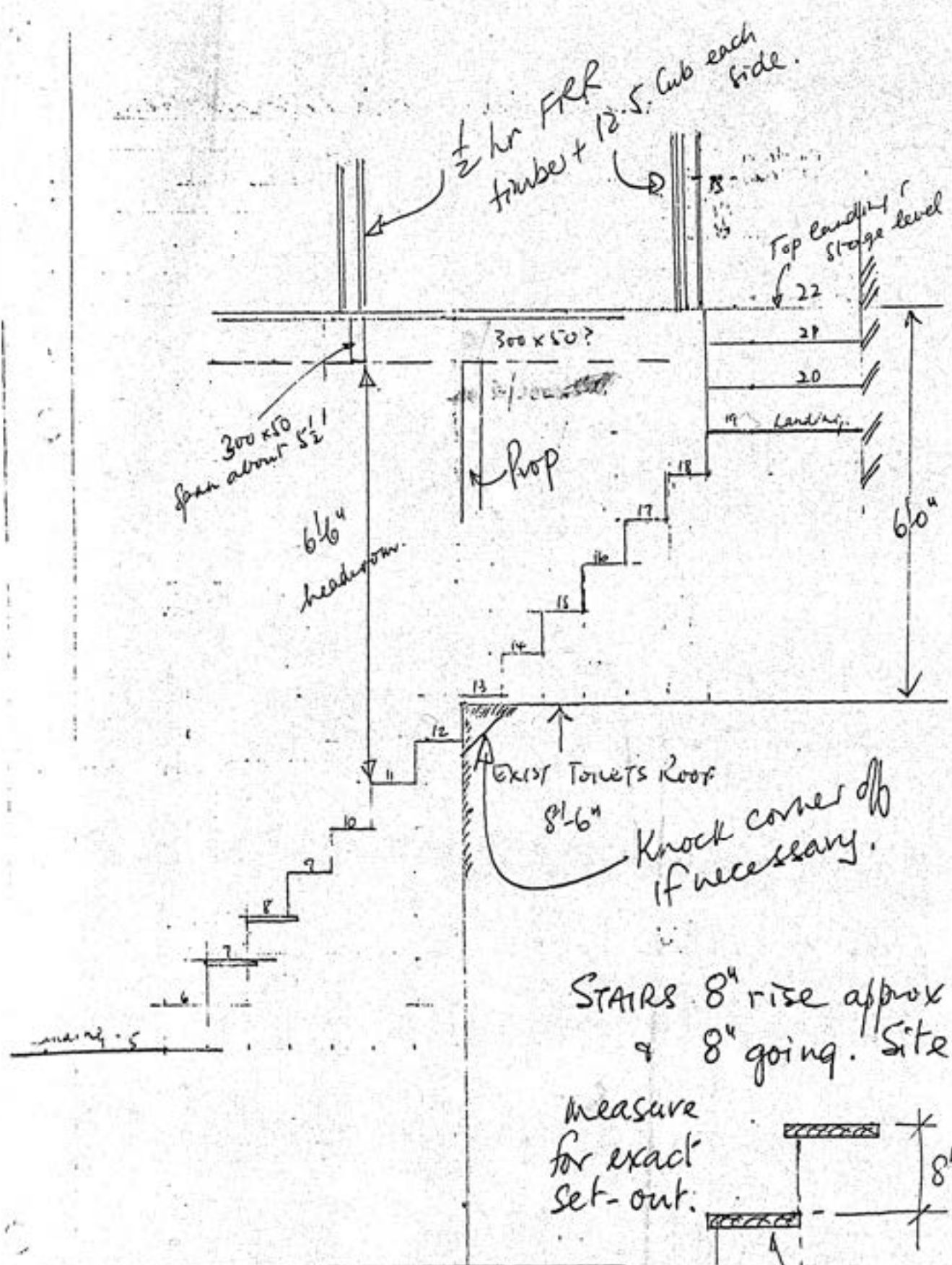
②

5/78 7.009/1001

TRINITY CONVERSION
 STAGE II
 STRUCTURAL

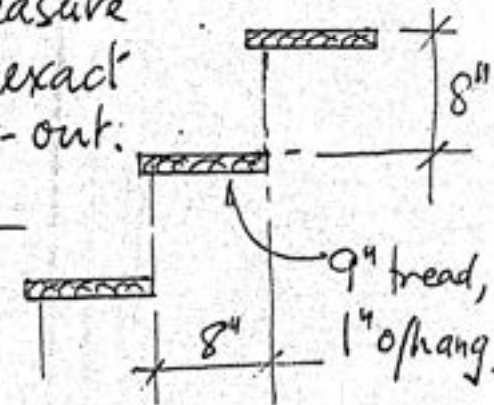
BRICKELL, MOSS, RANKINE & HILL,
 O.S.B. BUILDING, GEORGE ST.,
 P.O. BOX 5243,
 DUNEDIN, PHONE 82

10/10 7454



STAIRS 8" rise approx
& 8" going. Site

measure
for exact
set-out:

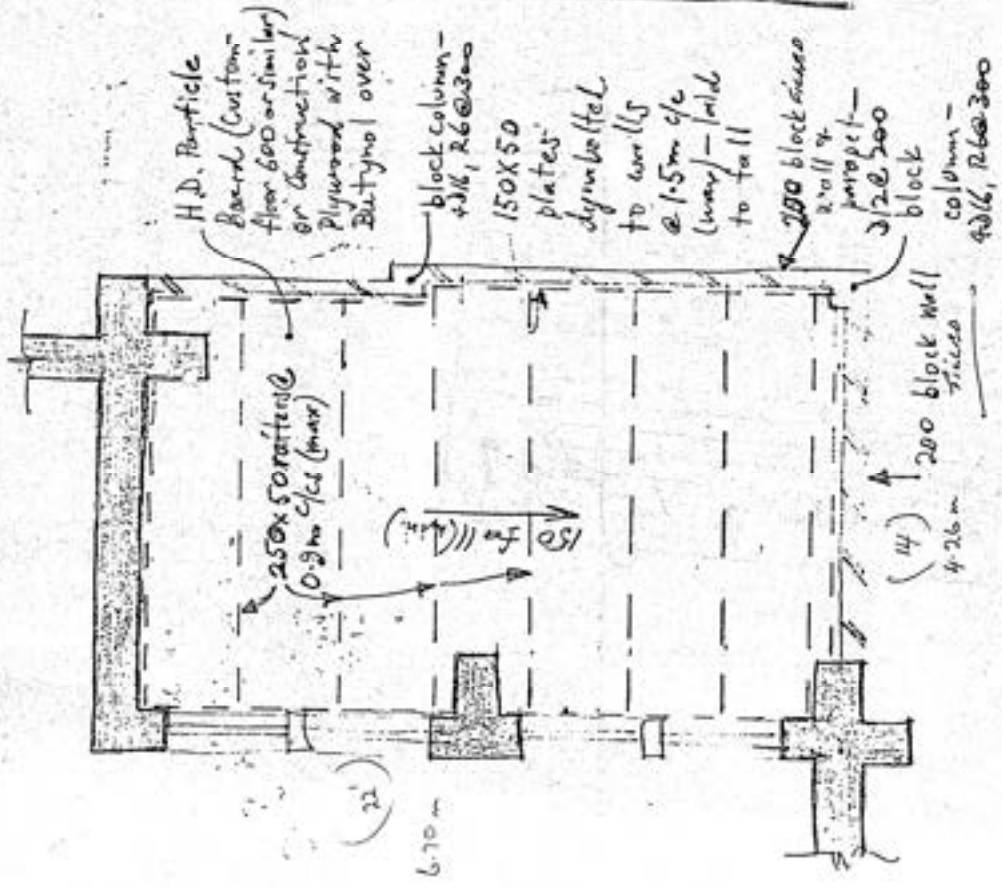


7454 6010

CITY PLANNING DEPARTMENT

Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown herein, and contained in the specification attached hereto, and subject to:

03
 Registered Building Surveyor
 Special for City Planning Dept.
 13/3/59



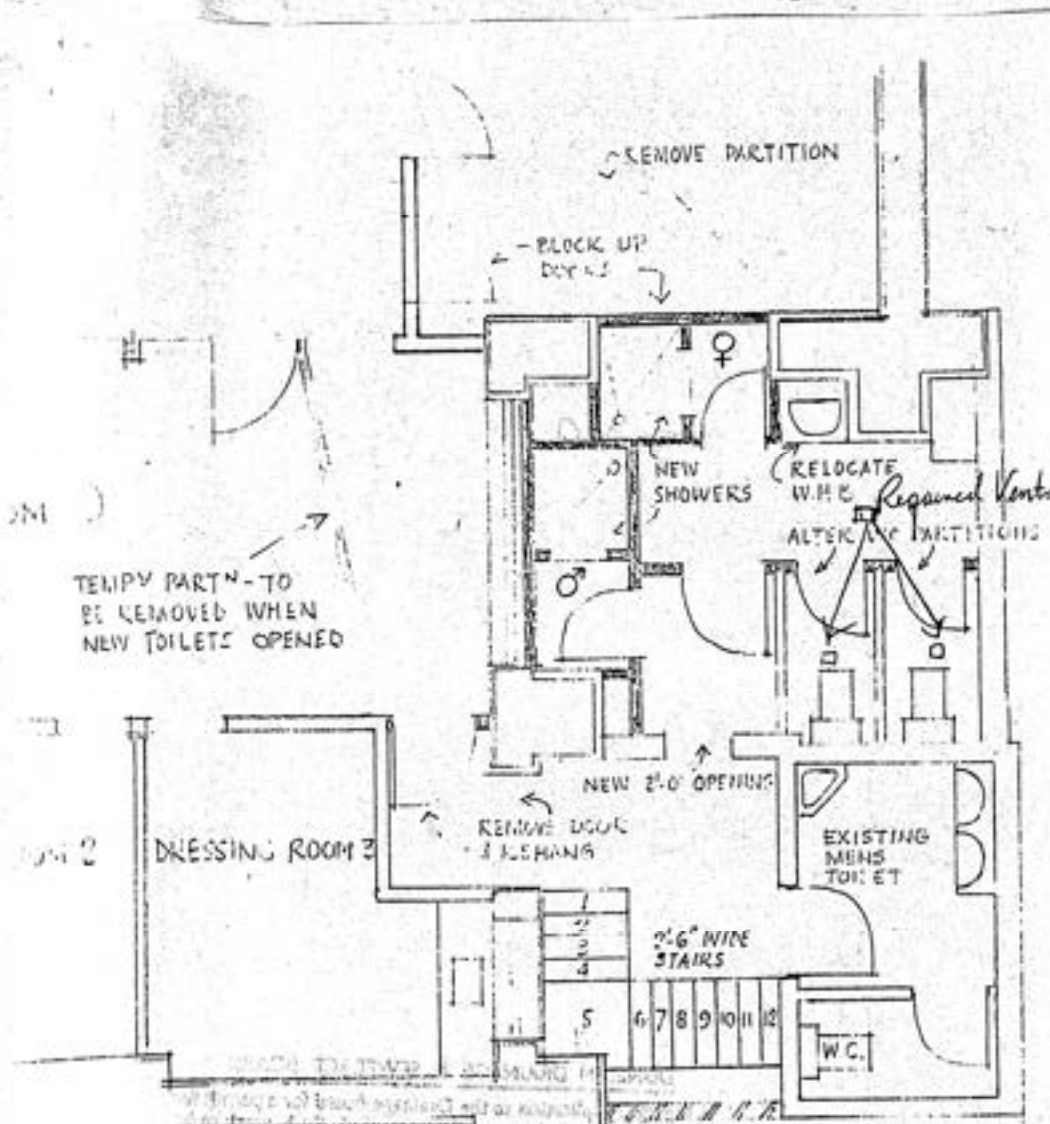
ROOF PLAN

Note acoustic ceiling under - see architectural details.

Sinking (Custom floor or Ply) to be continuous over at least 2 spans.

5/78 79081/II S3A
 TRINITY CONVERSION
 STAGE II
 STRUCTURAL DETAILS
 BRICKELL, MOSS, RANKINE & HILL,
 O.S.D. BUILDING, GEORGE ST.,
 P.O. BOX 5743

7454 7016



LOWER FLOOR LEVEL SCALE 1/4" = 1'-0" BOUNDARY

CONVERSION OF
SECRET OFFICE
FOR FORTUNE TELLER

This permit is issued subject to the additional conditions shown on the back hereof.

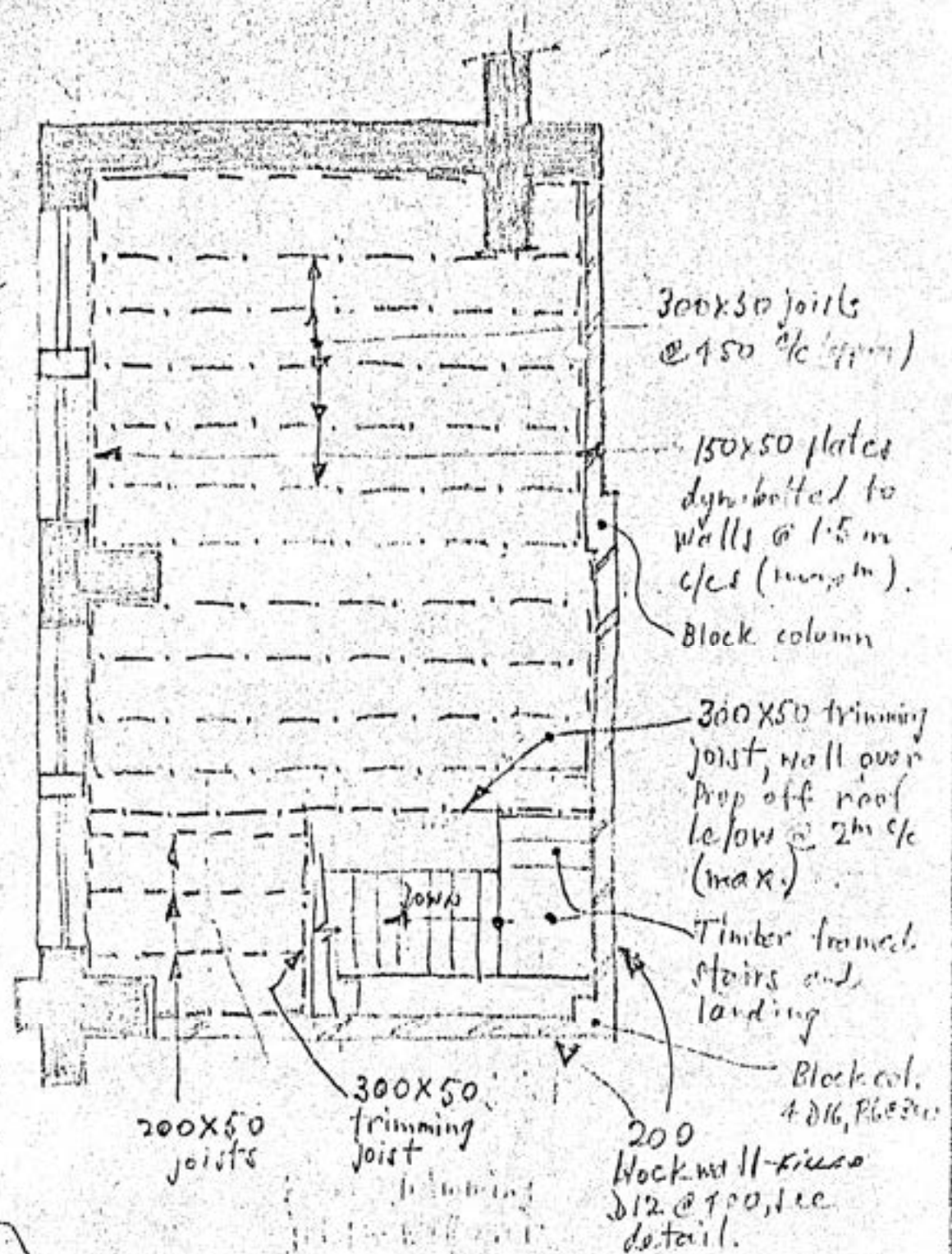
7454 20810

DRAINAGE & SEWERAGE BOARD

A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be executed by a Regd. Plumber or Licensed Drainier, respectively and shall comply fully with the Board's By-laws and the D. & P. Regs., 1959.

Stormwater to be discharged to

Foot sewage to be discharged to Ext. of existing
 foul drains Required Ventilation
 of Internal W.C.s and Isolation
 Compartments PMS/19-2-79



300x50 joists
@ 450 c/c (max)

150x50 plates
dynabolted to
walls @ 1.5 m
c/c (max).
Block column

300x50 trimming
joist, wall over
prop off roof
below @ 2m c/c
(max)

Timber framed
stairs and
landing

Block col.
4 D16, R6@200

200x50
joists

300x50
trimming
joist

200
Hock wall fixer
D12 @ 100, see
detail.

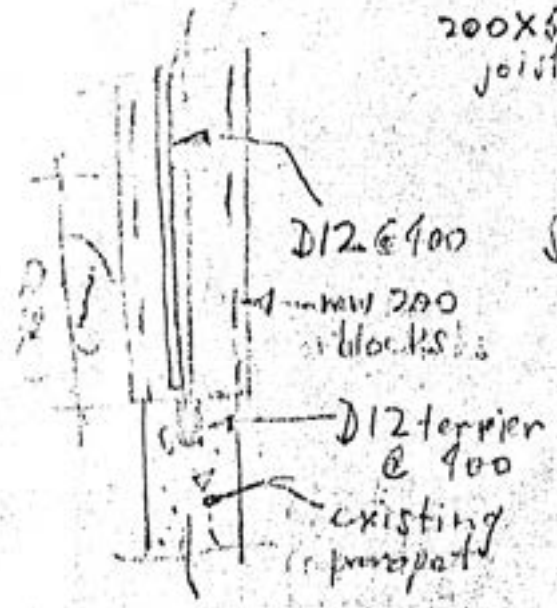
STAGE LEVEL PLAN

Stairs and landings
by builder.

1/79 790 1/16/20

TRINITY CONVERSION
STAGE II

STRUCTURAL
BRICKELL MOSS, RANKINE & HILL
O.S.B. BUILDING, GEORGETOWN
P.O. BOX 5243,
DUNEDIN.

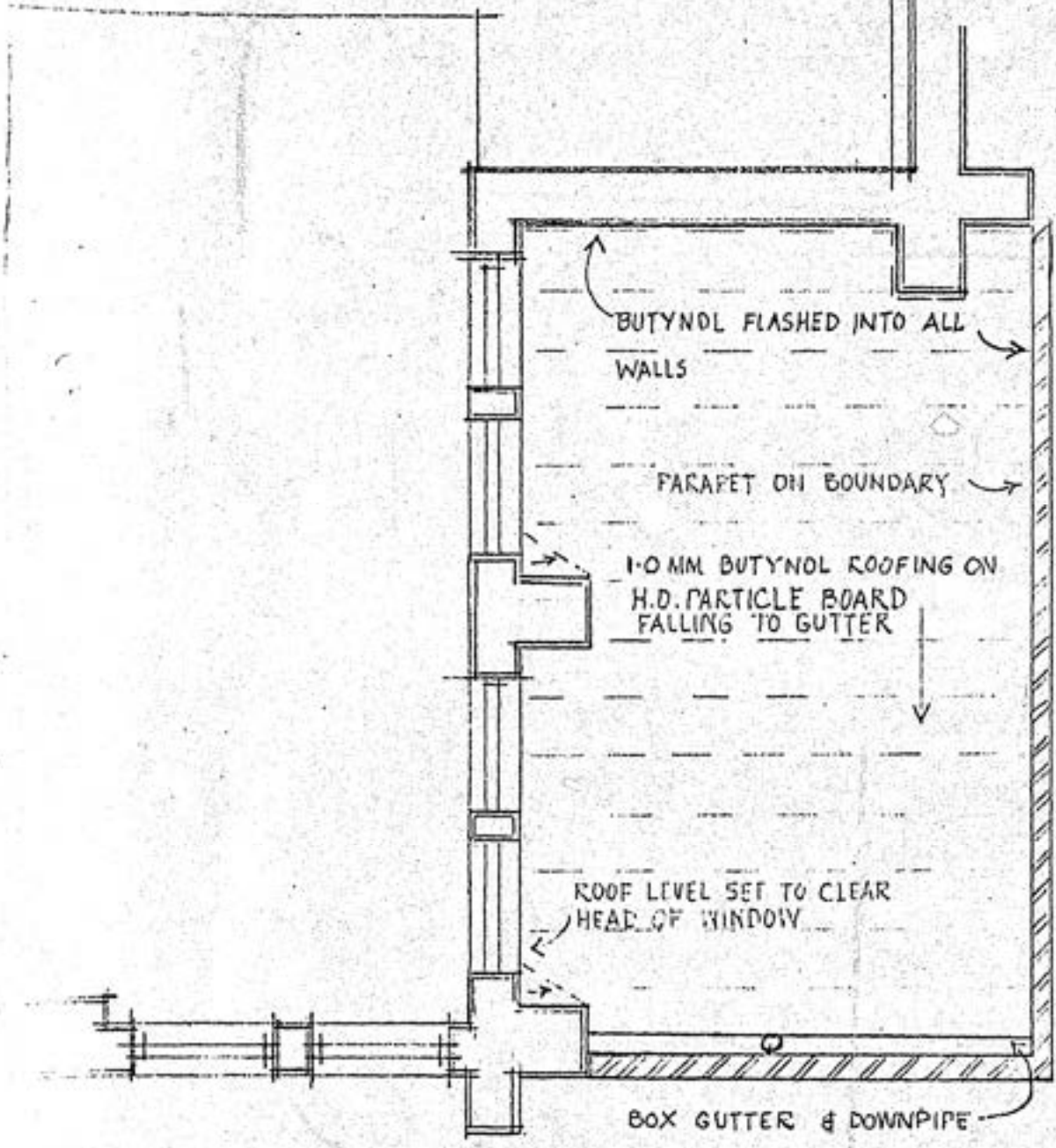


DETAIL TO
EXISTING PARAPET

7454 5010

TOTAL SEATS - 236

↑ AISLE ↑ APPROX ↑



11'-0" ROOF LEVEL

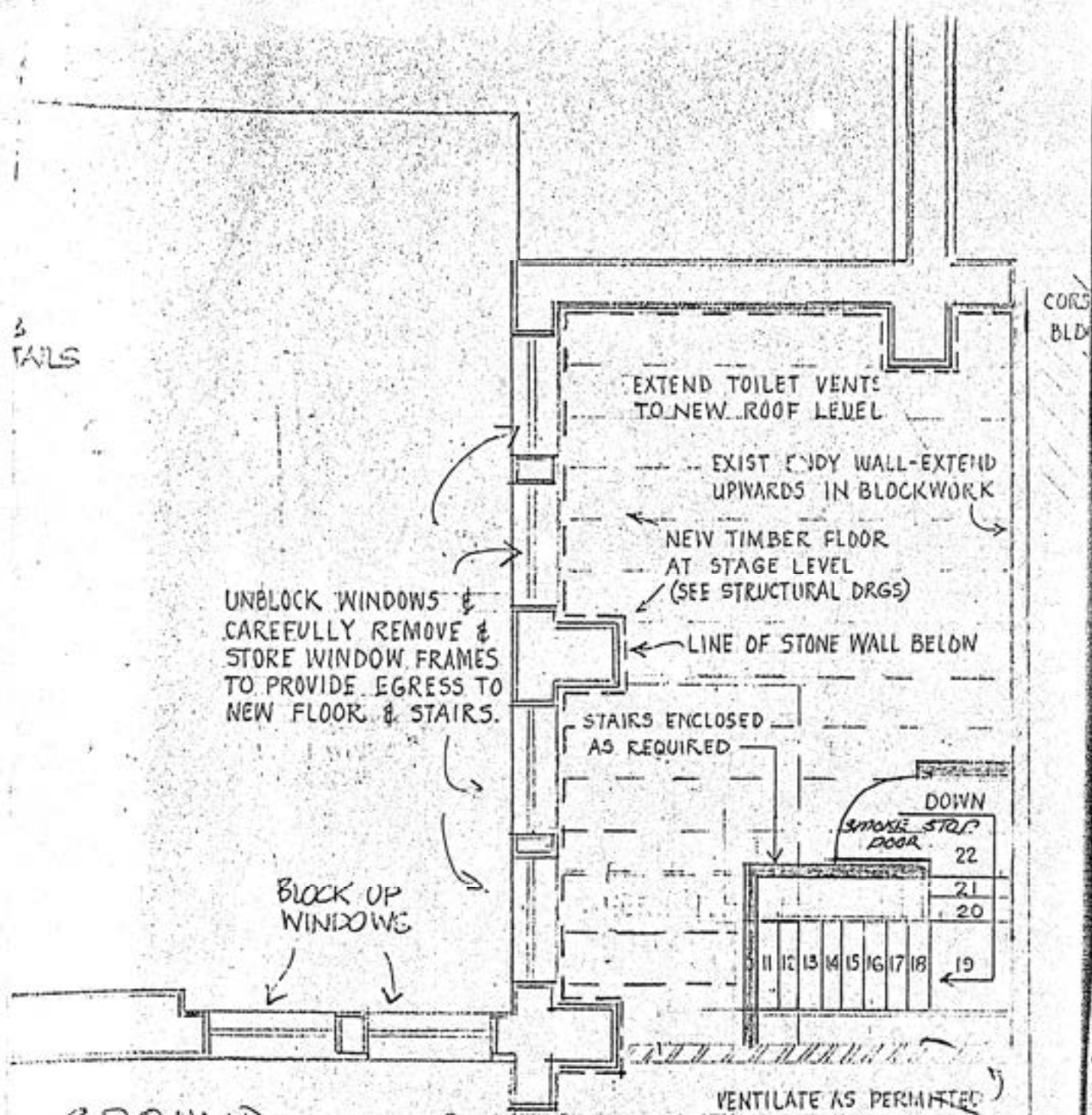
CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

ADDED 8-5-78

7/11/78

7454 4010

3
WLS



GROUND FLOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$

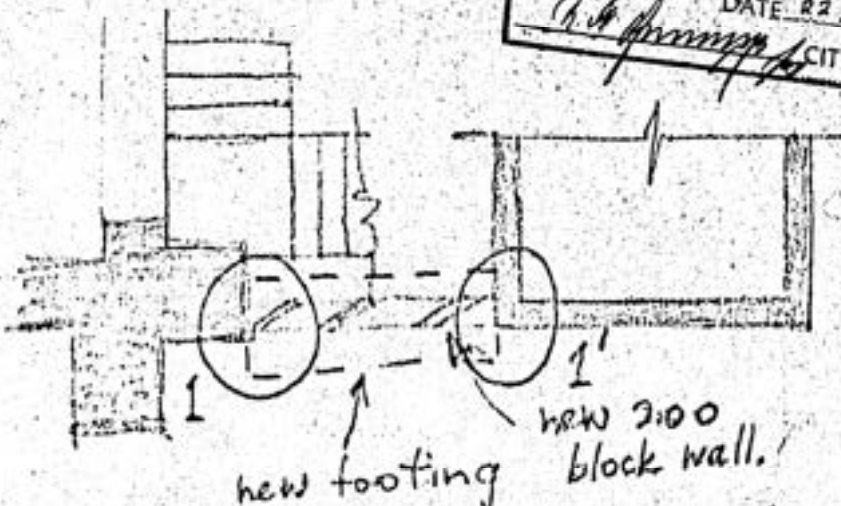
CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

'C' STAIR AMENDED 20.12.78

Whitman

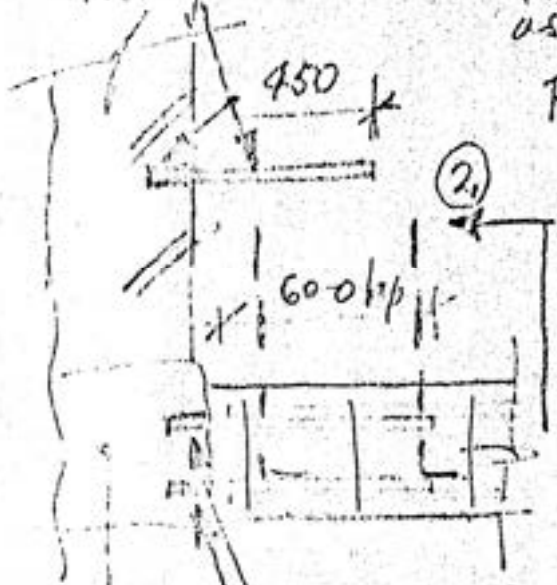
7454 30910

DUNEDIN CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETAINED ON WORKS
 AND PRODUCED ON REQUEST
 OF BUILDING INSPECTOR.
 DATE 22.2.71
 R. A. [Signature] CITY ENGINEER



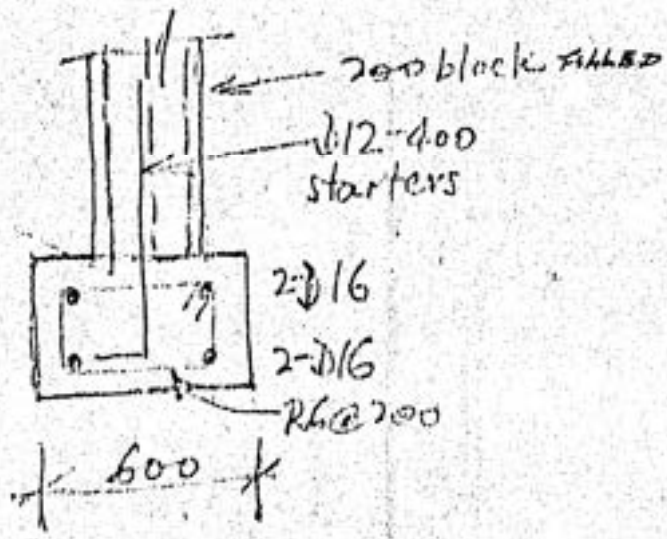
new footing
 300 X 600 -
 fix to existing
 as detailed.

Ø12 terraces to
 existing @ 600



existing footing
 2 No. R16
 terraces top and
 bottom drilled into
 existing - confirm
 on site.

PART PLAN - LOWER GROUND



①

① SIMILAR.

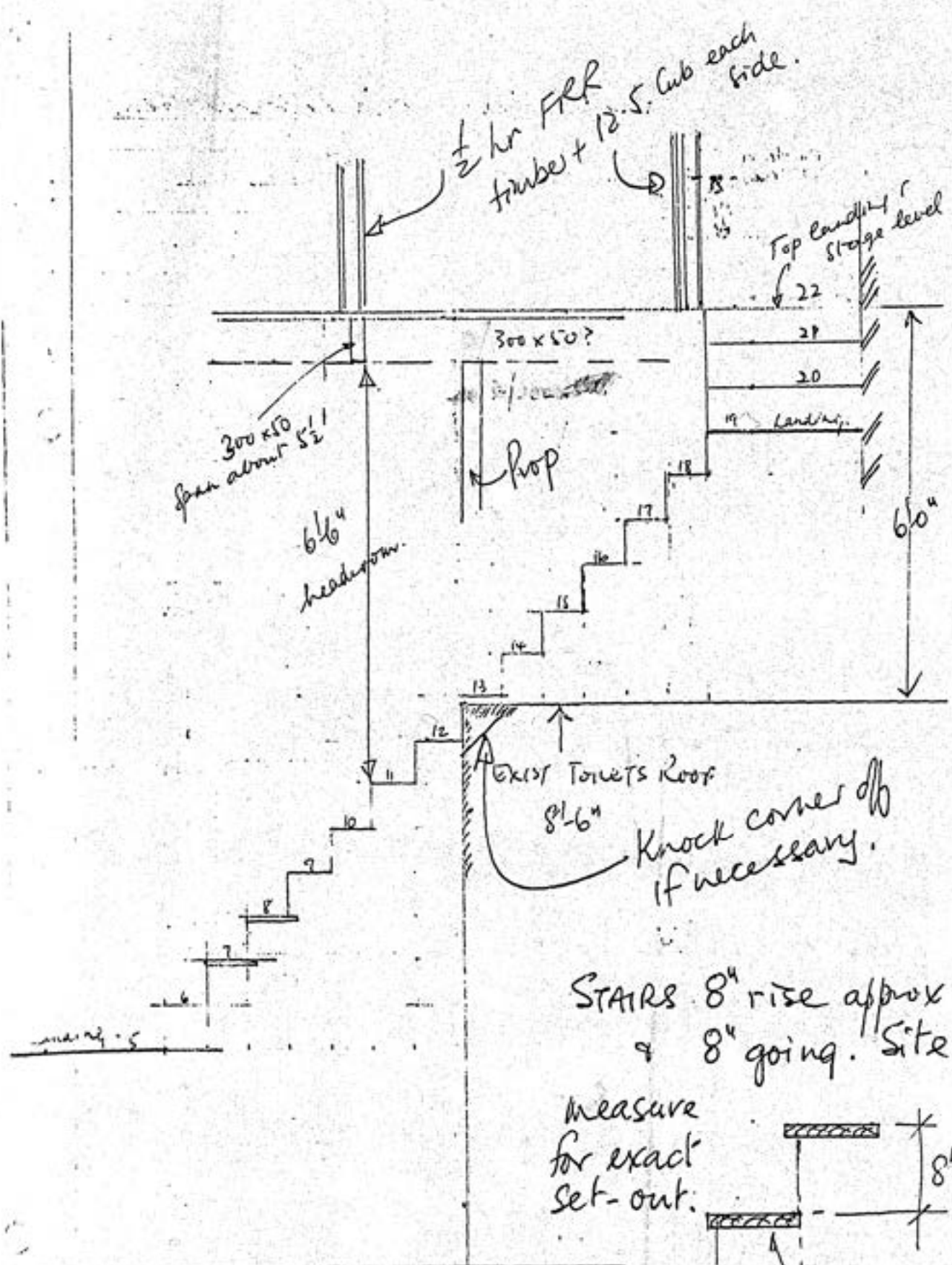
②

5/78 7.009/1001

TRINITY CONVERSION
 STAGE II
 STRUCTURAL

BRICKELL, MOSS, RANKINE & HILL,
 O.S.B. BUILDING, GEORGE ST.,
 P.O. BOX 5243,
 DUNEDIN, PHONE 82

10/10 7454



1/2 hr FRP
 timber + 12.5 Cub each
 side.

Top Landing
 Storage level
 22

300 x 50
 span about 5'

6/6
 headroom.

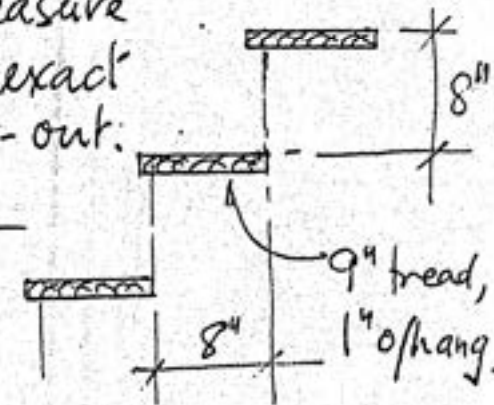
Prop

EXIST TOILET ROOF
 8'-6"

Knock corner off
 if necessary.

STAIRS 8" rise approx
 & 8" going. Site

measure
 for exact
 set-out:

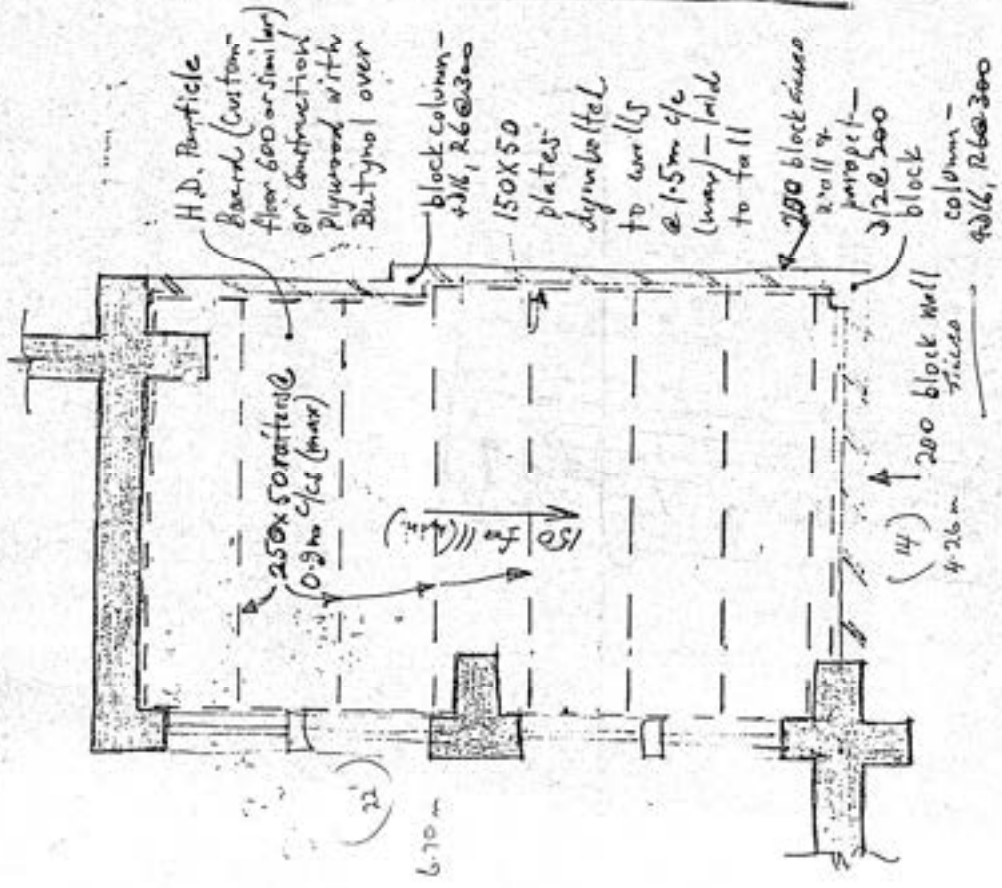


7454 6010

CITY PLANNING DEPARTMENT

Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown herein, and contained in the specification attached hereto, and subject to:

03
 Registered Building Surveyor
 Special for City Planning Dept.
 13/3/59



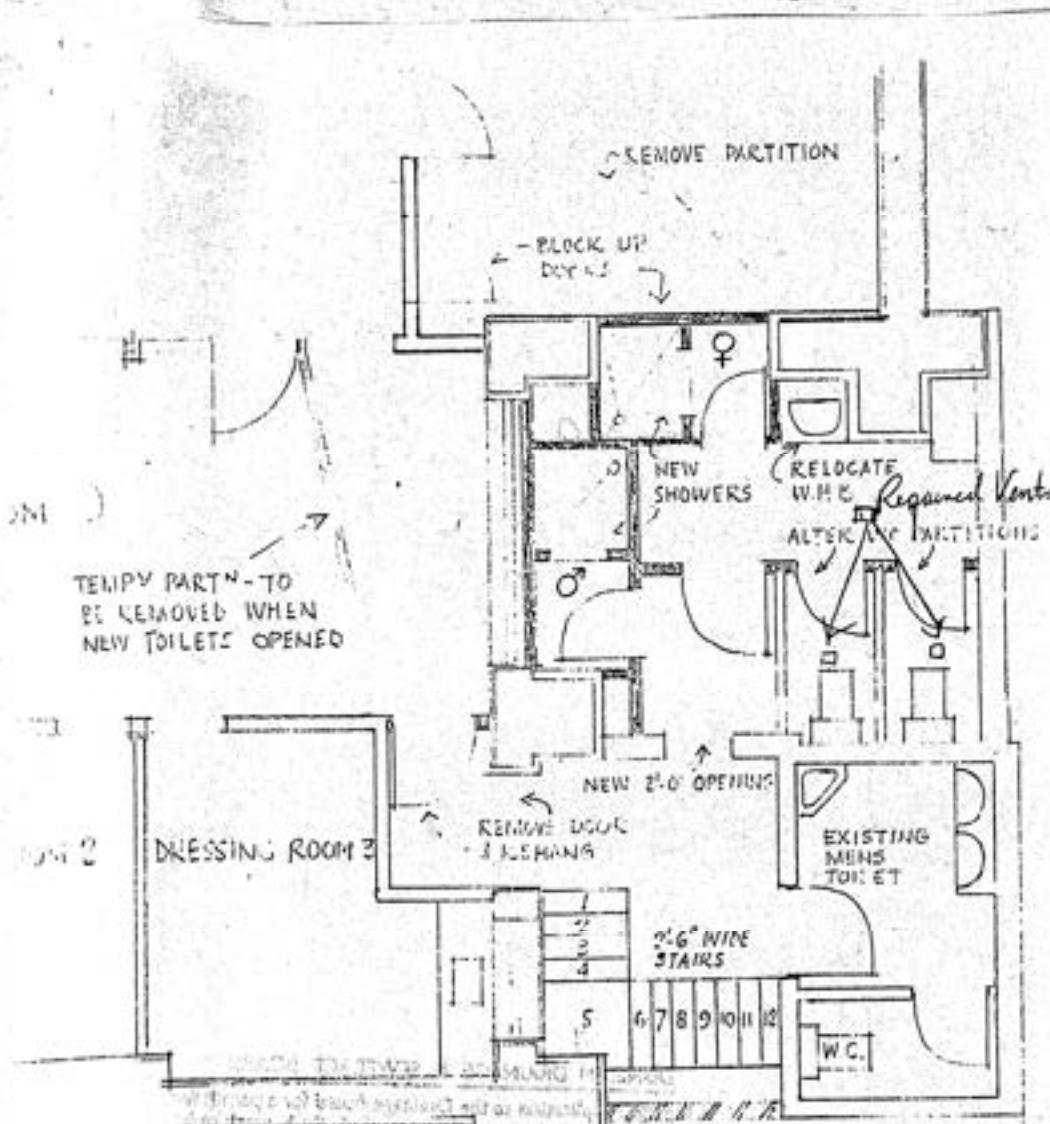
H.D. Particle Board (Custom floor 600 or similar) or construction Plywood with Butynol over
 block column - 406, R60300
 150x50 plates
 dynamited to walls @ 1.5m c/c (max) - fold to fall
 200 block masonry wall 4
 pier - 200 block masonry column - 406, R60300

ROOF PLAN

Note acoustic ceiling under - see architectural details.

Sinking (Custom floor or Ply) to be continuous over at least 2 spans.

5/78 79081/II S3A
 TRINITY CONVERSION
 STAGE II
 STRUCTURAL DETAILS
 BRICKELL, MOSS, RANKINE & HILL,
 O.S.D. BUILDING, GEORGE ST., 7454 7010
 P.O. BOX 5743



TEMPY PARTN - TO BE REMOVED WHEN NEW TOILETS OPENED

DRESSING ROOM 2

6'-6" WIDE STAIRS

EXISTING MENS TOILET

W.C.

LOWER FLOOR LEVEL

SCALE 1/4" = 1'-0"

BOUNDARY

CONVERSION OF
SECRET OFFICE
FOR FORTUNE TELLER

This permit is issued subject to the additional conditions shown on the back hereof.

UNRECORDED - DRAINAGE & SEWERAGE BOARD

A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be executed by a Regd. Plumber or Licensed Drainier, respectively and shall comply fully with the Board's By-laws and the D. & P. Regs., 1959.

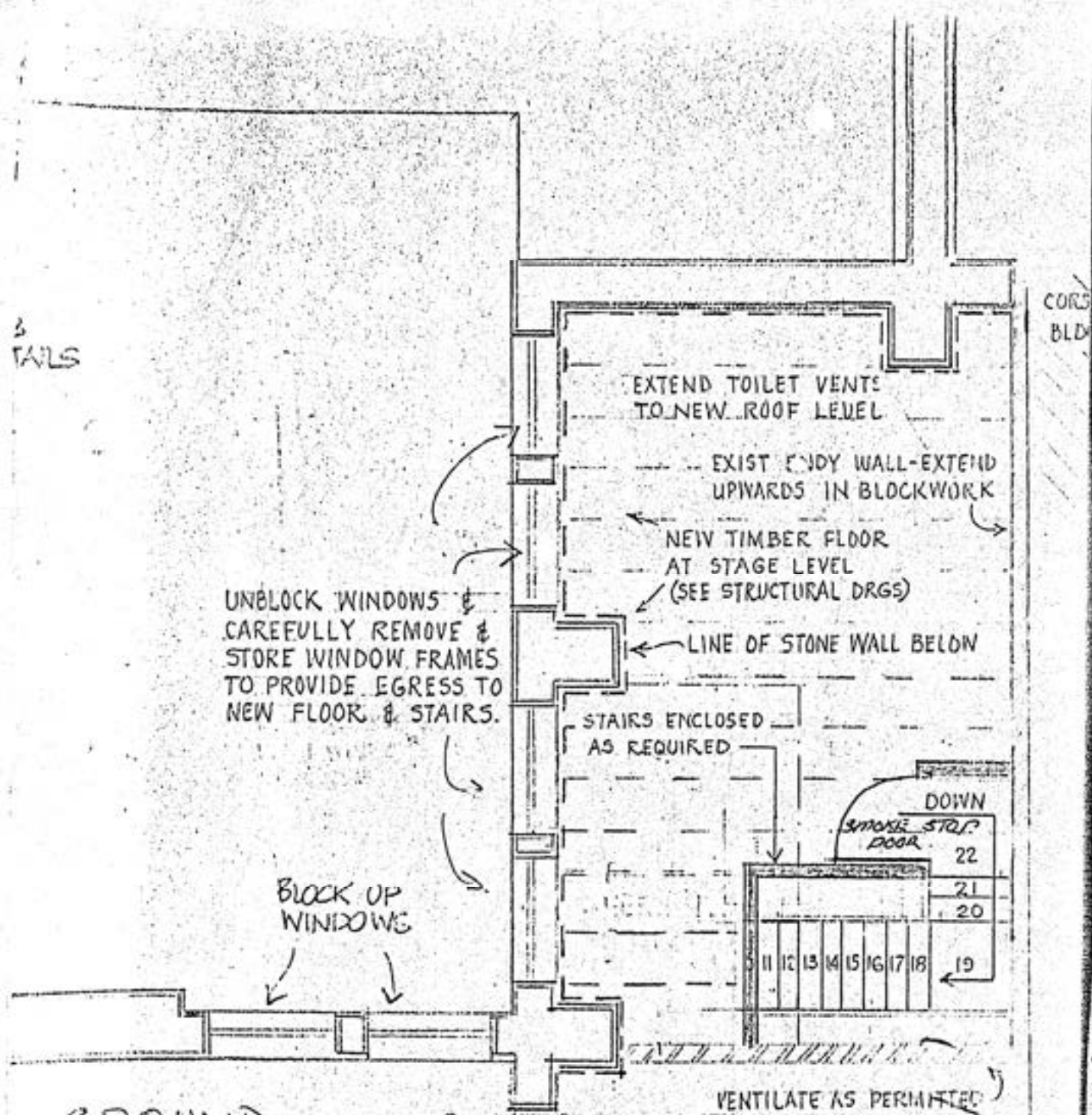
Stormwater to be discharged to

Foot sewage to be discharged to Ext. of existing
 foul drains Required Ventilation
 of INTERNAL W.C.S and ISOLATION
 COMPARTMENTS

PNS/PM 19-2-79

7454 20810

3
WLS



GROUND FLOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$

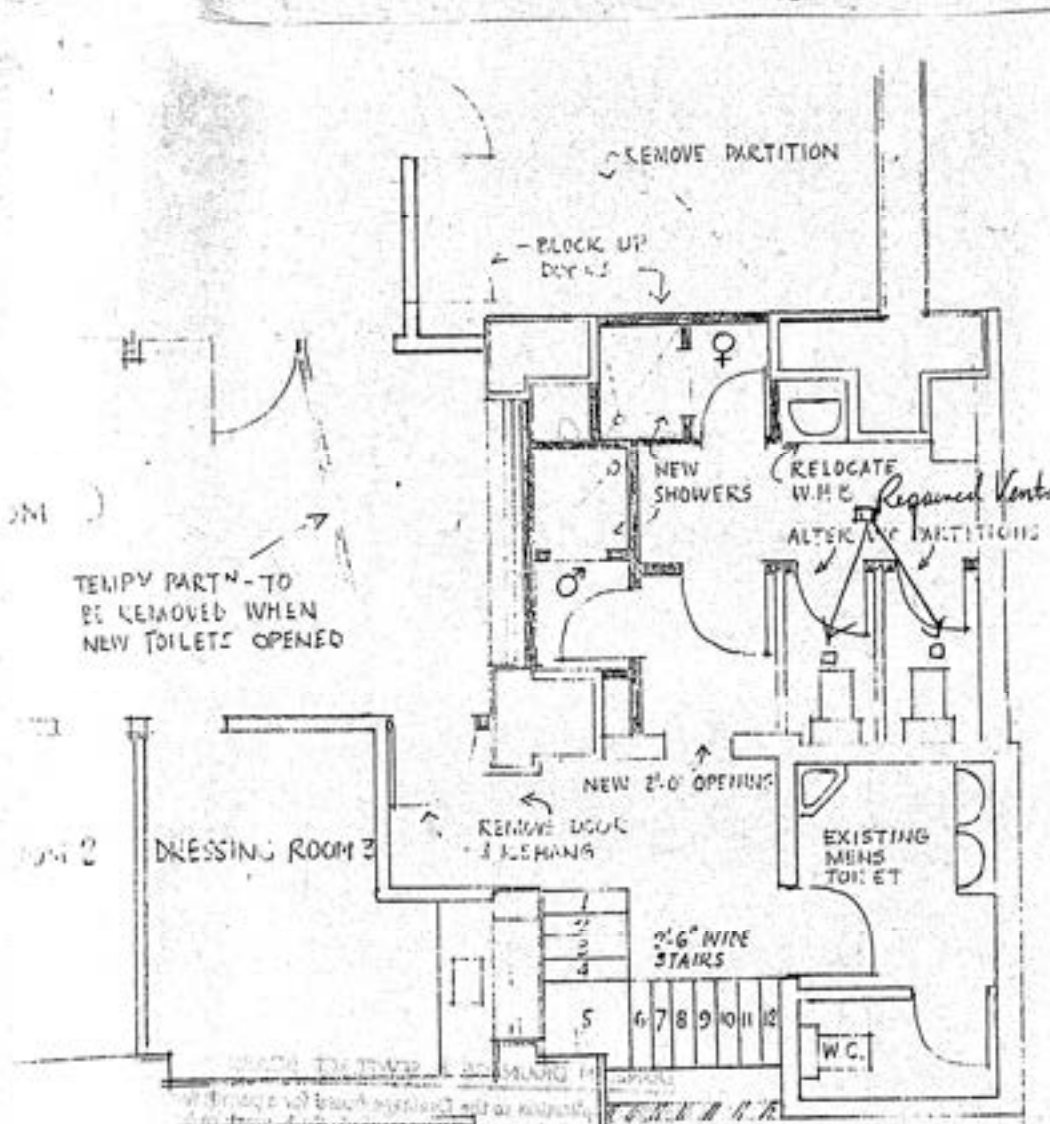
BOUNDARY

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

'C' STAIR AMENDED 20.12.78

Whitman

7454 30910



LOWER FLOOR LEVEL SCALE 1/4" = 1'-0" BOUNDARY

CONVERSION OF
SECRET OFFICE
FOR FORTUNE TELLER

This permit is issued subject to the additional conditions shown on the back hereof.

7454 2010

DRAINAGE & SEWERAGE BOARD

A separate application to the Drainage Board for a permit for plumbing and/or drainage work is required. Such work to be executed by a Regd. Plumber or Licensed Drainier, respectively and shall comply fully with the Board's By-laws and the D. & P. Regs., 1959.

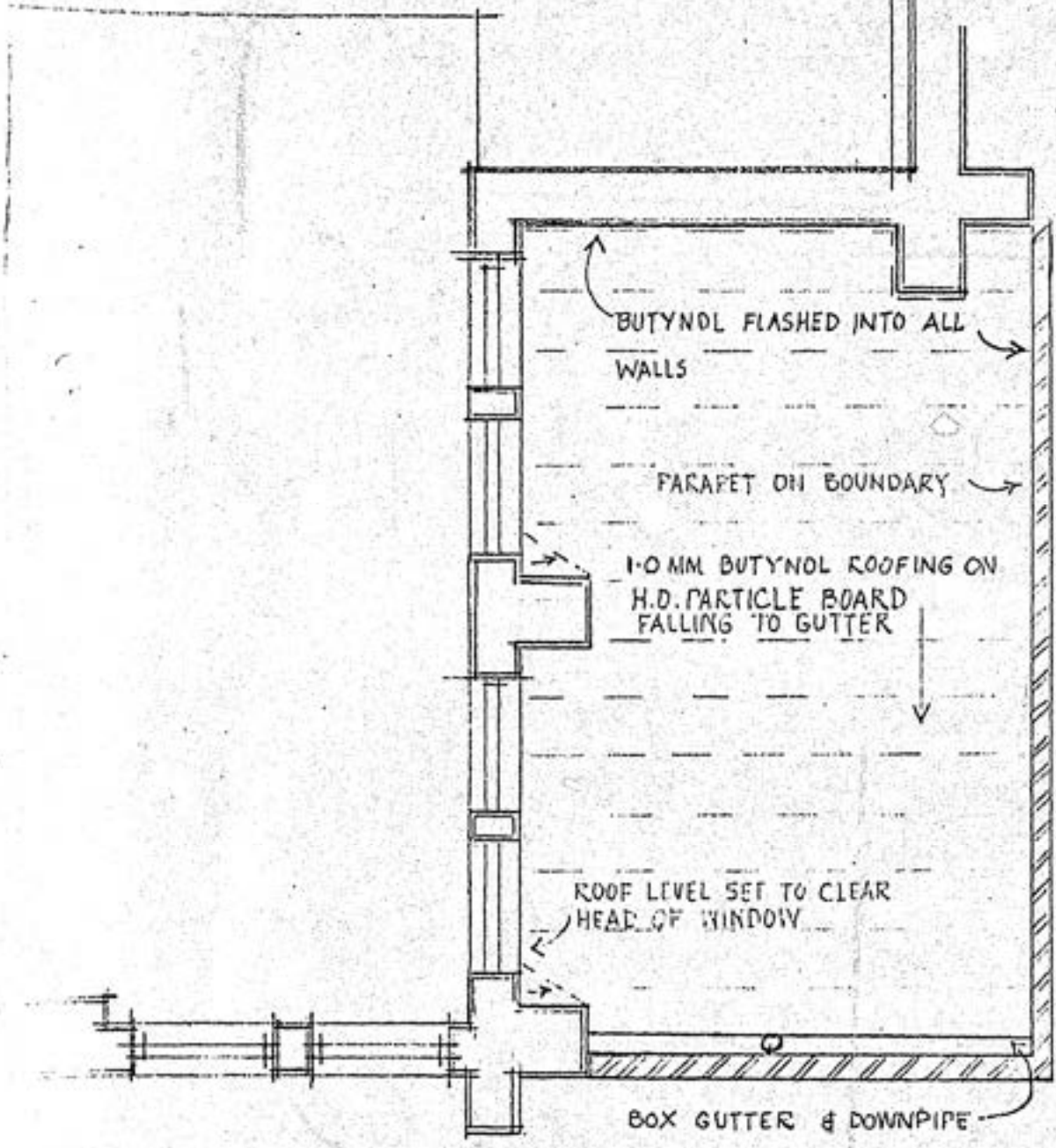
Stormwater to be discharged to

Foot sewage to be discharged to Ext. of existing
 foul drains Required Ventilation
 of Internal W.C.s and Isolation
 Compartments

PMS/19-2-79

TOTAL SEATS - 236

↑ AISLE ↑ APPROX ↑



11'-0" ROOF LEVEL

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

ADDED 8-5-78

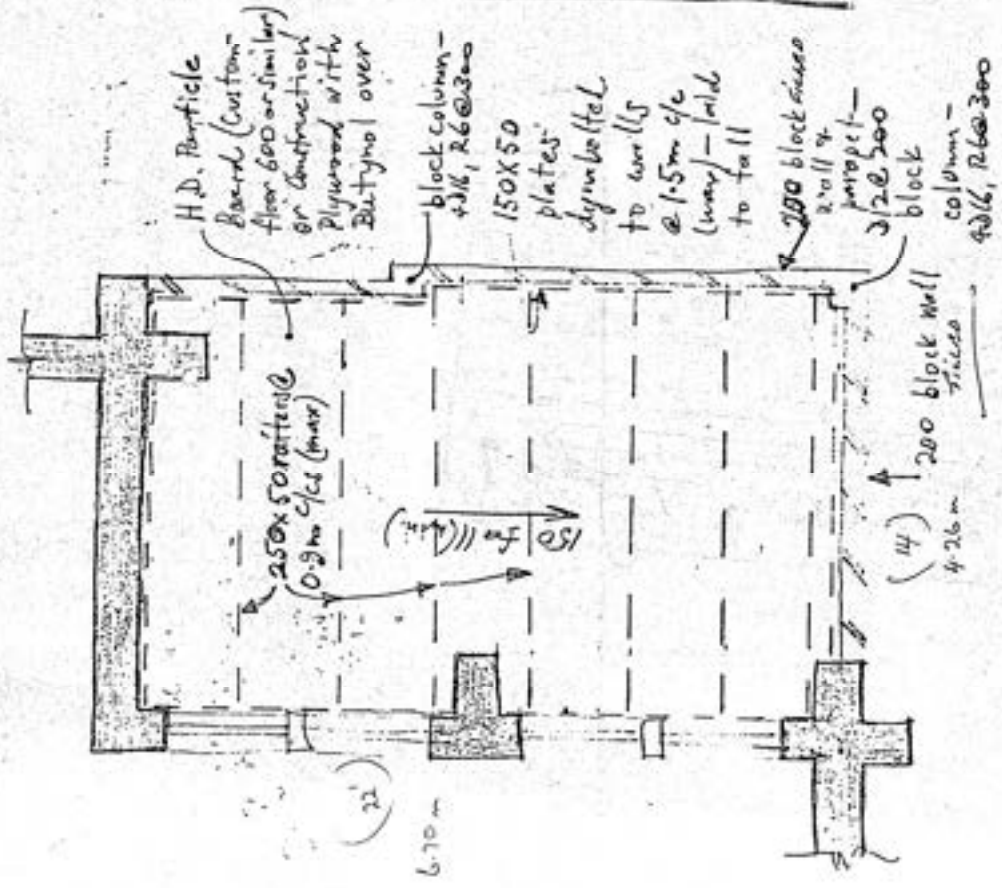
7/11/78

7454 4010

CITY PLANNING DEPARTMENT

Pursuant to the provisions of the District Scheme, these plans and specifications are approved, provided that no change shall be made to the details shown herein, and contained in the specification attached hereto, and subject to:

03
 Registered Building Surveyor
 Signed for City Planning Dept. 13/3/59

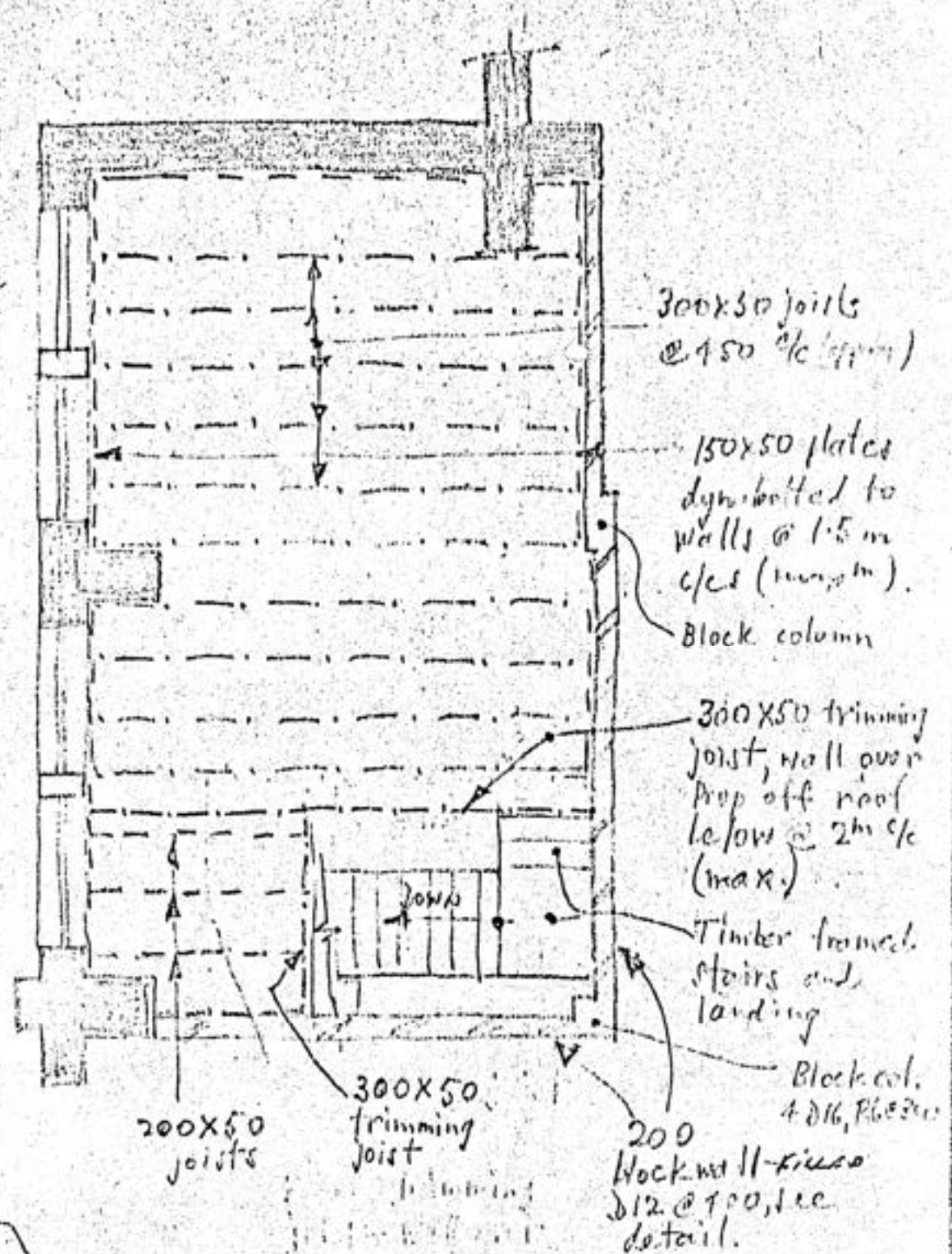


ROOF PLAN

Note acoustic ceiling under - see architectural details.

Sinking (Custom floor or Ply) to be continuous over at least 2 spans.

5/78 79081/II S3A
 TRINITY CONVERSION
 STAGE II
 STRUCTURAL DETAILS
 BRICKELL, MOSS, RANKINE & HILL,
 O.S.D. BUILDING, GEORGE ST., 7454 7010
 P.O. BOX 5743



300x50 joists
@ 450 c/c (max)

150x50 plates
dynabolted to
walls @ 1.5 m
c/c (max).
Block column

300x50 trimming
joist, wall over
prop off roof
below @ 2m c/c
(max)

Timber framed
stairs and
landing

Block col.
4 D16, R6@200

200x50
joists

300x50
trimming
joist

200
Hock wall fixer
D12 @ 100, see
detail.

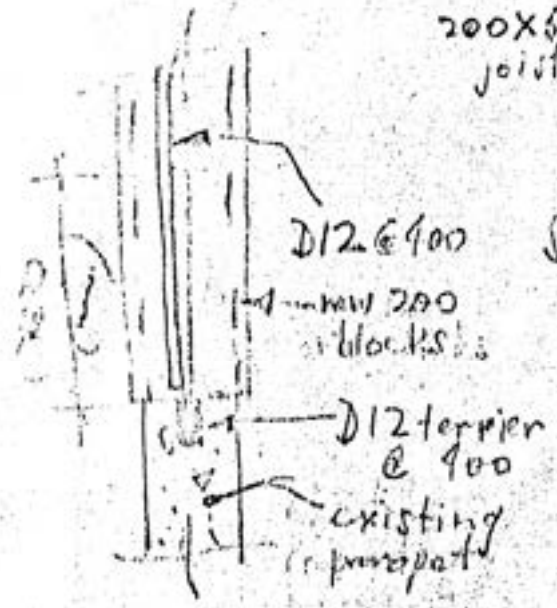
STAGE LEVEL PLAN

Stairs and landings
by builder.

1/79 790 1/16/20

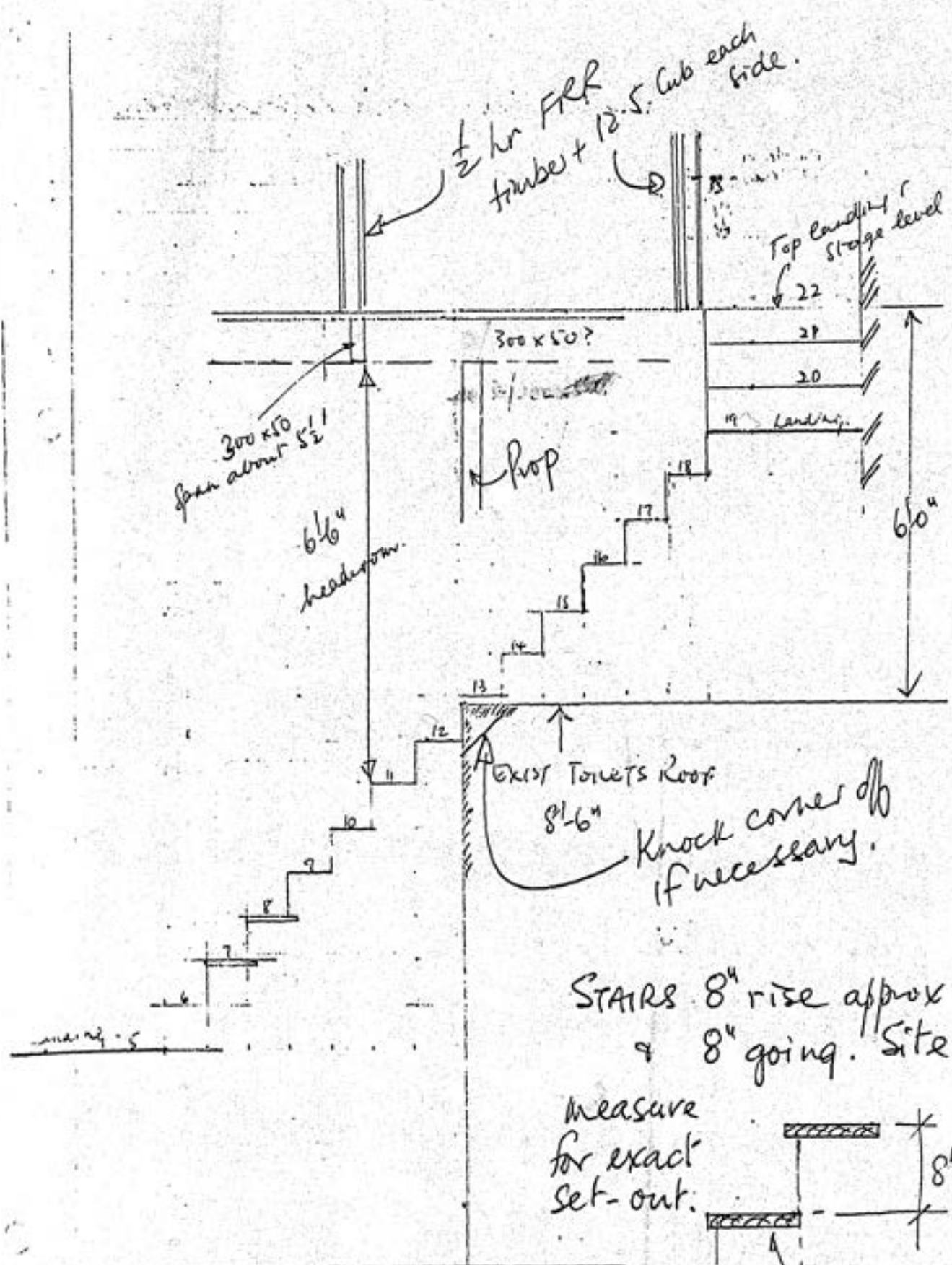
TRINITY CONVERSION
STAGE II

STRUCTURAL
BRICKELL MOSS, RANKIN & HILL
O.S.B. BUILDING, GEORGETOWN
P.O. BOX 5243,
DUNEDIN.



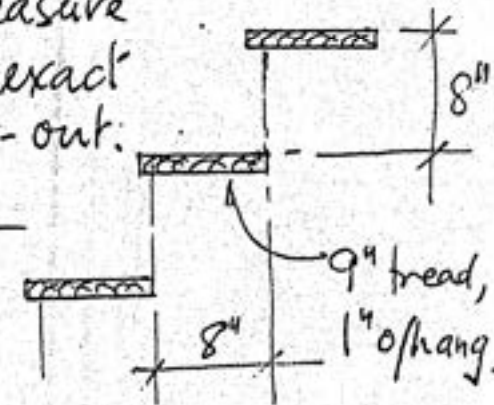
DETAIL TO
WALLS PARAPET

7454 5010



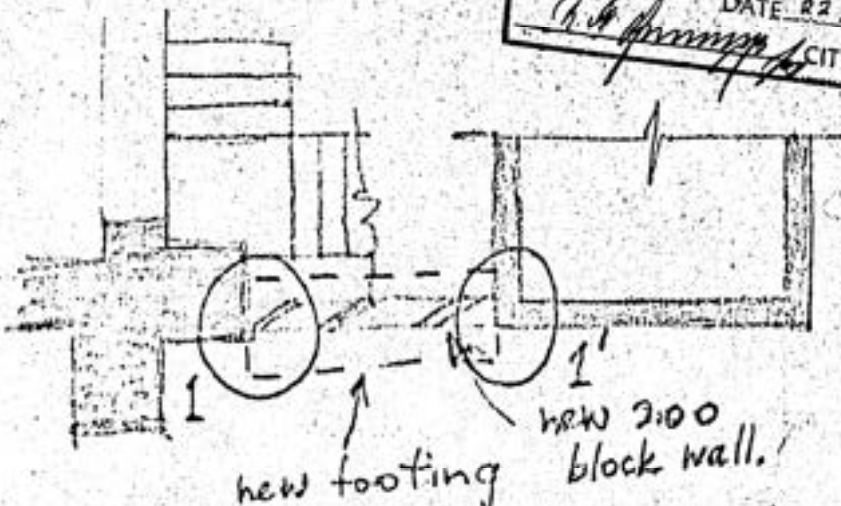
STAIRS 8" rise approx
 & 8" going. Site

measure
 for exact
 set-out.



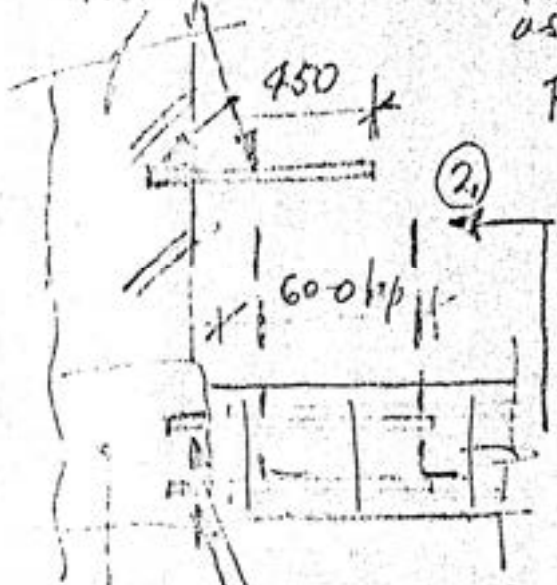
7454 6010

DUNEDIN CITY CORPORATION
 COPY OF APPROVED PLAN
 OR SPECIFICATION
 TO BE RETAINED ON WORKS
 AND PRODUCED ON REQUEST
 OF BUILDING INSPECTOR.
 DATE 22.2.71
 R. A. [Signature] CITY ENGINEER

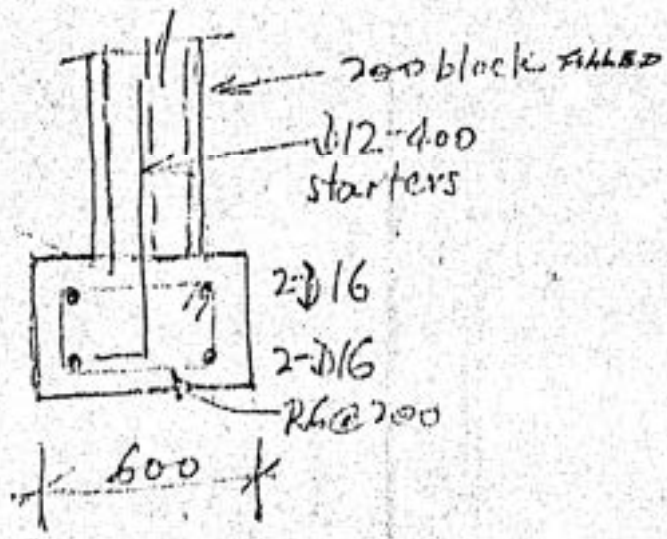


new footing
 300X600 -
 fix to existing
 as detailed.

Ø12 terraces to
 existing @600



PART PLAN - LOWER GROUND



200 block FILL
 Ø12-400
 starters

2-Ø16
 2-Ø16
 R# @ 200

existing footing
 2 No. R#16
 terraces top and
 bottom drilled into
 existing - confirm
 on site.

①

① SIMILAR.

②

5/78 7.009/1001

TRINITY CONVERSION
 STAGE II
 STRUCTURAL

BRICKELL, MOSS, RANKINE & HILL,
 O.S.B. BUILDING, GEORGE ST.,
 P.O. BOX 5243,
 DUNEDIN, PHONE 82

10/10 7454

(4196) Ser for Tom Donaldson if required

K/256
23-3-79
K.M.
S. PLANS

ACE

EXIT

ICE

DOWN FROM
LOUNGE/BAR
& AUDITORIUM

URINAL

MEN

toilet
vent
12x12 x(2)

NEW TOILETS

vented
lobby
30" D

LOBBY

2/W H B's

2/W H B's

WC

ALLOW FOR
WHEELCHAIR ACCESS

WOMEN

WC

WC

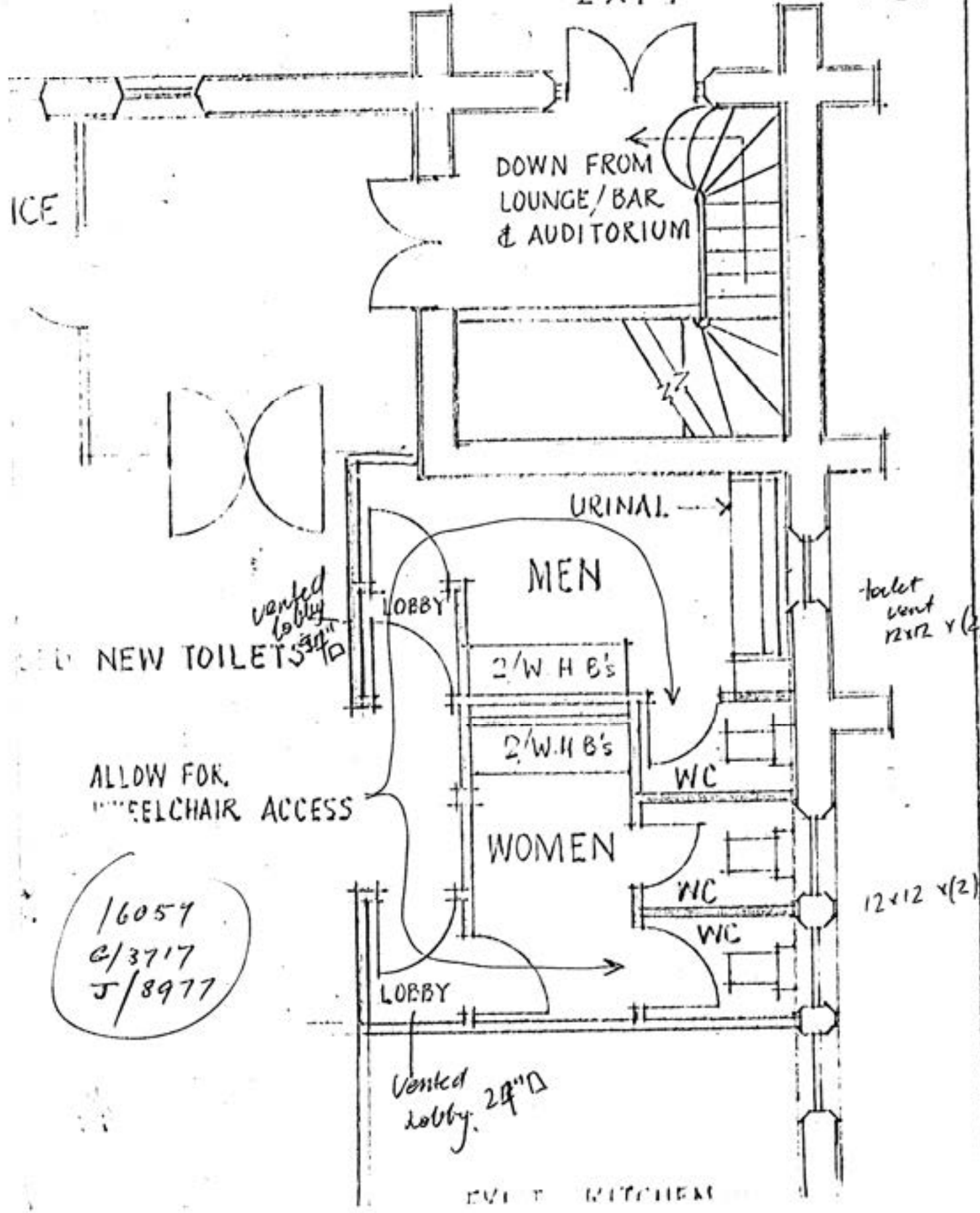
12x12 x(2)

16057
G/3717
J/8977

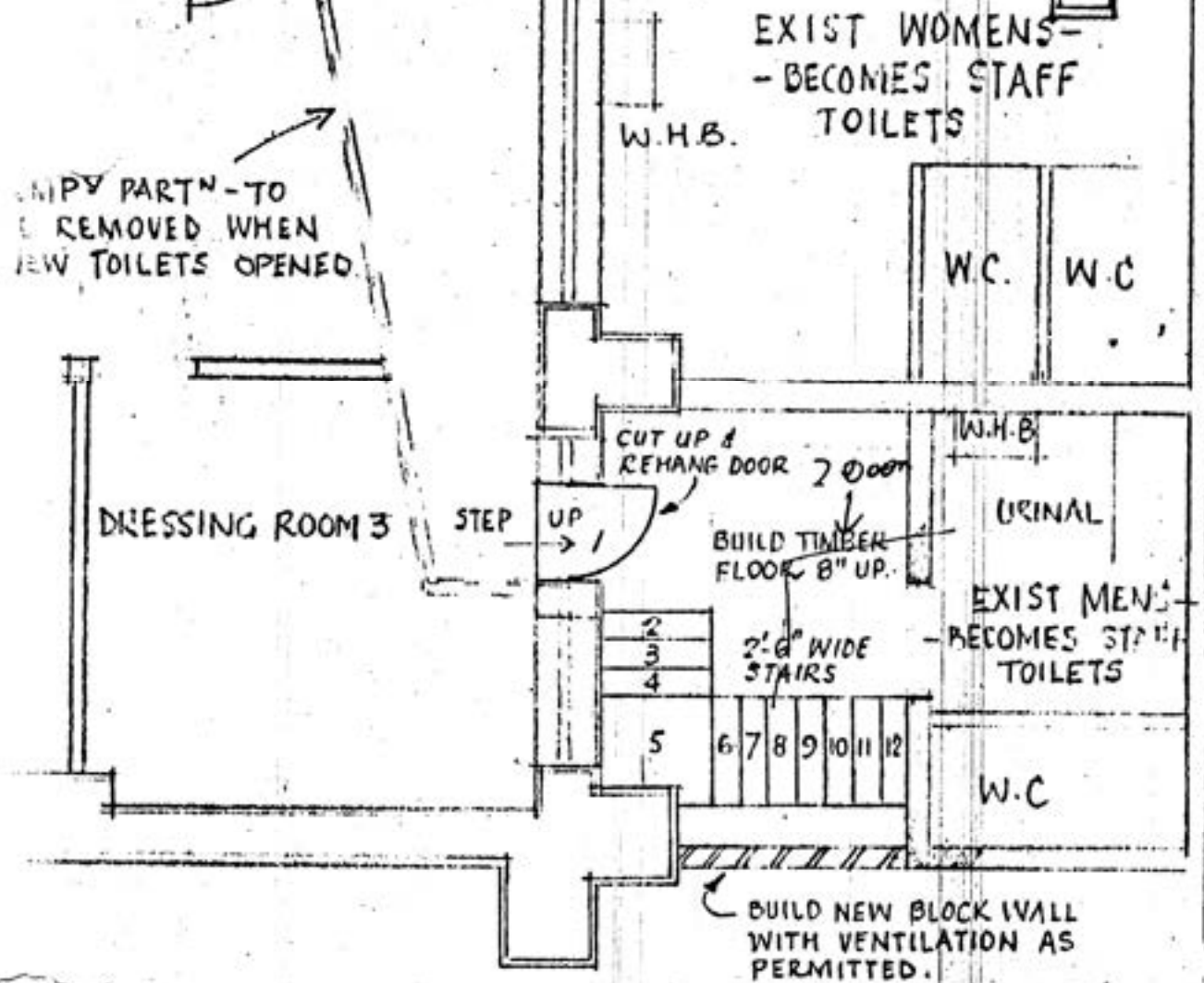
LOBBY

vented
lobby
24" D

EXIT KITCHEN



K/256



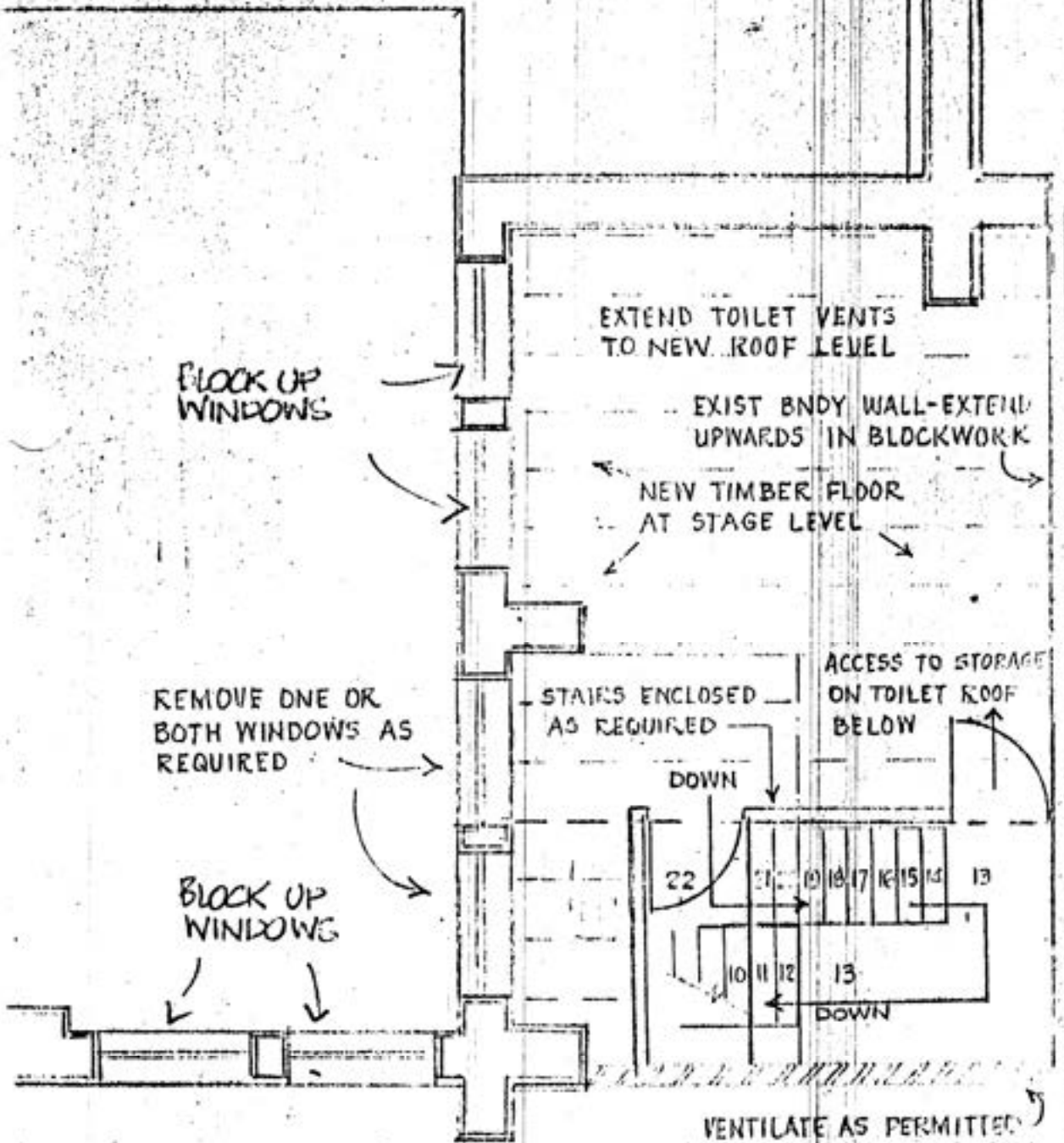
FLOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$

BOUNDARY

CONVERSION OF TRINITY
METHODIST CHURCH
TO FORTUNE THEATRE

Handwritten signature

K/256



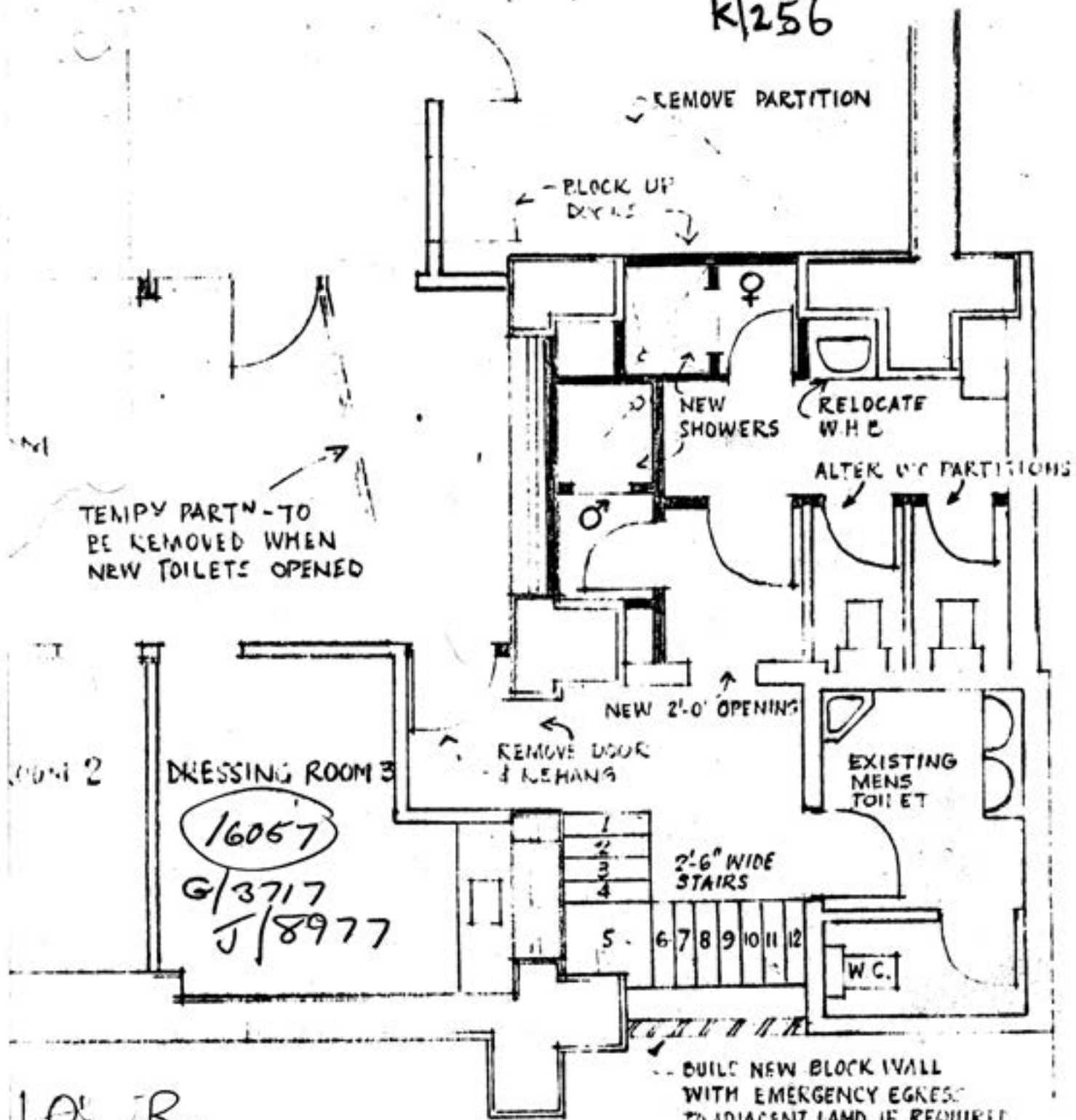
DOOR LEVEL SCALE $\frac{1}{4}'' = 1'-0''$

BOUNDARY

VERSION OF TRINITY
METHODIST CHURCH
FORTUNE THEATRE

[Handwritten signature]

K/256



TEMPY PARTN - TO BE REMOVED WHEN NEW TOILETS OPENED

REMOVE PARTITION

BLOCK UP DRYAS

NEW SHOWERS

RELOCATE W.H.C

ALTER W.C. PARTITIONS

NEW 2'-0" OPENING

REMOVE DOOR & REHANG

EXISTING MENS TOILET

DRESSING ROOM 3

16057

G/3717

J/8977

2'-6" WIDE STAIRS

W.C.

BUILD NEW BLOCK WALL WITH EMERGENCY EGRESS TO ADJACENT LAND IF REQUIRED

LOWER

FLOOR LEVEL SCALE 1/4" = 1'-0"

BOUNDARY

16057

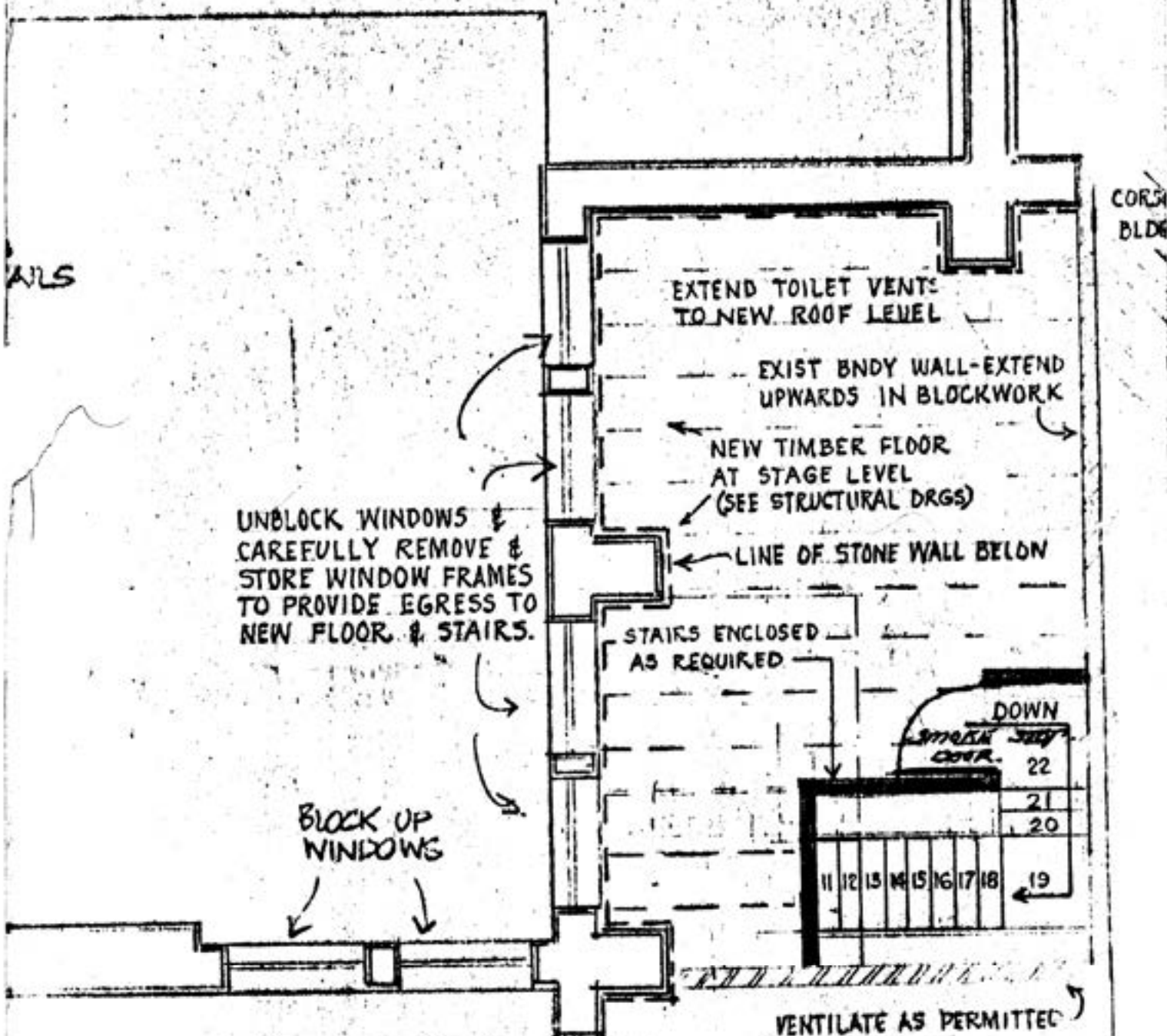
G/3717

J/8977

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

F.M.

K/256



UNBLOCK WINDOWS &
CAREFULLY REMOVE &
STORE WINDOW FRAMES
TO PROVIDE EGRESS TO
NEW FLOOR & STAIRS.

BLOCK UP
WINDOWS

EXTEND TOILET VENTS
TO NEW ROOF LEVEL

EXIST BNDY WALL-EXTEND
UPWARDS IN BLOCKWORK

NEW TIMBER FLOOR
AT STAGE LEVEL
(SEE STRUCTURAL DRGS)

LINE OF STONE WALL BELOW

STAIRS ENCLOSED
AS REQUIRED

DOWN

STAIRS CORR.
22

21

20

11 12 13 14 15 16 17 18

19

VENTILATE AS PERMITTED

UPPER (STAGE)

FLOOR LEVEL

SCALE 1/4" = 1'-0"

BOUNDARY

CONVERSION OF TRINITY
METHODIST CHURCH
FOR FORTUNE THEATRE

'C' STAIR AMENDED 20.12.78

Handwritten signature

CODE COMPLIANCE CERTIFICATE



Section 43(3), Building Act 1991

ISSUED BY:

DUNEDIN CITY COUNCIL

50 THE OCTAGON, BOX 5045, DUNEDIN, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	474-3525	CCC No:	ABA 961951	Reference No:	5026819
---------------	----------	---------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents).

PROJECT	PROJECT LOCATION
All <input checked="" type="checkbox"/> Stage Noof an intendedstages New Building <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Intended Use(s) in detail: DGE REPAIR Intended Life: Indefinite, not less than 50 years <input type="checkbox"/> Specified as years Demolition <input type="checkbox"/>	Name: FORTUNE THEATRE TRUST Street Address: 419 MORAY PLACE 231 Stuart Street Mailing Address: G/O CITIWORKS LIMITED, P O BOX 6363, DUNEDIN <hr/> LEGAL DESCRIPTION Property Number: 2026819 Valuation Roll No: 27160 19500 Legal Description: PT SEC 16

This is:

- A final code compliance issued in respect of all of the building work under the above building consent.
- An interim code compliance certificate in respect of part only, as specified in the attached particulars, of the building work under the above building consent.
- This certificate is issued subject to the conditions specified in the attached page(s) headed "Conditions of Code Compliance Certificate No:....." (being this certificate).

The Council charges payable on the uplifting of this code compliance, in accordance with the attached details are: \$
Receipt No:

Signed for and on behalf of the Council:

Name: *[Signature]*

Position: AUTHORIZED OFFICER

Date: 18/06/1996

BUILDING CONSENT

Section 35, Building Act 1991

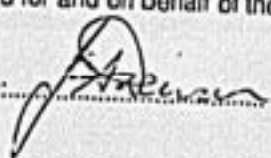
ISSUED BY:



50 THE OCTAGON, BOX 5045, DUNEDIN, NEW ZEALAND. TELEPHONE: (03) 477-4000. FACSIMILE: (03) 474-3594

Telephone No:	474-3525	Consent No:	ABA 961951	Reference No:	5026819
---------------	----------	-------------	------------	---------------	---------

(Insert a cross in each applicable box. Attach relevant documents)

APPLICANT	PROJECT
Name: FORTUNE THEATRE TRUST	All <input checked="" type="checkbox"/>
Mailing Address: C/O CITIWORKS LIMITED, P O BOX 6363, DUNEDIN	Stage No of an intendedstages
PROJECT LOCATION	New Building <input type="checkbox"/>
Street Address: 113 MORAY PLACE	Alteration <input checked="" type="checkbox"/>
LEGAL DESCRIPTION	Intended Use(s) in detail: DGE REPAIR
Property Number: 5026819	Intended Life:
Valuation Roll No: 27160 19500	Indefinite, not less than 50 years <input type="checkbox"/>
Legal Description: PT SEC 16	Specified as years <input type="checkbox"/>
COUNCIL CHARGES	Demolition <input type="checkbox"/>
The balance of Council's charges payable on uplifting of this building consent, in accordance with the tax invoice are:	Estimated Value: \$1000
Total: \$	Signed for and on behalf of the Council:
ALL FEES ARE GST INCLUSIVE	Name: 
	Position: AUTHORISED OFFICER
	Date: 06/06/1996

This building consent is a consent under the Building Act 1991 to undertake building work in accordance with the attached plans and specifications so as to comply with the provisions of the building code. It does not affect any duty or responsibility under any other Act nor permit any breach of any other Act.

This building consent is issued subject to the conditions specified in the attached pages headed "Conditions of Building Consent No....."



CODE COMPLIANCE CERTIFICATE

Section 95, Building Act 2004

CCC No:	ABA53554	Telephone No:	03 477 4000
APPLICANT		PROJECT	
DCC City Property PO Box 5045 Moray Place Dunedin 9031		Work Type: Additions & Alterations	
PROJECT LOCATION		Intended Use/Description of Work: Install Emergency Lighting & Avoidance Of Panic System	
231 Stuart Street Dunedin			
LEGAL DESCRIPTION		Intended Life: Indefinite, not less than 50 years.	
Legal Description: PT SEC 16 BLK XIV SO 14194 TN OF DUNEDIN Valuation Roll No: 27160-19500 Building Name: N/A			

The building consent authority named above is satisfied, on reasonable grounds, that:

- (a) The building work complies with the Building Consent, and
- (b) The specified systems in the building are capable of performing to the performance standards set out in the Building Consent.

Compliance Schedule attached

Signed for and on behalf of the Council:

Name: *[Signature]*

Position: AUTHORISED OFFICER

Date: 11 September 2007

12 April 2012

DCC City Property
PO Box 5045
Moray Place
Dunedin 9058

Dear building owner

**Earthquake Prone Buildings Register – Heritage Buildings
231 Stuart Street**

Thank you for providing your Initial Evaluation Procedure to Council. In accordance with this assessment, your building has now been classified on our Earthquake Prone Buildings Register.

Your building has been recorded as **not earthquake-prone**. This means that you have provided satisfactory evidence to the Council, using the NZSEE's Initial Evaluation Procedure, to show that the building is not classified as earthquake-prone under the policy. This status has also been recorded on the building file and Land Information Memorandum.

At this stage, no further action is required on your part. Please be aware that should you make alterations that impact the building's structural performance or if an event causes change to this assessment, you will need to file this new information with the DCC. Should changes to minimum legal requirements or other statutory provisions (such as timeframes) occur that have an impact on the earthquake-prone status of your building, you will be notified of these.

Please be aware that although your building has been recorded as not earthquake-prone, this means the building is assessed as exceeding 33% of the standard of the building code standard for a new building on this site. This does not necessarily mean your building would not sustain any damage in an earthquake. We recommend all owners continue to undertake ongoing maintenance and seismic upgrade work to ensure the highest possible performance of their building in an earthquake.

Please do not hesitate to contact me if you have any questions or concerns.

Yours sincerely

Glen Hazelton
Policy Planner (Heritage)

03 September 2015

Fortune Theatre Trust
PO Box 5351
Moray Place
Dunedin 9058

Dear Sir/Madam

AMENDED COMPLIANCE SCHEDULE – BUILDING ACT 2004
REF: WOF-300237

DESCRIPTION: FORTUNE THEATRE
LOCATION: 231 Stuart Street Dunedin

Please find enclosed a copy of your updated compliance schedule.

Your compliance schedule has been amended as a result of receiving a Form 11 request in accordance with section 106 of the Building Act 2004.

Please check the enclosed compliance schedule carefully as it may contain requirements that you and your Independently Qualified Persons (IQP's) are unaware of. This compliance schedule will replace the one you are currently using.

If you consider the compliance schedule to be incorrect in any way please let us know, as you do have the ability to make a submission on the amendments made. The DCC will give due consideration to any submission received and make any adjustments deemed necessary.

We recommend you as soon as possible, notify all the IQP's that carry out your building warrant of fitness inspections and supply them with a copy of the compliance schedule.

If you would like to receive the compliance schedule as an electronic file please contact us and we can email you a link.

If you have any queries please do not hesitate to contact me on 03-474-3806.

Yours faithfully



Cory Barnes
Building Compliance Officer
bwof.contact@dcc.govt.nz



50 The Octagon, PO Box 5045, Moray Place
Dunedin 9058, New Zealand
Telephone: 03 477 4000, Fax: 03 474 3523
Email: bwof.contact@dcc.govt.nz
www.dunedin.govt.nz

COMPLIANCE SCHEDULE Section 103, Building Act 2004

DCCBCA-F4-10AA-V2.0

Amendment Date: 3 September 2015

Issue Date: 8 March 1994

The Building:

Compliance Schedule Number:

WOF-300237

Street Address of Building:

231 Stuart Street Dunedin

Trading Name:

Fortune Theatre

Building Name:

Fortune Theatre

Classified Use(s):

Communal non-residential – Assembly
Service - Theatre

Crowd Activities:

CL

Legal Description of Land where Building is located:

PT SEC 16 BLK XIV SO 14194 TN OF
DUNEDIN

The Owner/Licencee:

Name:

Fortune Theatre Trust

Business Phone: 03 477 8323

Address:

PO Box 5351, Moray Place,
Dunedin 9058

The Maximum Number of Occupants that can safely use this building is: 250

Specified Systems Summary:

SS 2 Automatic or Manual Emergency Warning System

SS 4 Emergency Lighting Systems

SS 14.2 Signs for Systems: SS 2

SS 15.2 Final Exits

SS 15.4 Signs for Evacuation

Signature:

On Behalf of: Dunedin City Council

Position: Building Compliance Officer

Name: Cory Barnes

bwof.contact@dcc.govt.nz

Date Printed: 3 September 2015

DUNEDIN CITY COUNCIL BUILDING SERVICES
DCCBCA-F4-10F-V1.0

COMPLIANCE SCHEDULE NUMBER: WOF-300237

Date: 03-Sep-2015

DESCRIPTION: FORTUNE THEATRE
LOCATION: 231 Stuart Street Dunedin

REPORTING, RECORDING and MAINTENANCE PROCEDURES:

The information herein has been supplied by the Applicant:

Specified System: SS2 - Automatic or Manual Emergency Warning System for Fire or Other Dangers		
Equipment Register		
Make: Ampac		
Model: Firefinder SP8	Type: 5	
Response:	AUTOMATIC	
Supplementary devices:	Heat Detectors	
Alarm interfacing	Nil	
Performance/Installation standard:	NZS 4512:2003	
Inspections and maintenance standard:	NZS 4512:2003	
As a minimum these inspections and maintenance procedures will be carried out:	Planned preventative maintenance and responsive maintenance will be carried out in accordance with the nominated inspection and maintenance standard or document to ensure the system will operate as required. It is the IQP's responsibility to ensure that all inspections nominated in the relevant standard have been carried out.	
Inspection frequency and responsibility:	Monthly	IQP
	Annually	IQP
Reporting:	The owner must keep records of all inspections, maintenance and repairs undertaken in the previous 24 months. The records must be kept with the compliance schedule and as a minimum, include: <ul style="list-style-type: none"> • Details of any inspection test or preventative maintenance carried out. Include dates, work undertaken, faults found, remedies applied, and the person who performed the work • A Form 12A provided by an IQP annually 	

DUNEDIN CITY COUNCIL BUILDING SERVICES

DCCBCA-F4-10F-V1.0

Specified System: SS4 - Emergency Lighting Systems			
Equipment Register			
No.	Make:	Model:	Location:
1	Bardic	NM105	Throughout all egress paths, common areas, change of levels leading to final exits (x 24)
Performance/Installation standard:		NZS 6742:1971	
Inspections and maintenance standard:		NZS 6742:1971	
As a minimum these inspections and maintenance procedures will be carried out:		Planned preventative maintenance and responsive maintenance will be carried out in accordance with the nominated inspection and maintenance standard or document to ensure the system will operate as required. It is the IQP's responsibility to ensure that all inspections nominated in the relevant standard have been carried out.	
Inspection frequency and responsibility:		Monthly	IQP
		Annually	IQP
Reporting:		<p>The owner must keep records of all inspections, maintenance and repairs undertaken in the previous 24 months. The records must be kept with the compliance schedule and as a minimum, include:</p> <ul style="list-style-type: none"> • Details of any inspection test or preventative maintenance carried out. Include dates, work undertaken, faults found, remedies applied, and the person who performed the work • A Form 12A provided by an IQP annually • Register and training manual for owner inspections. The IQP is responsible for ensuring proper training is given and only people who have received training can perform owner inspections 	

DUNEDIN CITY COUNCIL BUILDING SERVICES

DCCBCA-F4-10F-V1.0

Specified System: SS14.2 - Signs for Systems			
Equipment Register			
System for which the sign is for:		Type:	Location:
1	SS2	Manual Call Point Signs "How to operate"	On or adjacent to each call point
Performance/Installation standard:		The installation and performance standard are dependent on the system that the sign is for.	
Inspections and maintenance standard:		Compliance Schedule Handbook and NZBC F8/AS1	
As a minimum these inspections and maintenance procedures will be carried out:		Planned preventative maintenance and responsive maintenance will be carried out in accordance with the nominated inspection and maintenance standard or document to ensure the system will operate as required. It is the IQP's responsibility to ensure that all inspections nominated in the relevant standard have been carried out.	
Inspection frequency and responsibility:		Monthly	Owner/Agent
		Annually	IQP
Inspections and maintenance monthly inspections:		<ul style="list-style-type: none"> • Of correct type • In correct location • Legible • Clean • Check securely fixed to wall • Check for damage 	
Monthly maintenance:			
Reporting:		<p>The owner must keep records of all inspections, maintenance and repairs undertaken in the previous 24 months. The records must be kept with the compliance schedule and as a minimum, include:</p> <ul style="list-style-type: none"> • Details of any inspection, test or preventative maintenance carried out. Include dates, work undertaken, faults found, remedies applied, and the person who performed the work • A Form 12A provided by an IQP annually • Register and training manual for owner inspections. The IQP is responsible for ensuring proper training is given and only people who have received training are to perform owner inspections 	

DUNEDIN CITY COUNCIL BUILDING SERVICES

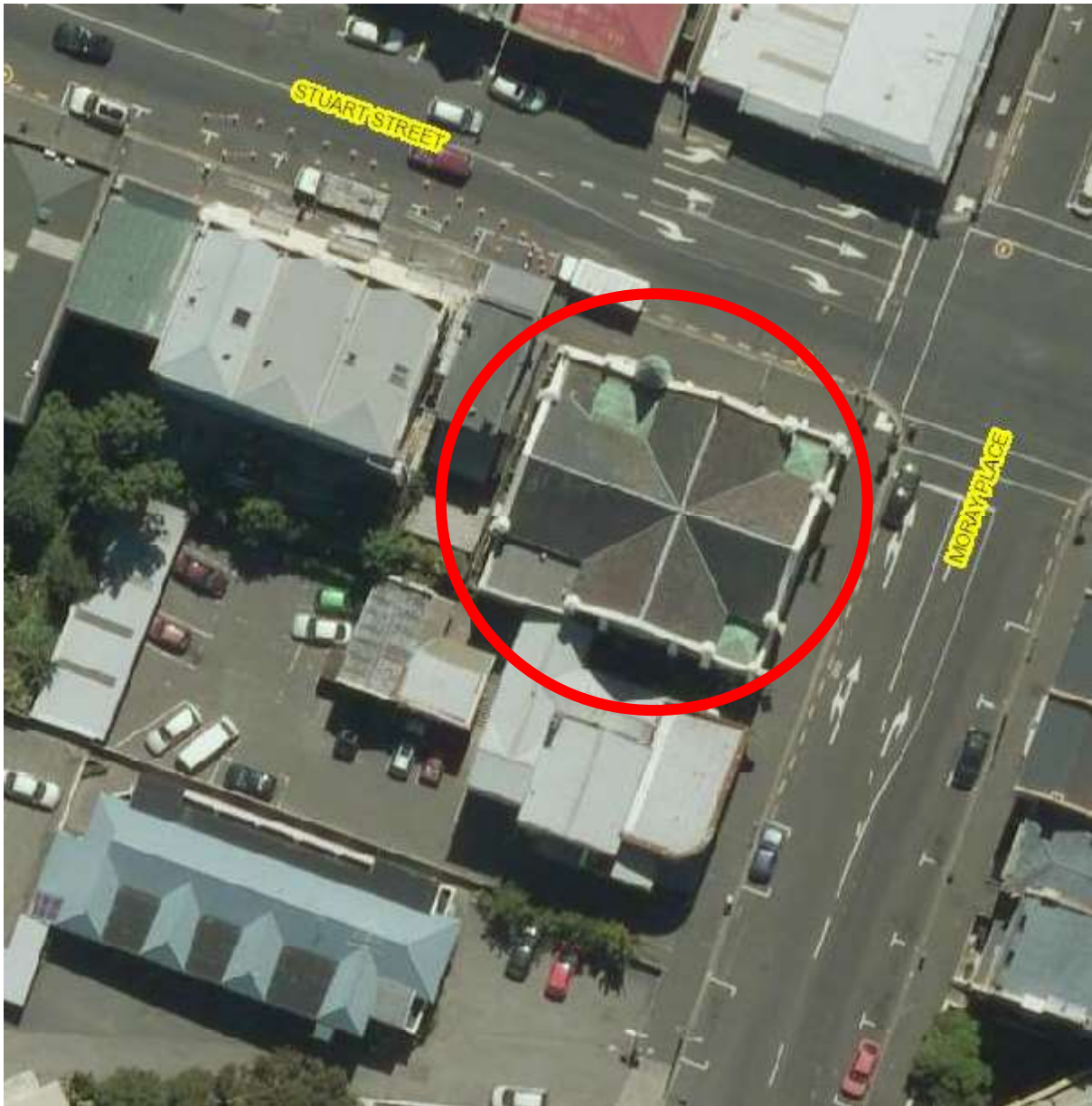
DCCBCA-F4-10F-V1.0

Specified System: SS15.2 - Final Exits			
Door/Exit Register			
	Type:	Hardware:	Location:
1	Timber Door	Electronic Lock Kaba	Lower exit door to Moray Place
2	Timber & Glazes Door	Wilton lock	Main entry/exit door to Stuart Street
3	Timber Door	Crash Bar	Side exit to Stuart Street
Performance/Installation standard:		NZBC C2/AS1	
Inspection and maintenance standard:		Compliance Schedule Handbook	
As a minimum these inspections and maintenance procedures will be carried out:		Planned preventative maintenance and responsive maintenance will be carried out in accordance with the nominated inspection and maintenance standard or document to ensure the system will operate as required. It is the IQP's responsibility to ensure that all inspections nominated in the relevant standard have been carried out.	
Buildings requiring daily maintenance:		Purpose Group CL <i>Daily inspections required as stated below:</i>	
Inspection frequency and responsibility:		Daily (doors only) As per normal opening procedures (On days when the facility is open only)	Owner
		Monthly (Entire means of escape)	Owner/Agent
		Annually	IQP
Daily/Monthly inspections		<p>The entire means of escape is to be checked to ensure that there are no impediments that will prevent, slow, restrict or trip or harm people escaping to a safe place in the event of an emergency.</p> <p>Doors and gates should be inspected to ensure they can be opened and that they are not:</p> <ul style="list-style-type: none"> • Locked, barred or blocked • Operation of manual release provisions 	
Annual inspections:		As monthly	
Reporting:		<p>The owner must keep records of all inspections, maintenance and repairs undertaken in the previous 24 months. The records must be kept with the compliance schedule and as a minimum, include:</p> <ul style="list-style-type: none"> • Details of any inspection, test or preventative maintenance carried out. Include dates, work undertaken, faults found, remedies applied, and the person who performed the work • A Form 12A provided by an IQP annually • Register and training manual for owner inspections. The IQP is responsible for ensuring proper training is given and only people who have received training are to perform owner inspections 	

DUNEDIN CITY COUNCIL BUILDING SERVICES

DCCBCA-F4-10F-V1.0

Specified System: SS15.4 - Signs for Evacuation		
Register of Signs for Evacuation		
Make:	Model:	Location:
1	"Exit" Signs	Illuminated
Performance/Installation standard:		Above all doors that lead into the main passages and final exit doors.
Inspections and maintenance standard:		NZS 6742:1971
As a minimum these inspections and maintenance procedures will be carried out:		Planned preventative maintenance and responsive maintenance will be carried out in accordance with the nominated inspection and maintenance standard or document to ensure the system will operate as required. It is the IQP's responsibility to ensure that all inspections nominated in the relevant standard have been carried out.
Inspection frequency and responsibility:	Monthly	Owner/Agent
	Annually	IQP
Inspections and maintenance	Illuminated and non-illuminated signs should be inspected to ensure:	
Monthly inspections:	<ul style="list-style-type: none"> • Of correct type • In correct location • Legible • Illuminated • Clean • Check securely fixed to wall • Check for damage 	
Annual inspections:	Annually Signs not required to be illuminated should be tested to ensure they: <ul style="list-style-type: none"> • Of correct type • In correct location • Legible Signs required to be illuminated should be tested to ensure they: <ul style="list-style-type: none"> • Remain illuminated in the event of a power failure to comply with NZBC F6 	
Reporting:	The owner must keep records of all inspections, maintenance and repairs undertaken in the previous 24 months. The records must be kept with the compliance schedule and as a minimum, include: <ul style="list-style-type: none"> • Details of any inspection, test or preventative maintenance carried out. Include dates, work undertaken, faults found, remedies applied, and the person who performed the work • A Form 12A provided by an IQP annually • Register and training manual for owner inspections. The IQP is responsible for ensuring proper training is given and only people who have received training are to perform owner inspections 	



**231 Stuart Street
Dunedin
FORTUNE THEATRE
WOF-300237**



**CERTIFICATE FOR THE PURPOSES OF SECTION 9(1)(e)
OF THE SALE OF LIQUOR ACT 1989**

Planning Certificate Number:	POL 2003-0057
Property Address:	231 Stuart St, Dunedin
Premises Name:	Fortune Theatre
Legal Description:	Part Section 16, Block XIV, Town of Dunedin
Owner:	Dunedin City Council
Occupier:	Fortune Theatre Trust
Transitional District Plan: (Dunedin City section)	Commercial D
Dunedin City Proposed District Plan (1999):	Central Activity

The Fortune Theatre Trust has applied for an on-licence under the Sale of Liquor Act 1989 at 231 Stuart Street, Dunedin. This certificate serves as a planning report in accordance with section 9(1)(e) of the Sale of Liquor Act 1989.

The Fortune Theatre is located in the **Commercial D zone** of the *Transitional District Plan (Dunedin section)*. Additionally the site is in the Heritage Protection zone, and listed as Appendix B, item 40, which requires protection of the façade. Within the Commercial D zone, licensed premises are a permitted activity. The use of the premises for sale of liquor, conveyance of liquor or any part of conveyance of liquor falls within this definition and the proposal is considered to be a **permitted activity**.

The Fortune Theatre is located in the **Central Activity zone** of the *Dunedin City Proposed District Plan (1999)*. Additionally the building is identified as B574 in Schedule 25.1 which requires that the entire external building envelope be protected. The site is also within the North Princess St/Moray Place/Exchange Townscape precinct (TH03). Within the Central Activity zone 'Licensed Premises' are a permitted activity under Rule 9.5.1(vi). The use of the premises for sale of liquor, conveyance of liquor or any part of conveyance of liquor falls within this definition and the proposal is considered to be a **permitted activity**.

The proposed use of the site therefore meets the requirements of the Resource Management Act 1991.

Advice notes

1. *This activity must comply with the noise restrictions outlined in Rule 25.5.1 of the Dunedin City Proposed District Plan (1999).*
2. *This consent has been assessed under the Resource Management Act 1991, the Transitional District Plan (Dunedin section) and the Dunedin City Proposed District Plan (1999). It does not remove the need to comply with other legislation and Dunedin City Council regulations. These include the Dunedin City Council District Licensing Agency Sale of Liquor Policy.*

Paul Freeland

