

Photos taken while moving up the access from Cliffs Road:



Photo 1: The intersection of Cliffs and Lyders Road, with 107 Cliffs Road visible on left, and the house of 113 Cliffs Road just visible on right.

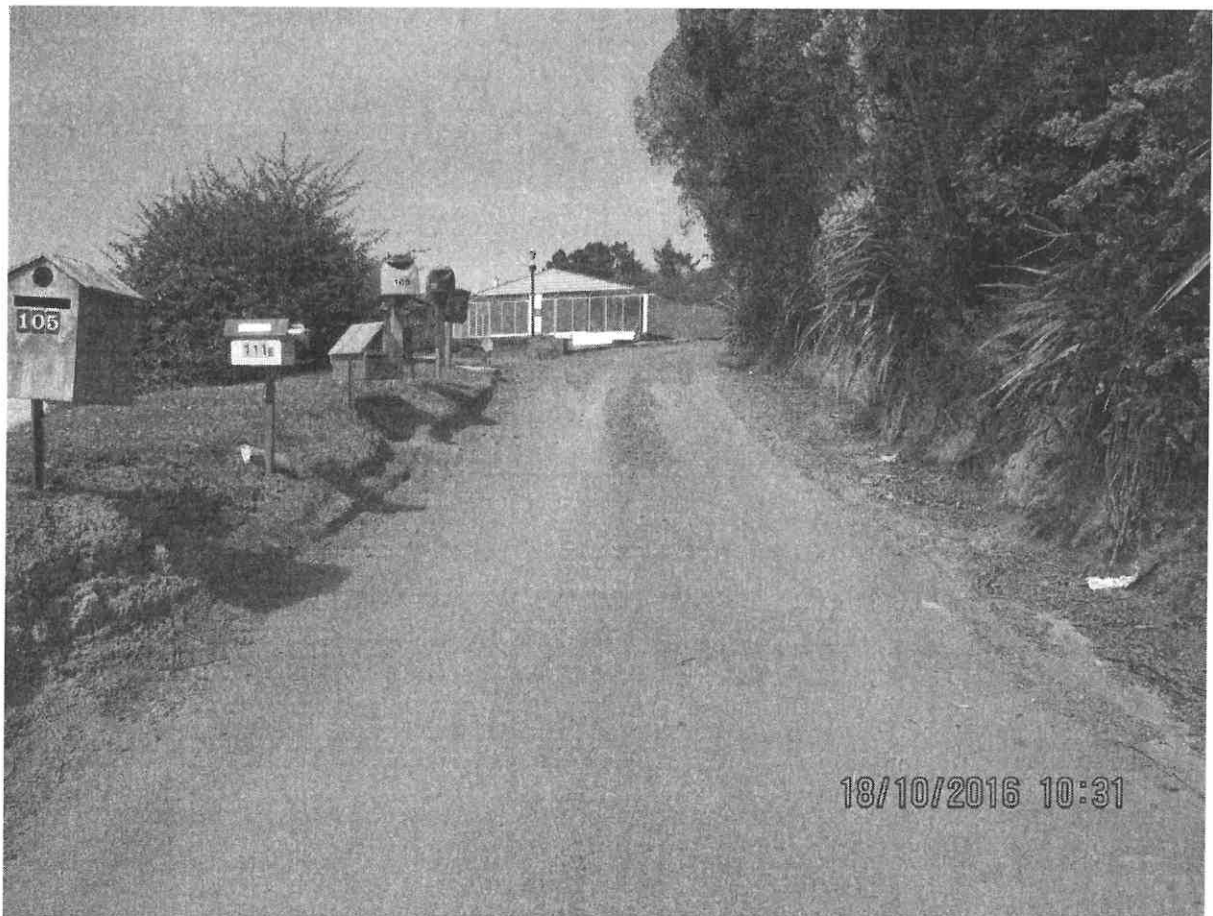


Photo 2: The sealed section of Lyders Road, with 107 Cliffs Road visible in centre of photo.

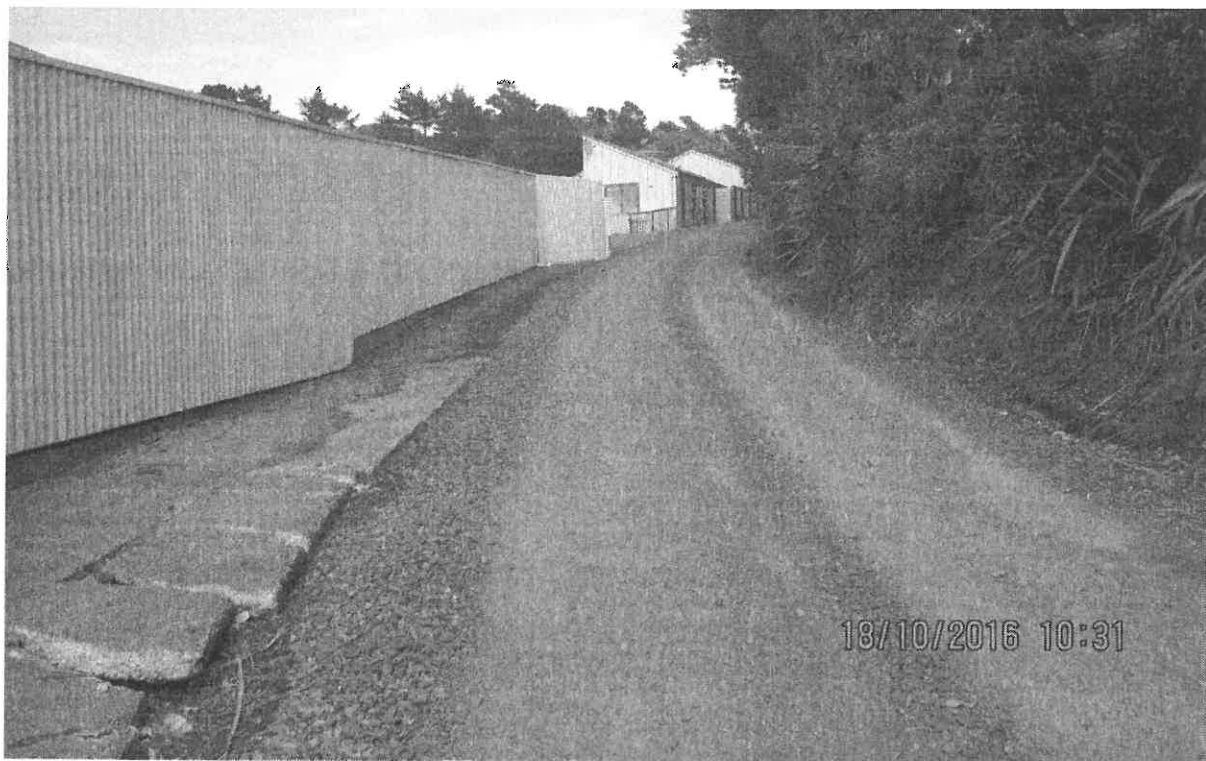


Photo 3: Commencement of the gravel section of Lyders Road. The fence belongs to 107 Cliffs Road. The house in the upper centre is 105 Cliffs Road.

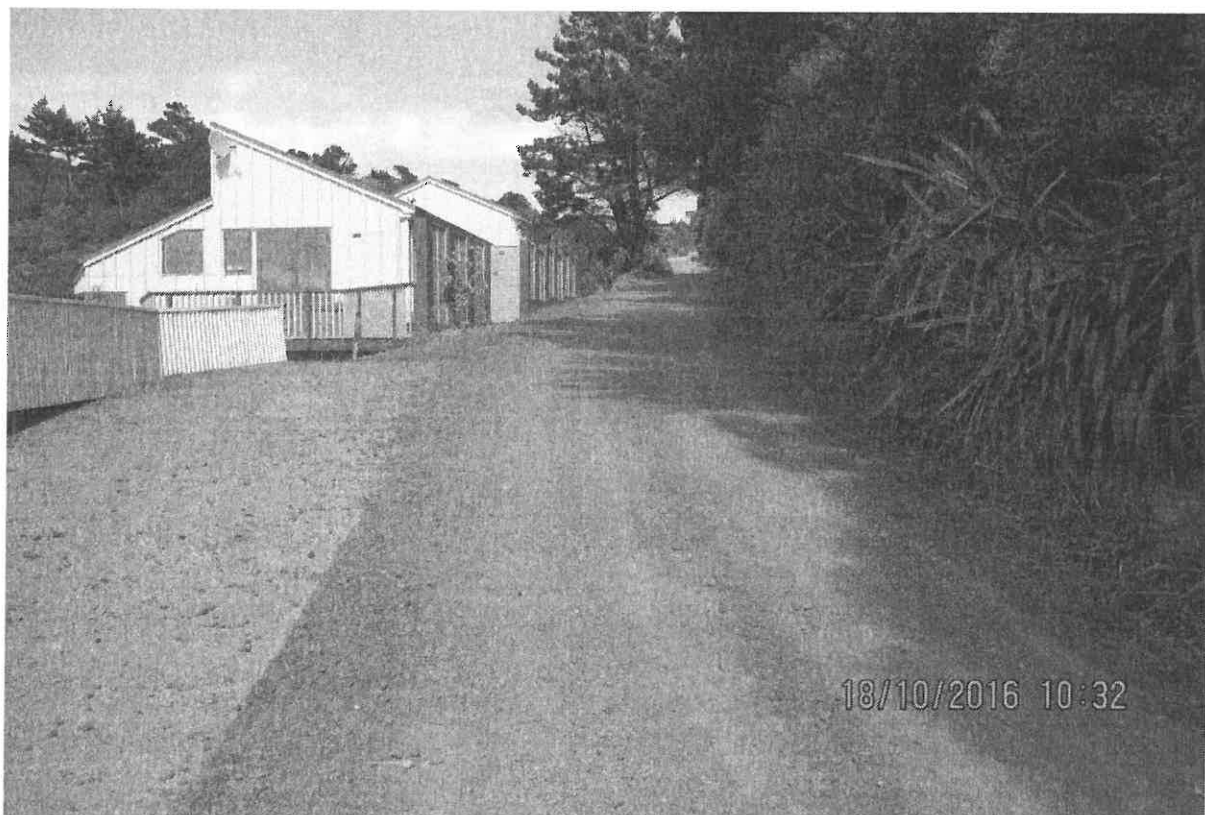


Photo 4: 105 Cliffs Road, and a parking area (partially on the right of way) used by one or both of 105 and 107 Cliffs Road. This section of access is to be upgraded by SUB-2013-17 and SUB-2015-96.

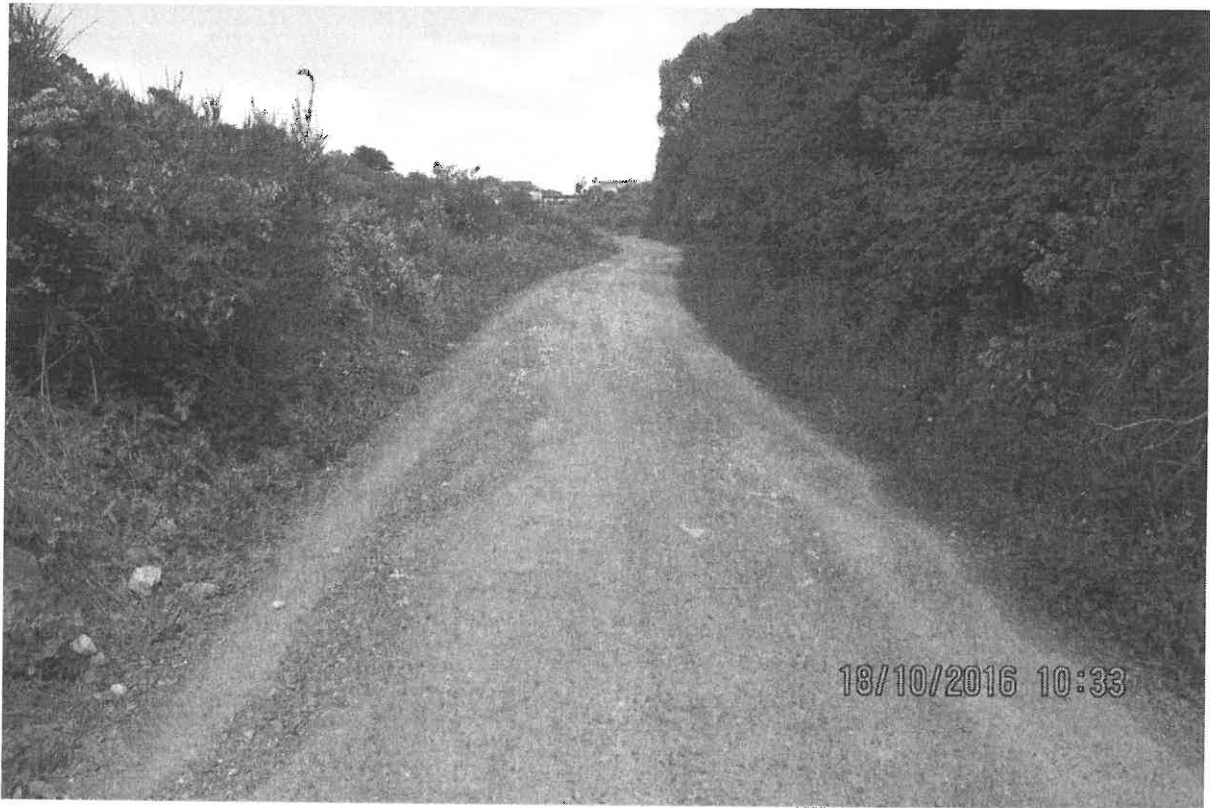


Photo 5: The section of road proposed for upgrading by the applicant.



Photo 6: The bend that crosses into 101A Cliffs Road. The house is a recent construction on 2E Claytons Road which has no access rights to Lyders Road.

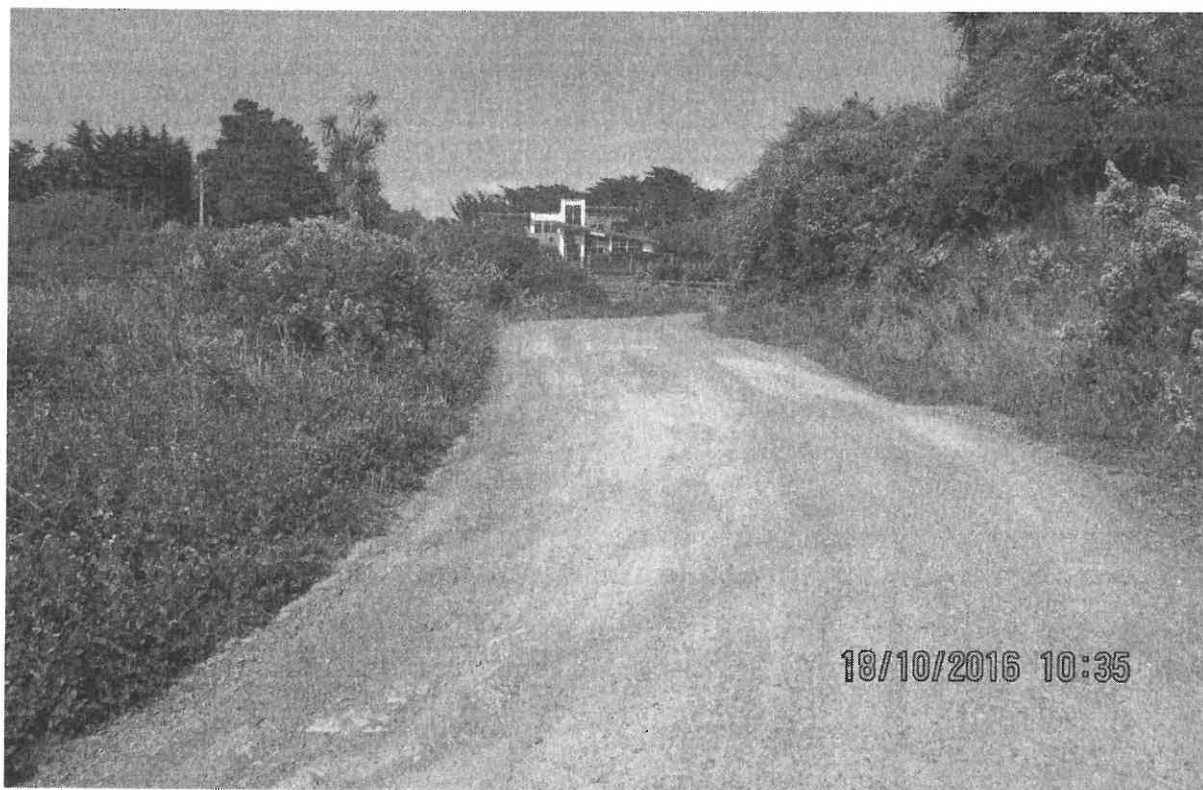


Photo 7: At the bend, looking up hill towards the house of 111F Cliffs Road.

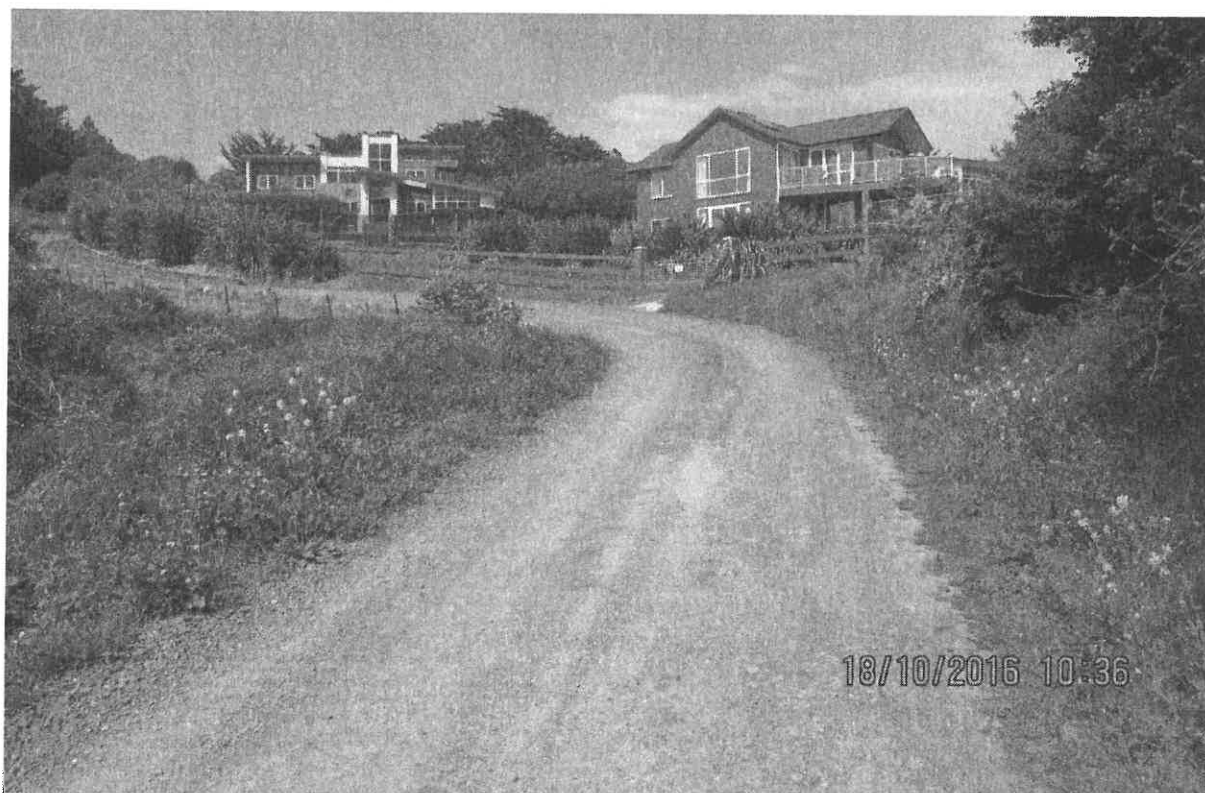


Photo 8: The houses of 111F Cliffs Road and 9 Highgrove. This is more or less the point at which Lyders Road crosses into the Isadore Road legal road corridor.



Photo 9: The Isadore Road section of the access with the driveway to 111F Cliffs Road branching off the right. The house of 9 Highgrove is out of sight on the right.



Photo 10: The upper shared access with the driveway to the subject site, 111A Cliffs Road, branching off to the left, and the driveway to 111E Cliffs Road (to be used in part by proposed Lot 2) straight ahead.

Photos taken while moving down the access from the proposed access of Lot 2:

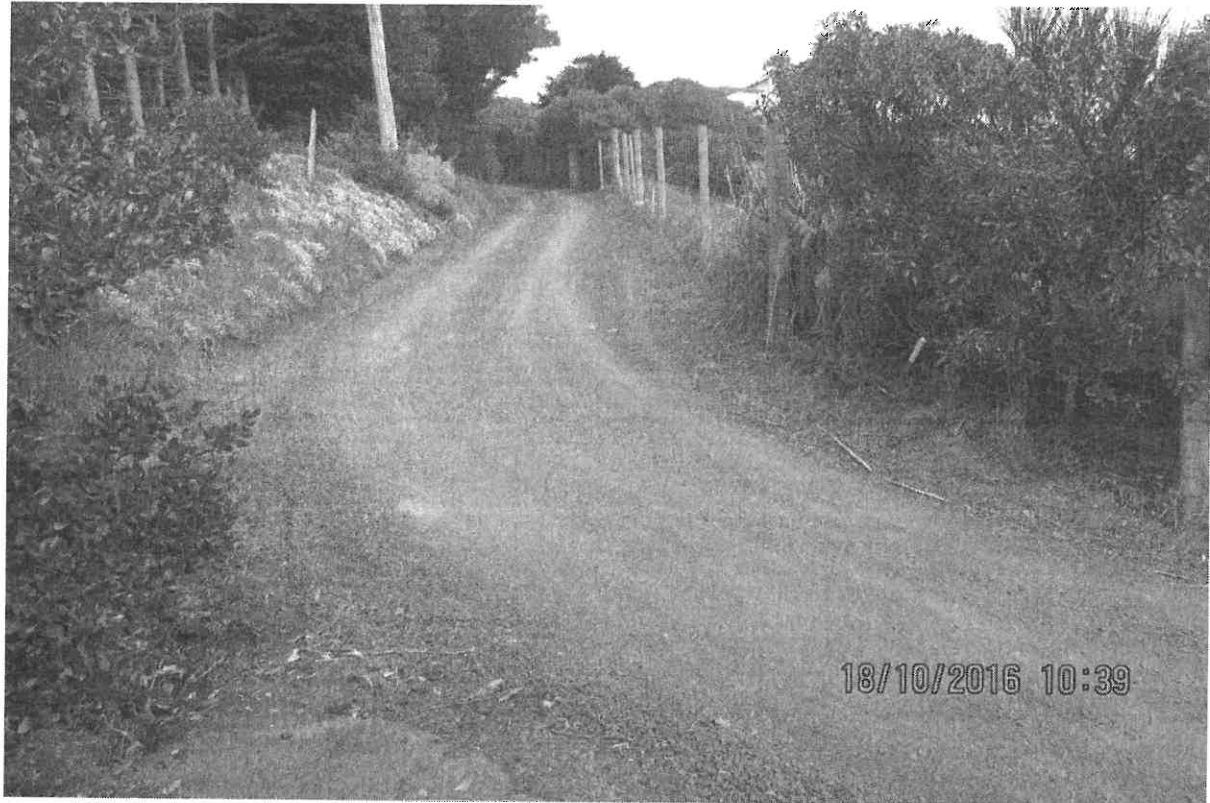


Photo 11: The view looking up the shared access from the driveway entrance of proposed Lot 2.



Photo 12: The view looking down the shared access from the same viewpoint. The house in the centre of the photo is the new house on 2E Clayton Street.

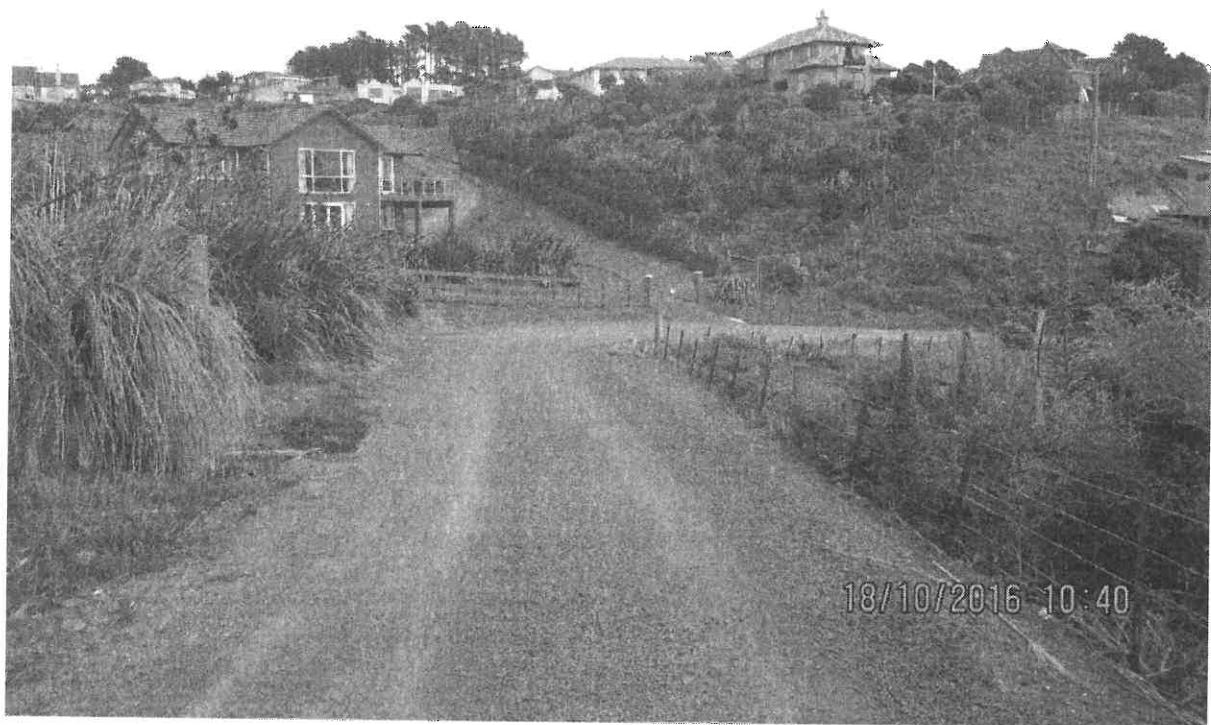


Photo 13: The Isadore Road section of the access, with 9 Highgrove on left.

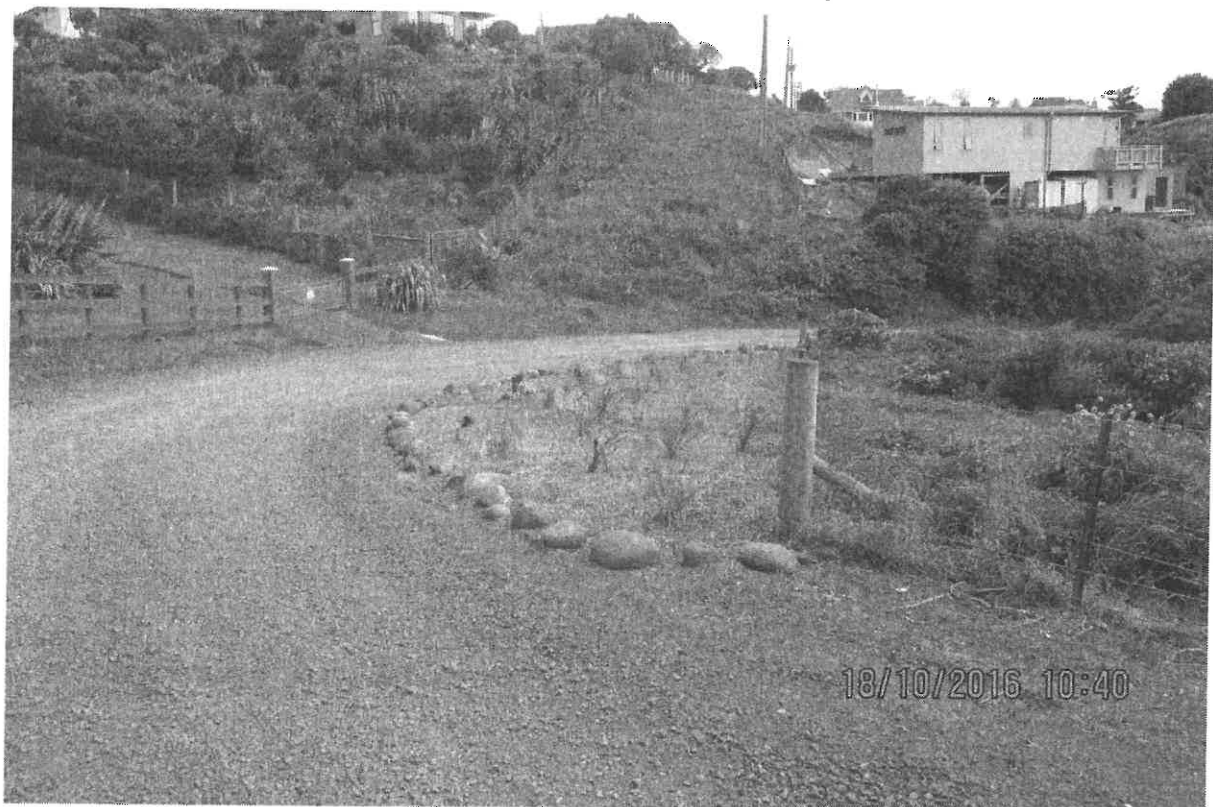


Photo 14: The Isadore Road section, looking straight up the unformed road corridor of Isadore Road, with 2E Cliffs Road on the right.



Photo 15: Looking down the Lyders Road section of the access, with 2E Cliffs Road on the left and the undeveloped land of 2F to 2L Clayton Street on the hillside.



Photo 16: The bend into 101A Cliffs Road from above. The house is on 4B Clayton Street. The houses of 2F and 2G Cliffs Road will be constructed in front of this house.

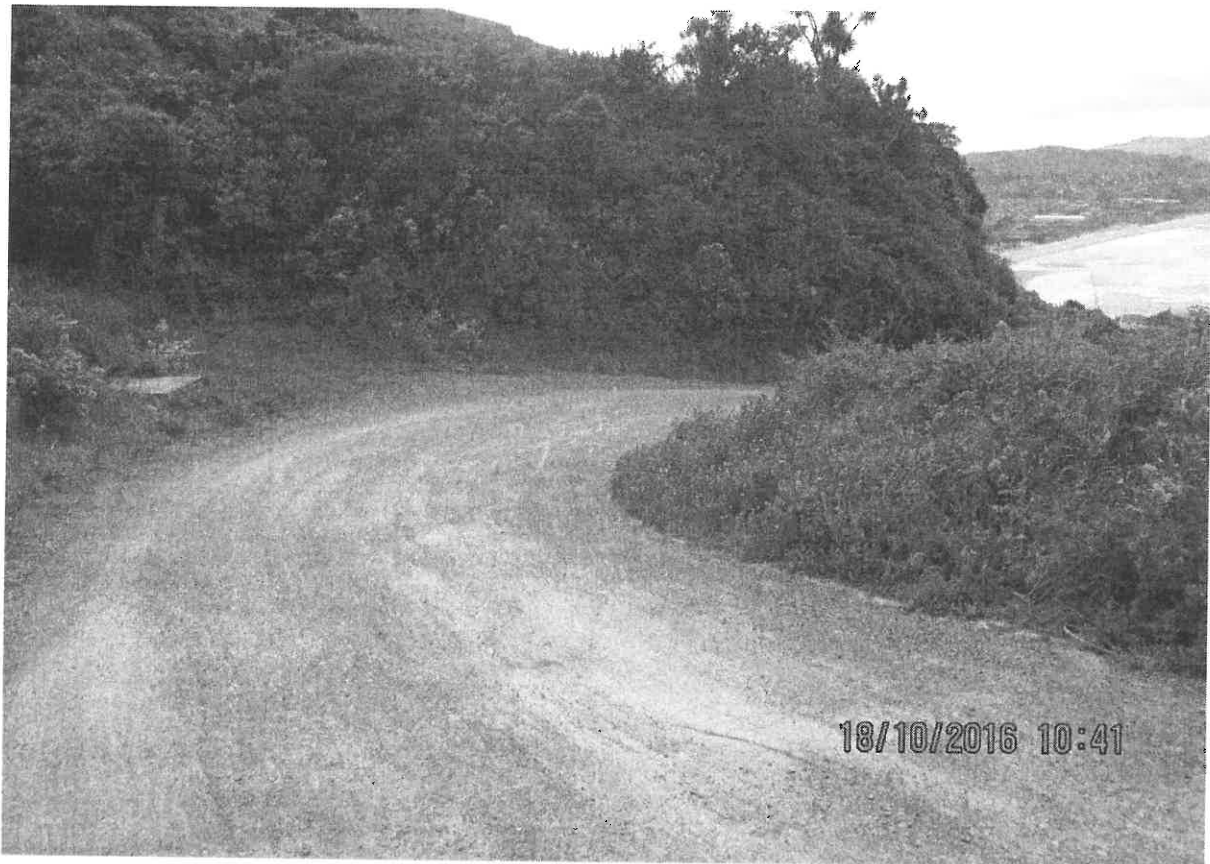


Photo 17: The bend at 101A Cliffs Road.



Photo 18: Slightly further around the bend so as to show the next curve.

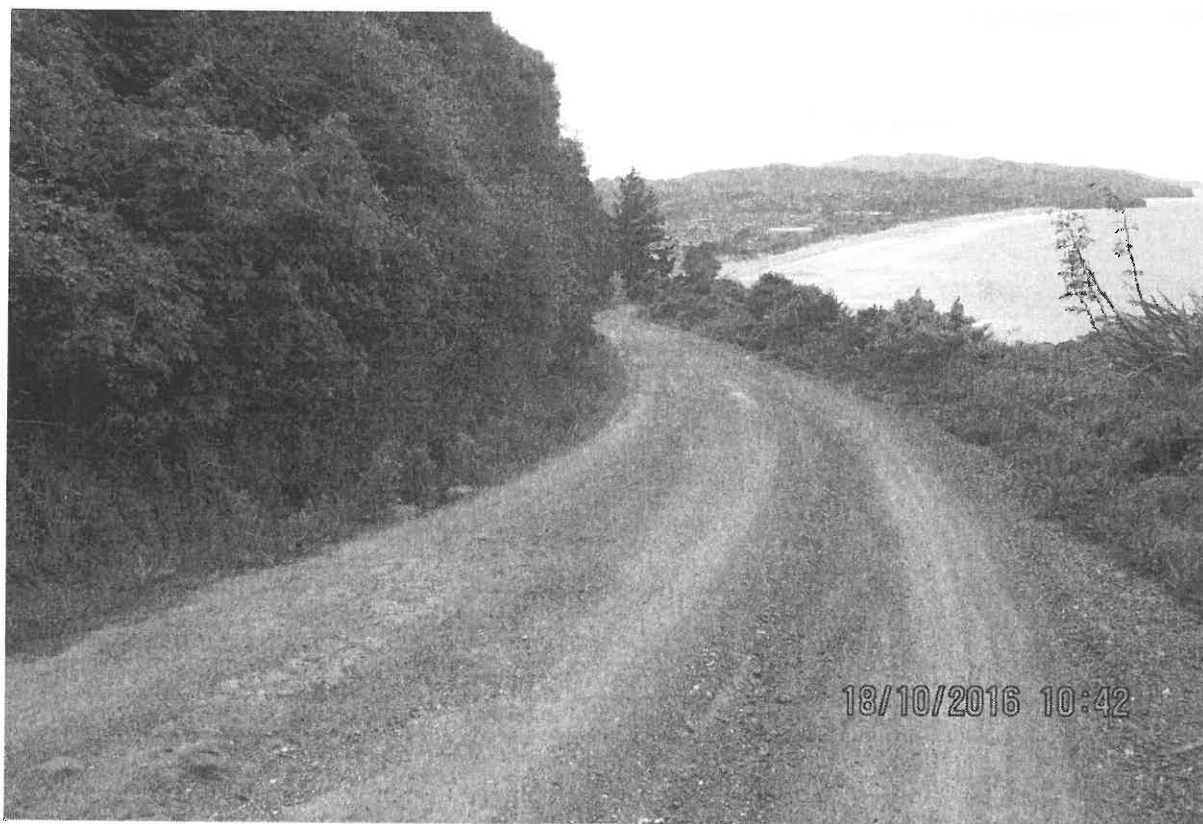


Photo 19: Looking down Lyders Road.



Photo 20: The section of Lyders Road the applicant proposes to upgrade. The house of 103 Cliffs Road is out of sight on the right, below the large tree in the centre of the photo.

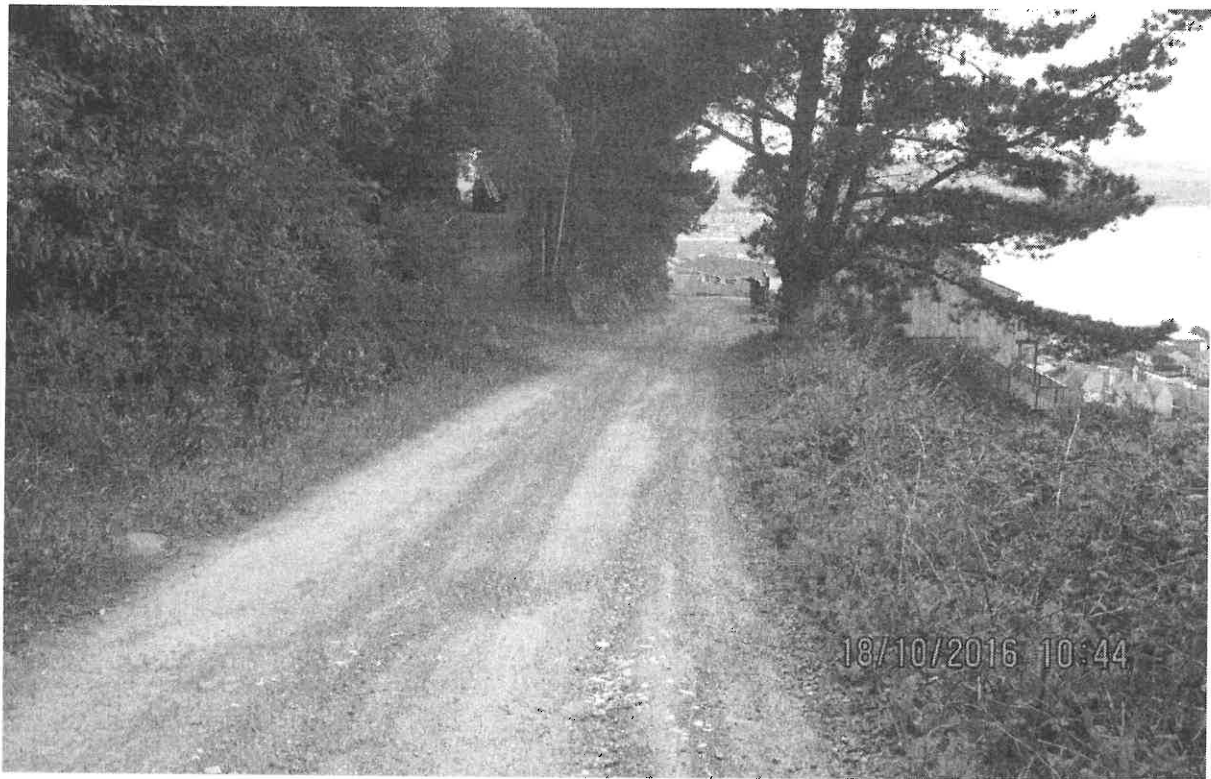


Photo 21: The driveway to 113 Cliffs Road branches off the left and has a hairpin bend when driving up Lyders Road. 107 Cliffs Road is in the centre of the photo, and 105 Cliffs Road is behind the tree. The sealing of SUB-2013-17 and SUB-2015-96 will finish more or less at this point.

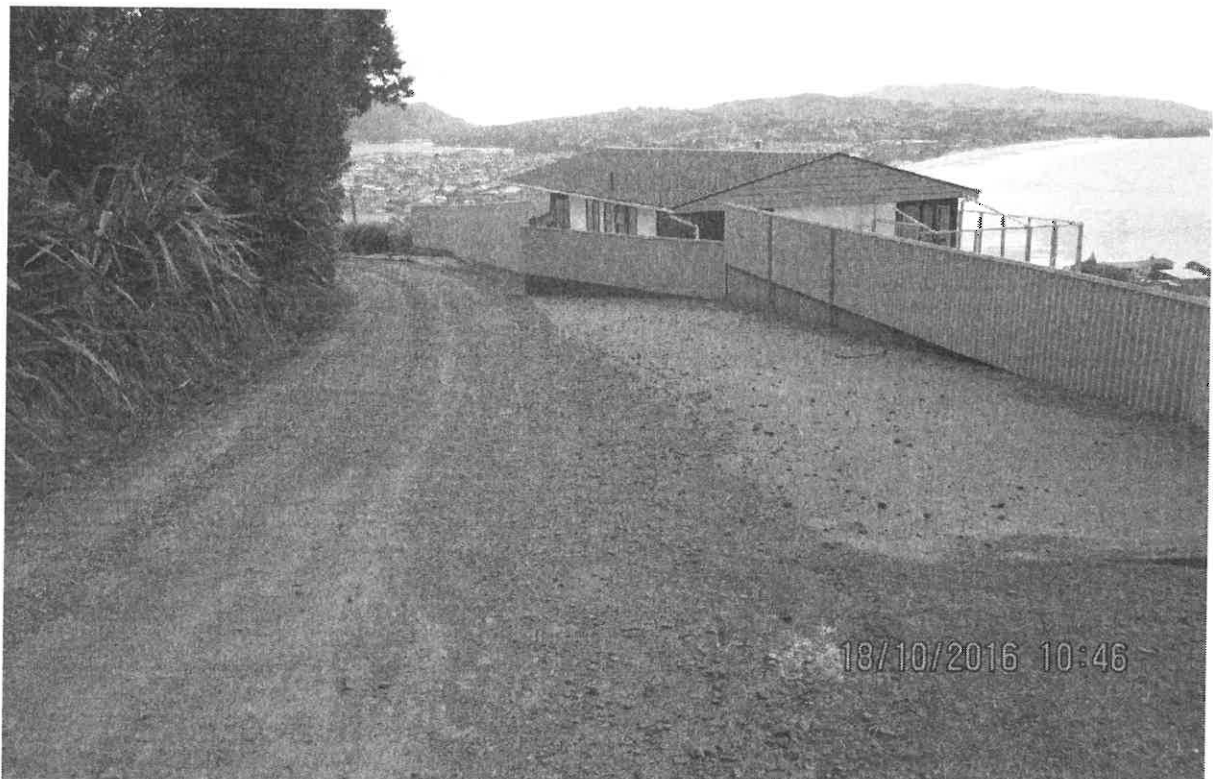


Photo 22: The house of 107 Cliffs Road.

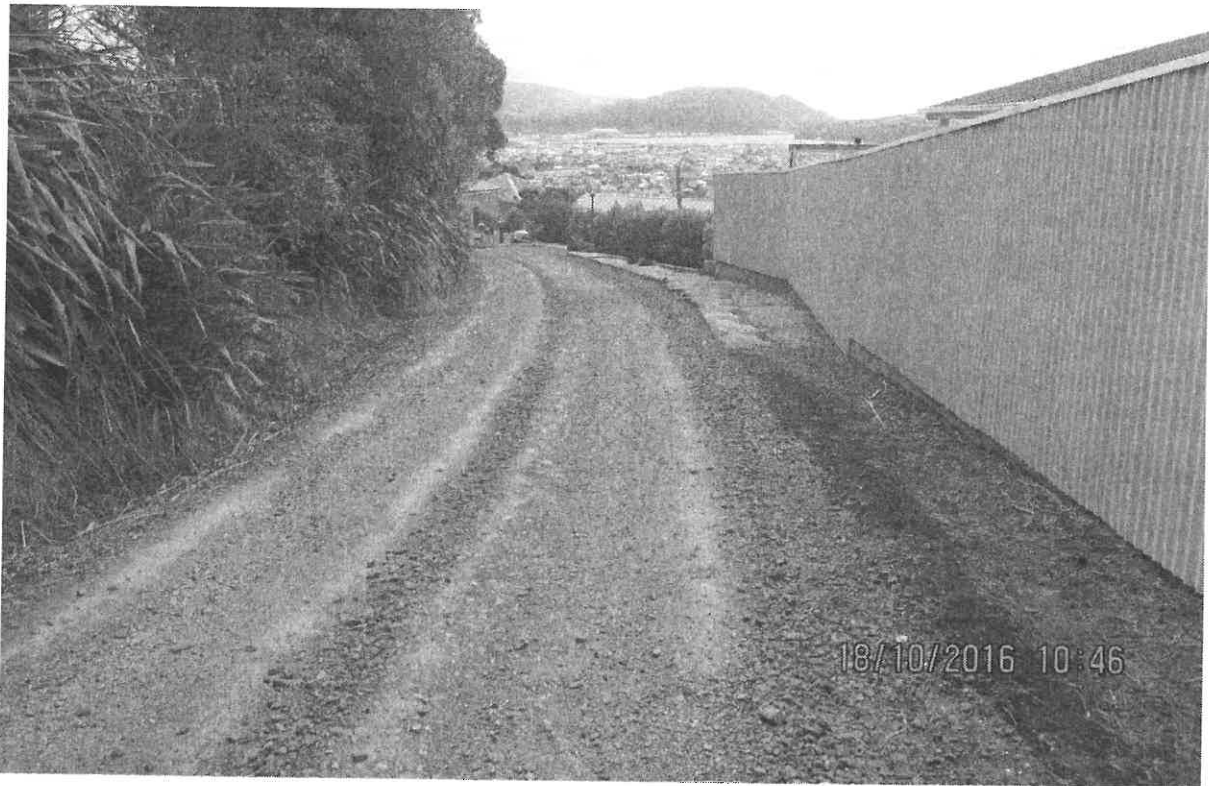


Photo 23: The lower section of Lyders Road with 107 Cliffs Road behind the fence.

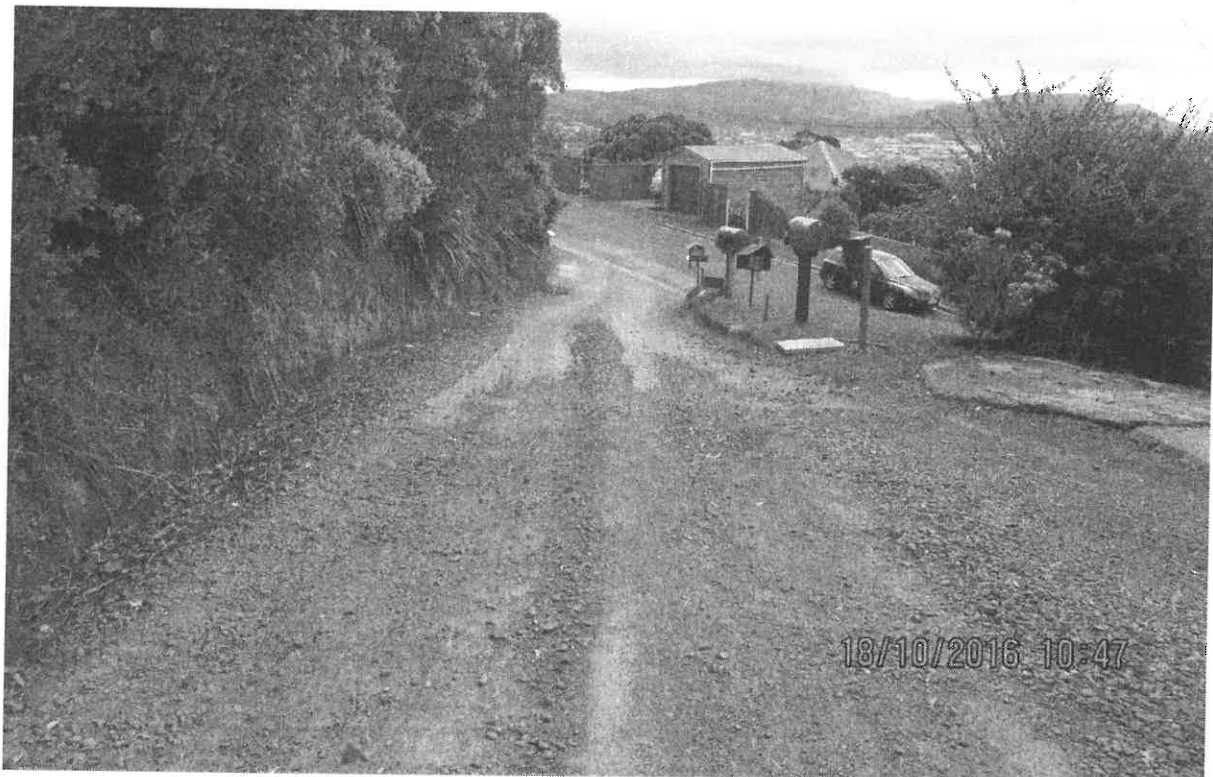


Photo 24: The intersection of Lyders Road and Cliffs Road.

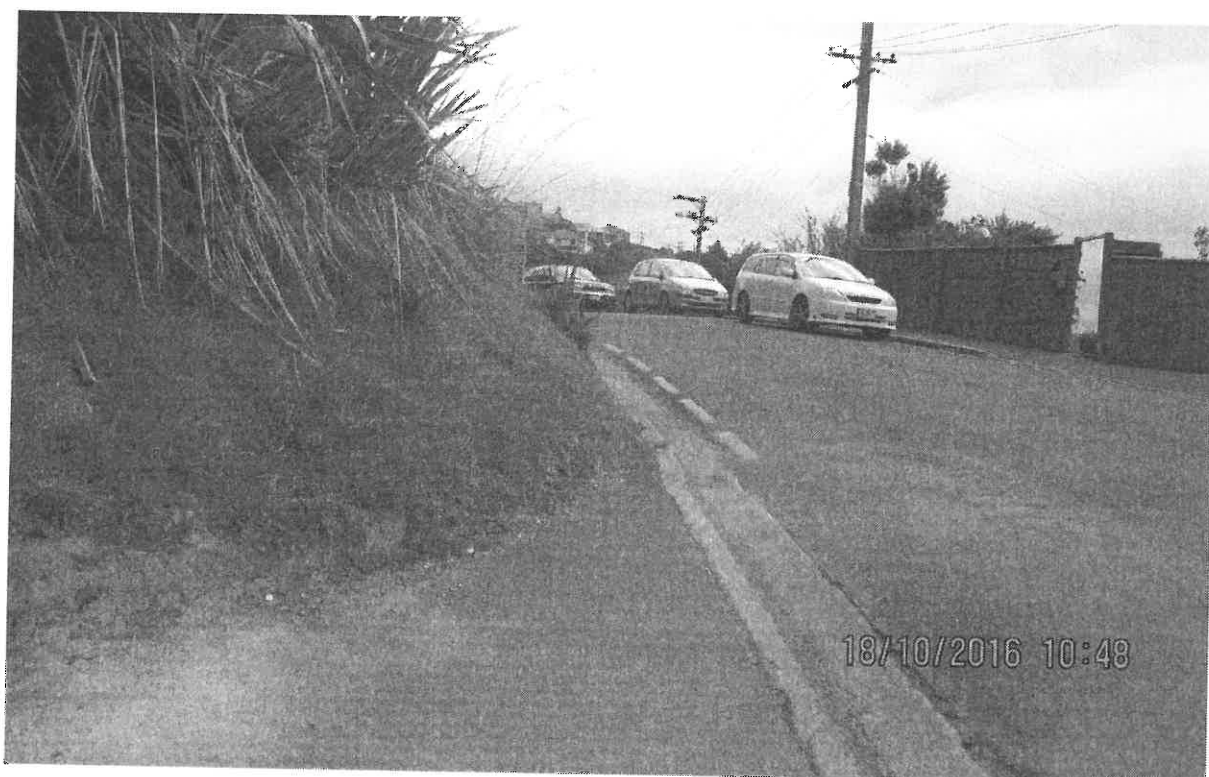


Photo 25: At the intersection, looking to the left along Cliffs Road.

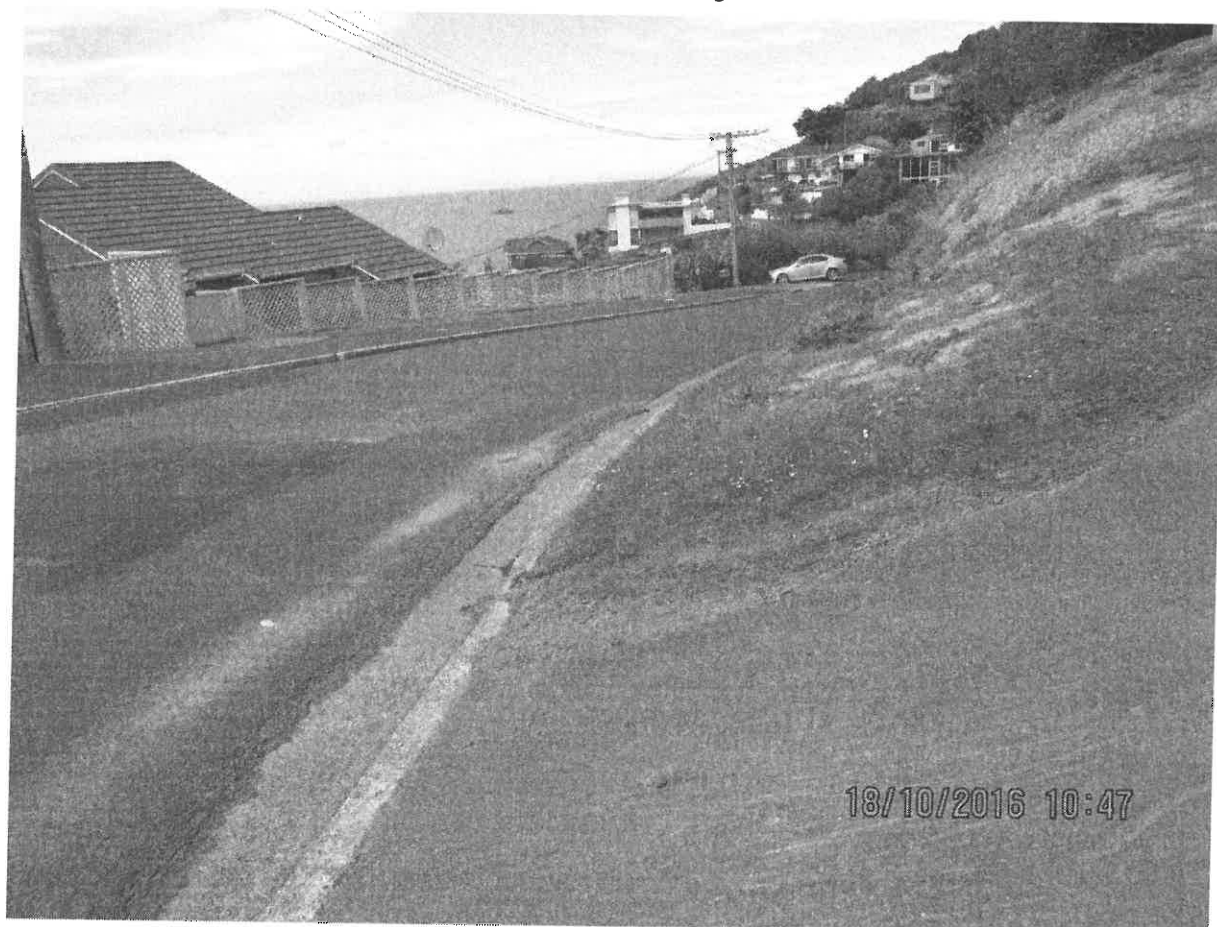


Photo 26: At the intersection, looking right along Cliffs Road.

General:

Photo 27: Proposed Lot 2, viewed from its entrance point.



Photo 28: The entrance point to Lot 2.

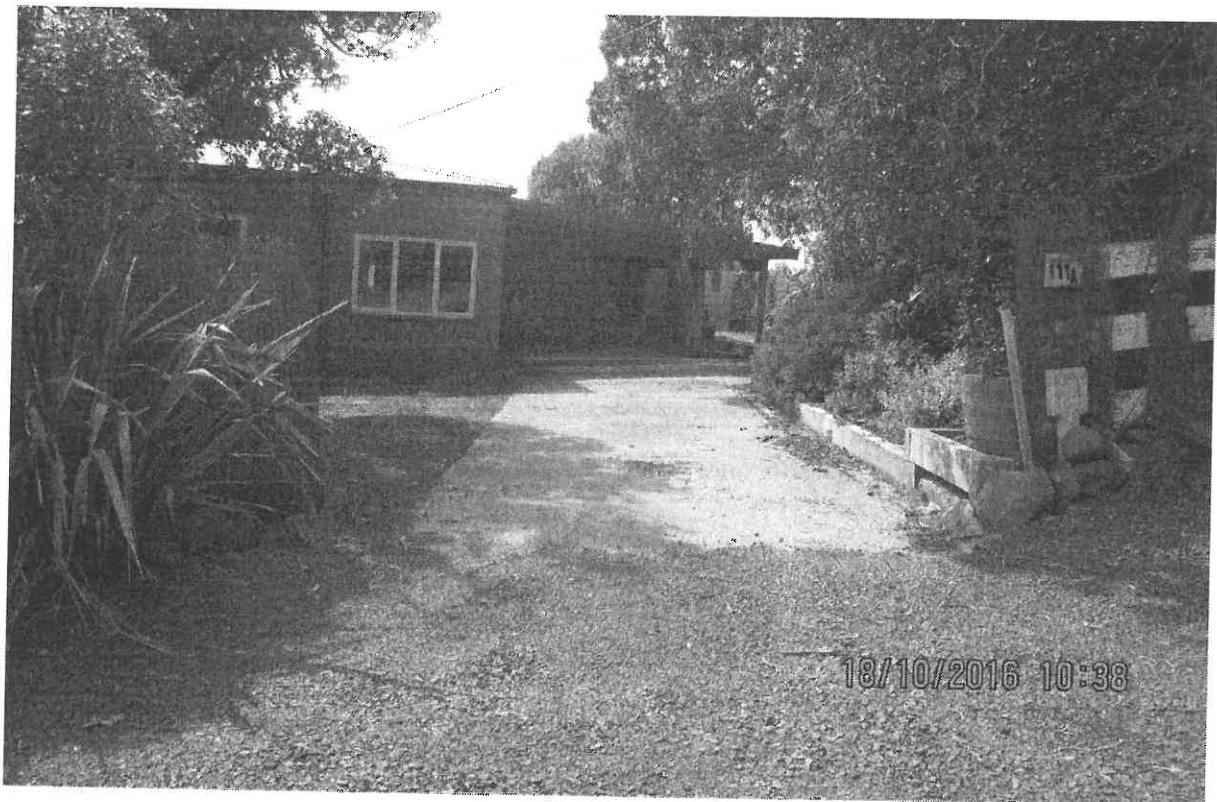


Photo 29: The existing dwelling and access to 111A Cliffs Road.



Photo 30: The legal road corridor of Isadore Road, with 2E Clayton Street on right.