

Appendix 6: Building Assessments (external)

10.1 South Side of Road

53 Caversham Valley Road

Late C20th structure.

Mobil service station (vacant)

61 Caversham Valley Road

Horizontal timber weatherboard dwelling with many bungalow features. Dwelling indicative of design influences between 1910 and 1940. On corner with Burnett Street.



63 Caversham Valley Road

Horizontal timber weatherboard bay villa with multi-faceted bay window and plain gable end. Double hung sash windows and front door with glazed sidelights are probably original. Hipped roof features Decramastic metal finish. Dwelling associated with the Victorian period.



65 Caversham Valley Road

Horizontal timber weatherboard single bay villa with multi-faceted bay window and decorative gable end. Double hung sash windows and front door with glazed sidelights are probably original. Bullnosed veranda features no fretwork. Hipped roof features corrugated metal roof and broken finials. Dwelling associated with the Victorian period.



71 Caversham Valley Road

Horizontal timber weatherboard double bay villa with corrugated metal roof. Double hung sash windows are probably original. Roof to bay window features ornamental brackets. Dwelling associated with the Victorian period.



75 Caversham Valley Road

Horizontal timber weatherboard corner angle bay villa with hipped corrugated metal roof. Double hung sash windows and front door are probably original. Minimal fretwork present. Decorative shingles are present in gable ends. Dwelling associated with the Victorian period.



77 Caversham Valley Road

vacant

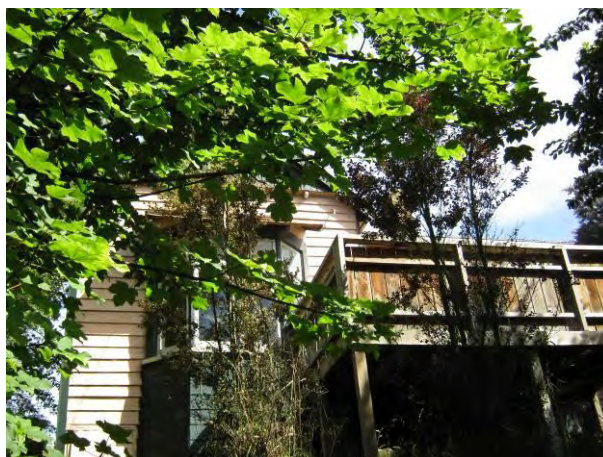
79 Caversham Valley Road

Horizontal timber weatherboard villa with square bay. Double hung sash windows are probably original. Dwelling associated with the Victorian period.



81 Caversham Valley Road

Appears to be a horizontal timber weatherboard villa.



83 Caversham Valley Road

Horizontal timber weatherboard bungalow. Timber shingles are present in the gable ends and below windows. Dwelling indicative of design influences between 1910 and 1940



87 Caversham Valley Road

Horizontal timber weatherboard bay villa with double gabled square bay, hipped corrugated metal roof and corner bay. Double hung sash windows may be associated with the original residence. Dwelling associated with the Victorian period.



89 Caversham Valley Road

Horizontal timber weatherboard villa with double square bay and corrugated metal roof. Double hung sash windows are probably original. Dwelling associated with the Victorian period.



91 Caversham Valley Road

Transitional brick bay villa associated with the late Victorian period. Many original elements remain. .



93 Caversham Valley Road

Horizontal timber weatherboard dwelling with no heritage values. Dwelling indicative of design influences of the late twentieth century.



95 Caversham Valley Road

Horizontal timber weatherboard bay villa with multi-faceted bay window. Windows and front door with glazed sidelights are probably not original. Bullnosed veranda features no fretwork. Dwelling associated with the Victorian period.



97 Caversham Valley Road

Horizontal timber weatherboard villa with gabled square bay and corrugated metal gabled roof. Double hung sash windows are probably original. Dwelling associated with the Victorian period. Dwelling may originally not have been double storey and of different orientation.



99 Caversham Valley Road

Horizontal timber weatherboard bay villa with multi-faceted bay window. Windows are probably not original. Dwelling associated with the late Victorian period.



103 Caversham Valley Road

Horizontal timber weatherboard bay villa with multi-faceted bay window. Windows are probably not original. Veranda has been enclosed to create additional living space. Dwelling associated with the Victorian period.



105 Caversham Valley Road

Horizontal timber weatherboard villa with enclosed veranda. Dwelling associated with the Victorian period



107 Caversham Valley Road

Horizontal timber weatherboard bay villa with hipped corrugated metal roof. Double hung sash windows are probably original, casement windows are not. Dwelling associated with the Victorian period.



109 Caversham Valley Road

Horizontal timber weatherboard bay villa with double gabled square bays and corrugated metal roof. Double hung sash windows are probably original. Decorative features are present in gable ends. Many original elements remain. Dwelling associated with the Victorian period but in poor condition.



**169 Caversham Valley Road
(vehicle access from South Road)**

Horizontal timber weatherboard bungalow. Dwelling indicative of design influences between 1910 and 1940



171 Caversham Valley Road

Brickwork bungalow. Timber shingles are present in the gable end. Dwelling indicative of design influences between 1910 and 1940



550 South Road

Brick dwelling with hipped roof and no heritage values. Dwelling indicative of design influences of the late twentieth century. Mature privet hedge on three sides.



546 South Road

Horizontal timber weatherboard dwelling with gabled roof. Possibly originally a transitional villa or bungalow. Dwelling indicative of housing in the early to middle period of the twentieth century.



546 South Road



**171 Caversham Valley Road
(access from South Road for
vehicles)**

Horizontal timber weatherboard dwelling with gabled roof. Possibly originally a transitional villa or bungalow. Dwelling indicative of housing in the early to middle period of the twentieth century.



10.2 North Side of Road

112 Caversham Valley Road

Horizontal timber weatherboard dwelling with
Corrugated metal hip roof. Decorative elements of the 1950s in timber. Concrete rendered garage to front of property. Dwelling indicative of housing in the early to middle period of the twentieth century.



114 Caversham Valley Road

Single level brick dwelling with concrete tile roof. State Service Commission style dwelling of the mid-twentieth century.



Boundary

Remnant hawthorn hedge (indicated), suggesting rear property access and previous Caversham Road remnants adjacent (east).



138 Caversham Valley Road

Vacant lot

140 Caversham Valley Road

Brick dwelling with hipped roof and no heritage values. Dwelling indicative of design influences of the middle of the twentieth century.



152 Caversham Valley Road

Brick dwelling with hipped roof and no heritage values. Dwelling indicative of design influences of the middle of the twentieth century.



154 Caversham Valley Road

Brick dwelling with hipped roof and no heritage values. Dwelling indicative of design influences of the middle of the twentieth century.



168 Caversham Valley Road

Brick dwelling with gabled hipped roof and no heritage values. Dwelling indicative of design influences of the middle of the twentieth century.



ULCA 14

Caversham Valley Slopes

Recreation area

181 Caversham Valley Road

Horizontal timber weatherboard villa with enclosed veranda. Dwelling associated with the Victorian period



**192 Caversham Valley Road
(corner of Mornington Road)**

Two horizontal composite material weatherboard dwellings. Gabled roof, clad with corrugated metal. Dwellings associated with late twentieth century construction.



10.3 Associated Features

Rock Wall Section 1 (1931)

Blue stone retaining wall for roadway and provides footpath access to houses. Random rubble, cement mortar.





Rock Wall Section 2 (1931)

As with section 1. With some overlay Portland Cement repairs.





Rock Wall Section 3 (1933)

Regularly shaped blue stone retaining wall for road edge and footpath. Adjacent houses have similar retaining walls at the front boundaries. Square cut stone, regularly coursed with a 'tuck pointed' finish to the mortar.



The most distinctive feature of this section is the clear '209' stone worked number. This is thought to refer to the road crew that built the wall as it bears no reference to the addresses around it.



10.4 Street Furniture

Household water connection points



10.5 Access covers

Industrial School grounds



Laing Street on north side of railway overbridge abutment remains.



Water mains access by Goodall Street footbridge, south side of road



10.6 Structures

Bus passenger shelter at the top of South Road.



MOW shed opposite old Caversham Station



Relocated railway footbridge. Currently over Gas Works Creek and the current Goodall St footbridge will be placed downstream, by the existing road margin.



Close up of railway footbridge iron – NZ made 10 pound railway track..



Appendix 7: Industrial School from *Otago Witness* 11 July 1905

the children seemed happy. Everyone took an interest in them; their clothes, of course, were clean, and their dormitories spotless,

Government of that day denied them the rights and gave them only nominal freedom. I have seen many of my countrymen take place as the manager, confined to get more and more comfort, and at last, as I have already mentioned, to my joy and surprise, to find themselves in the night, and the present up-to-date, some of these rooms, was built, and a low noise of years later, Mr. Burdison came with more reforms. I have seen many of our thousand children have passed over a thousand hands, many of whom I shall always remember, not only with love, but with a very warm remembrance of their position being so very humble, and their putting a very brave face on it, and unselfishly helping their weaker comrades. Many of them are good, successful

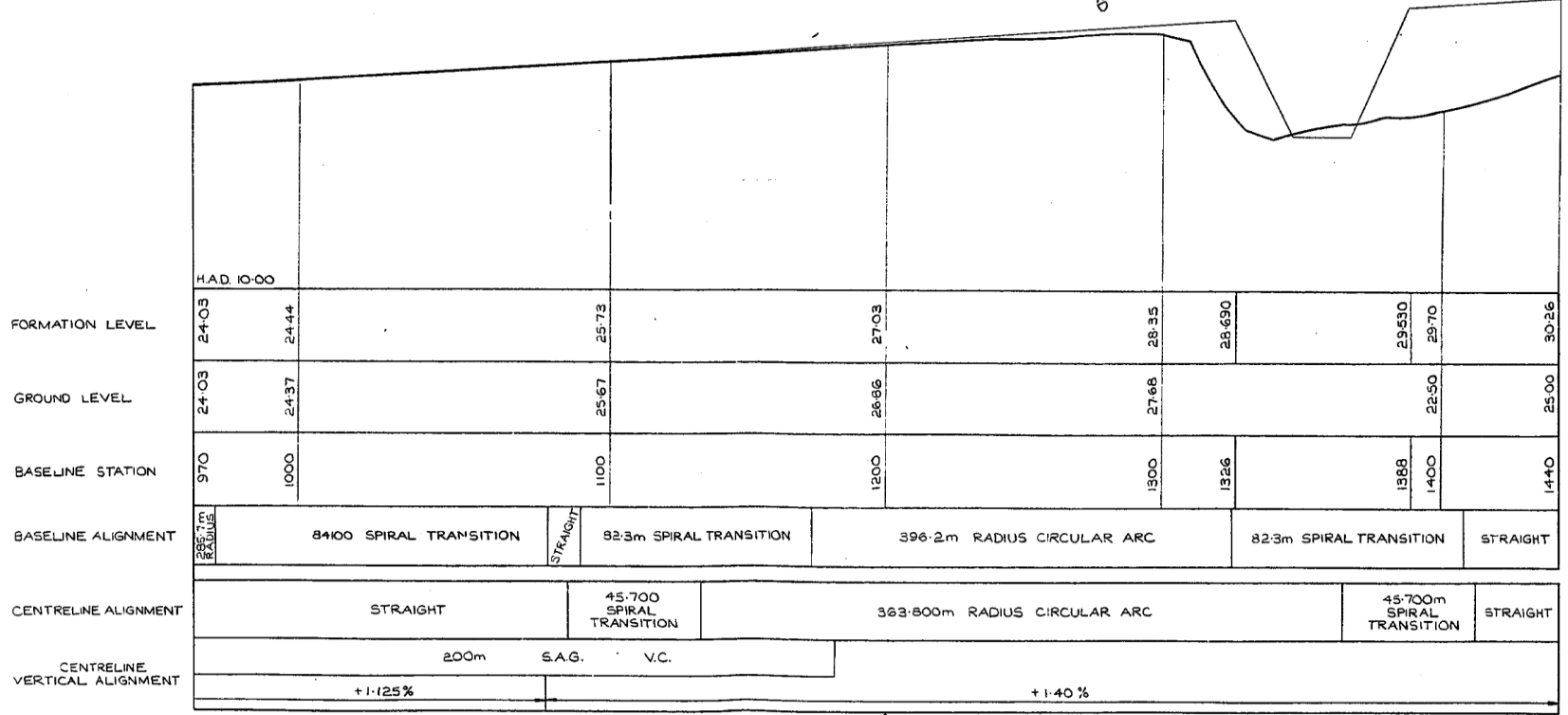
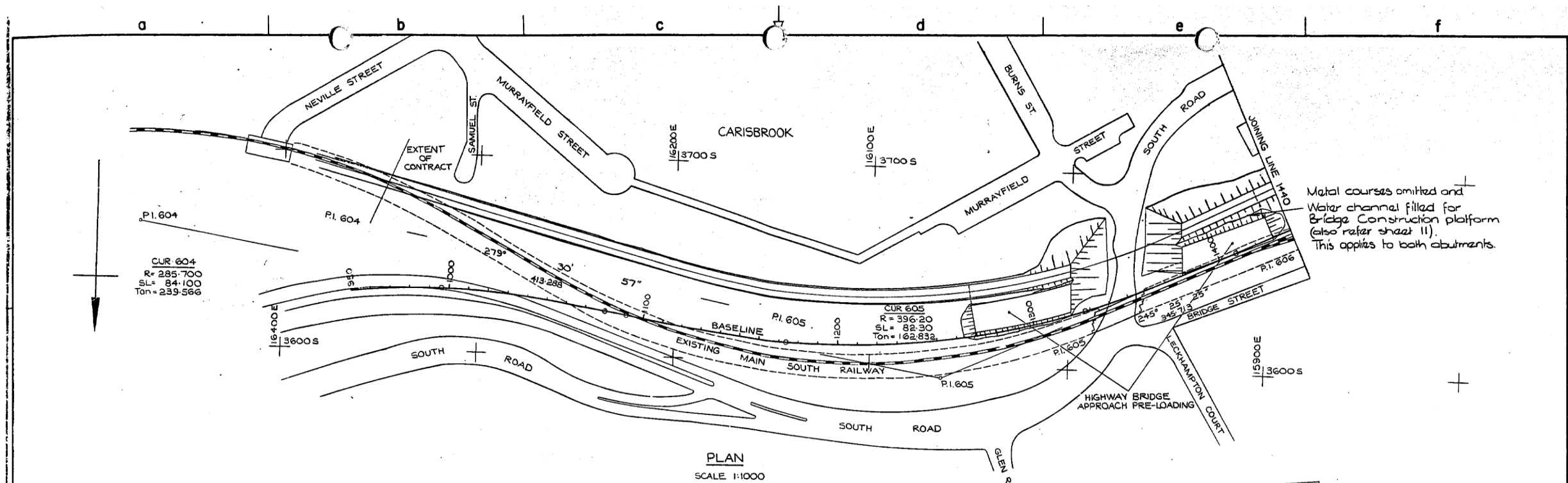
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Caversham 4 Lapins: Heritage

Impact Assessment

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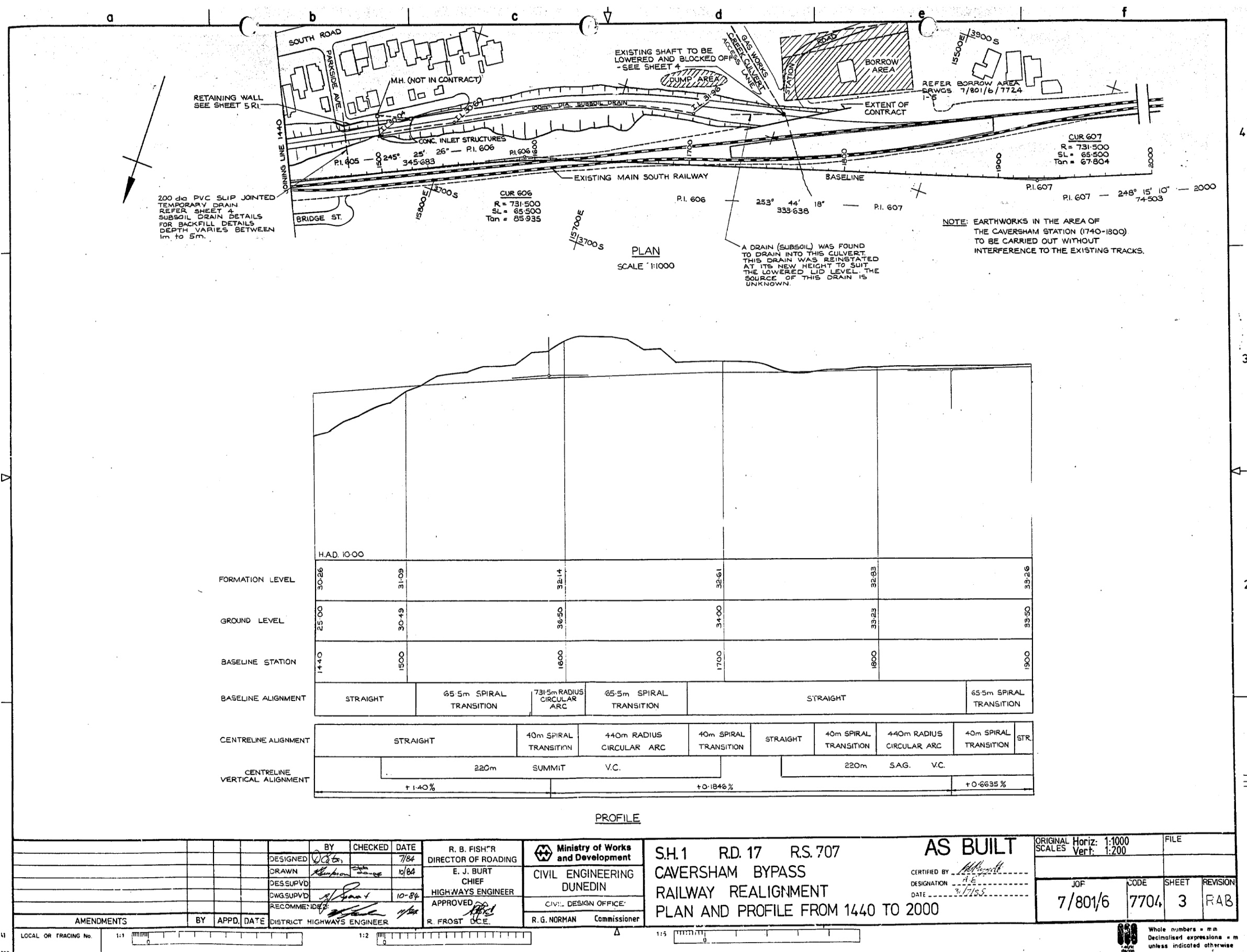
**Appendix 8: Ministry of Works (MOW) 1984 works plans, courtesy
Opus International Consultants © (Dunedin)**

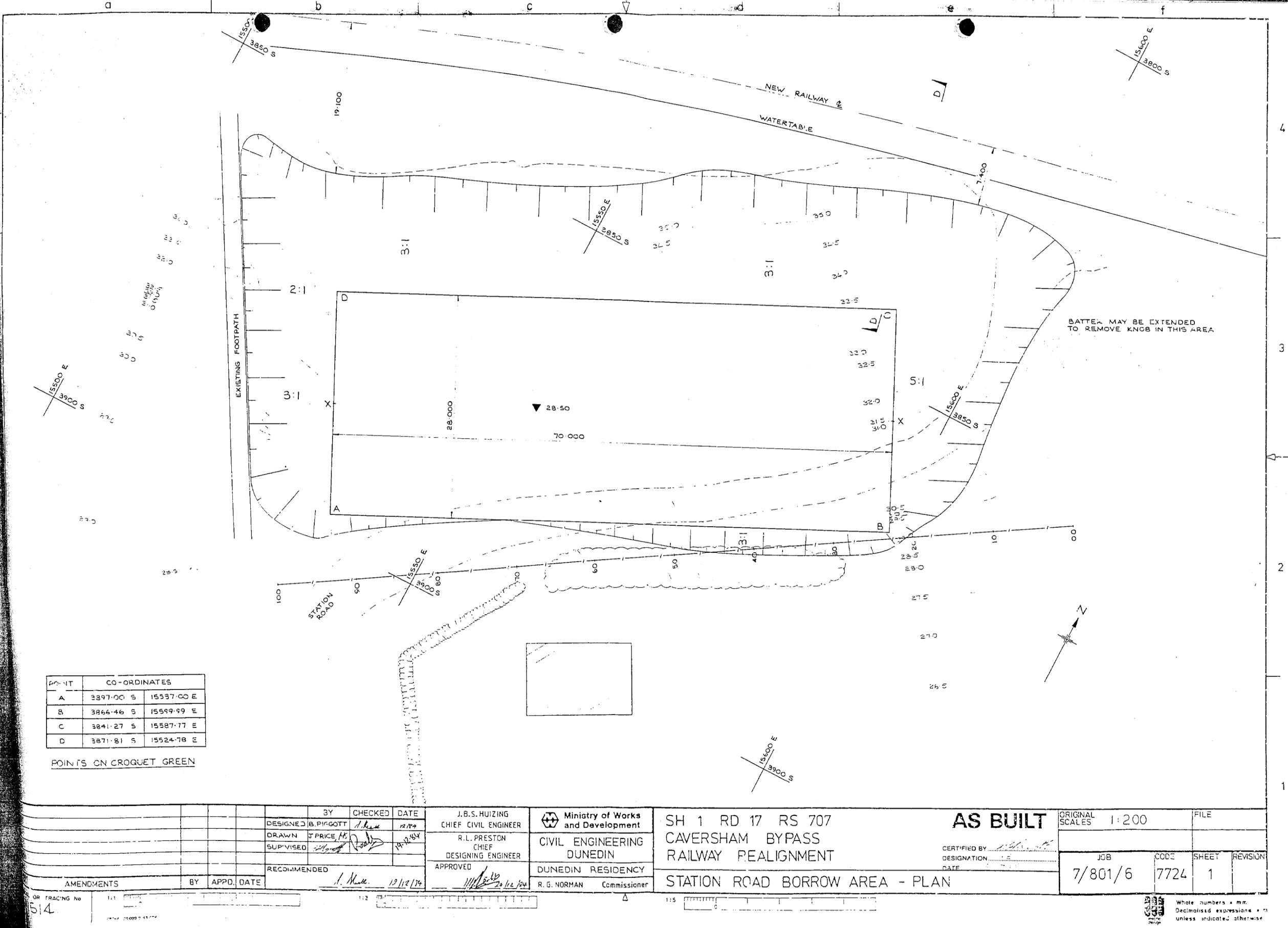






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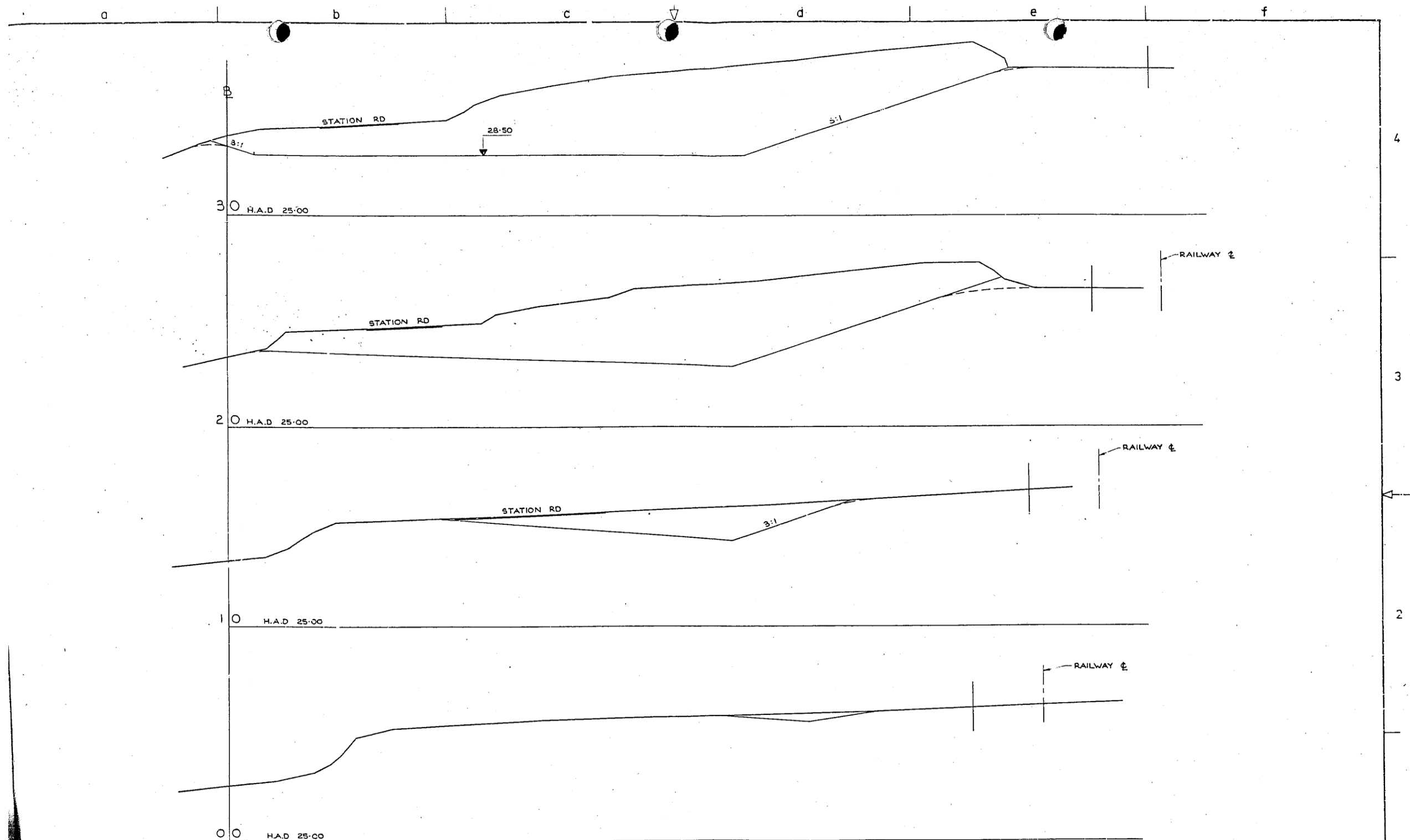
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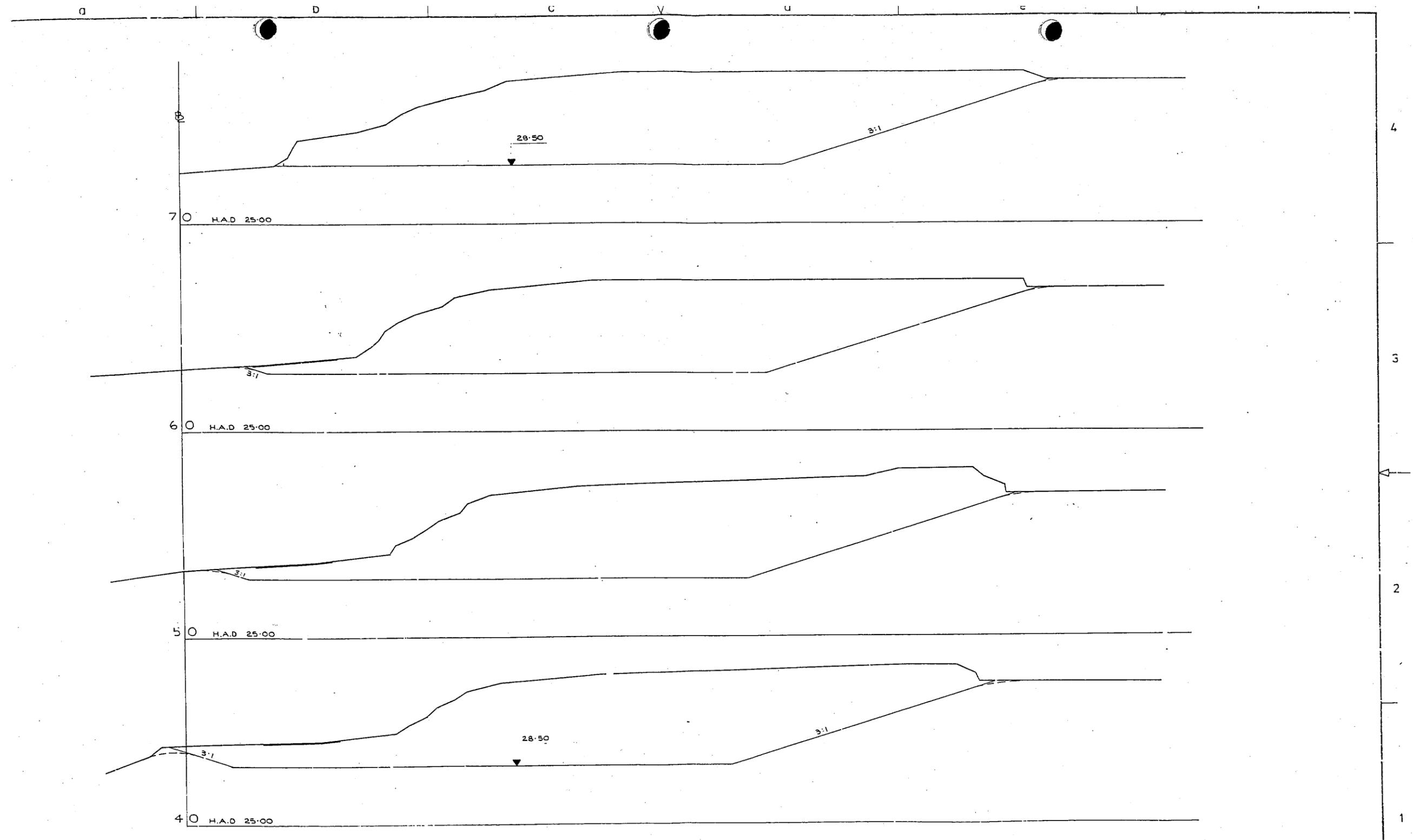


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