

## **SITE OR LOCATION PLANS – GENERAL REQUIREMENTS**

- Site plans must be to scale. A marked aerial photo is not a site plan.
- A dedicated building location plan is recommended.
- ‘Approximate’ or, ‘confirm on site’ dimensions are not acceptable unless specified in this document.
- It is recommended that you seek advice from a licensed cadastral surveyor (specialists in establishing real property boundaries). Building without a qualified determination of boundary alignments may result in considerable risk for the property owner and construction delays while extensive re-surveying of the property is carried out.
- It is important that plans make it clear where boundary offset dimensions are taken from, i.e. foundation, wall frame, cladding, or boundary joist.

## **SITE OR LOCATION PLANS – INFORMATION TO BE INCLUDED**

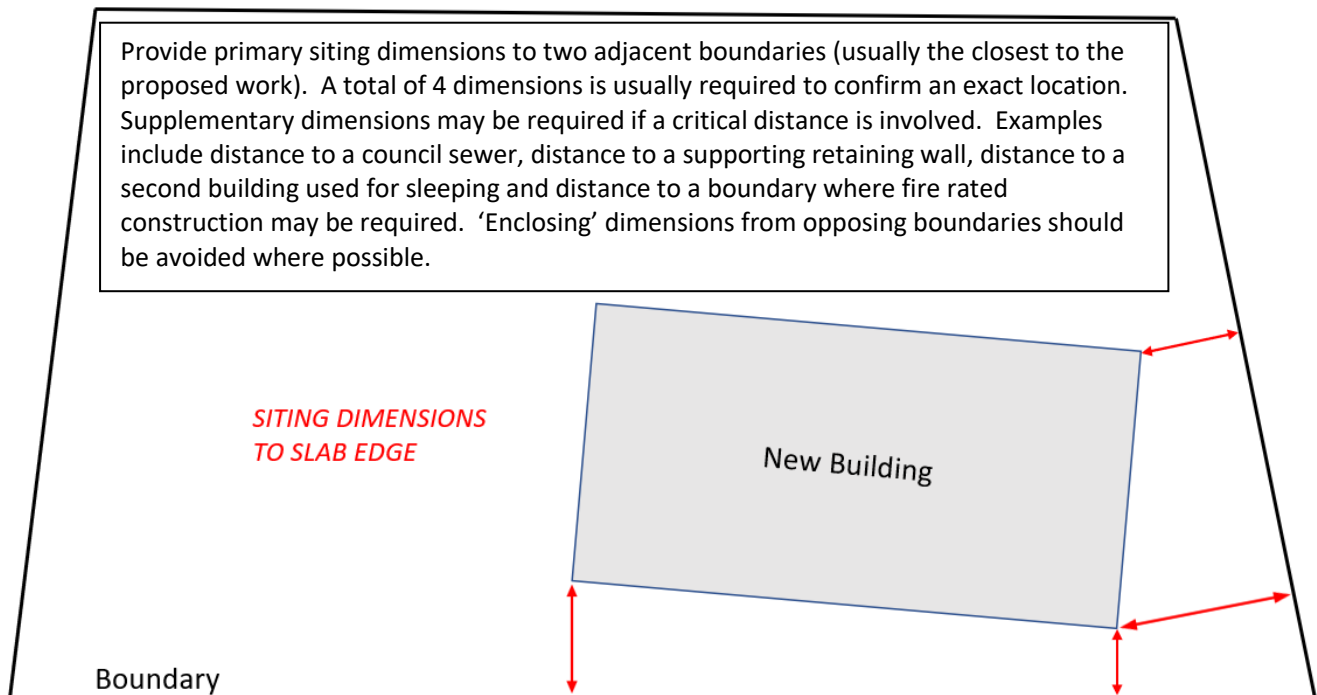
- The property address as on the application form.
- Legal description (Lot, DP number etc.).
- Show the property boundaries and any allotment boundaries within the property.
- Show front, rear and side setback yards as specified for your zone in the Second Generation District Plan (2GP). See rule 15.6.13 for residential zones, 18.6.16 for commercial zones and 16.6.10 for rural zones.
- Detail easements, water courses, hazards.
- Detail the road crossing/site access, including any proposed modifications to the footpath or verge.
- Detail contours/or levels, datum, north point.
- Specify floor levels in accordance with DCC guidance [www.dunedin.govt.nz/minimum-floor-levels](http://www.dunedin.govt.nz/minimum-floor-levels). Heights to be specified in NZVD 2016.
- Specify the extent of cut and fill for the building platform and/or retaining walls and also the volume in m3 of material to be placed or removed.
- Show the location of all drains and sewers.
- Detail the connection to the property services (drainage – foul and stormwater, water, gas).
- Provide details of resource consents/subdivision requirements for property. In particular, detail allocated building platform locations, effluent discharge, stormwater retention tanks or any other specific requirements which will affect the building or the land the building is located on.
- Show proposed and existing buildings (including swimming pools). This includes all farm sheds/out buildings.

## **BUILDING LOCATION CERTIFICATES**

- Building location certificates are used by Council to confirm that building work on site is located as per the approved building consent. Refer to [www.dunedin.govt.nz/building-services-forms](http://www.dunedin.govt.nz/building-services-forms) to find out if a building location certificate will be required.

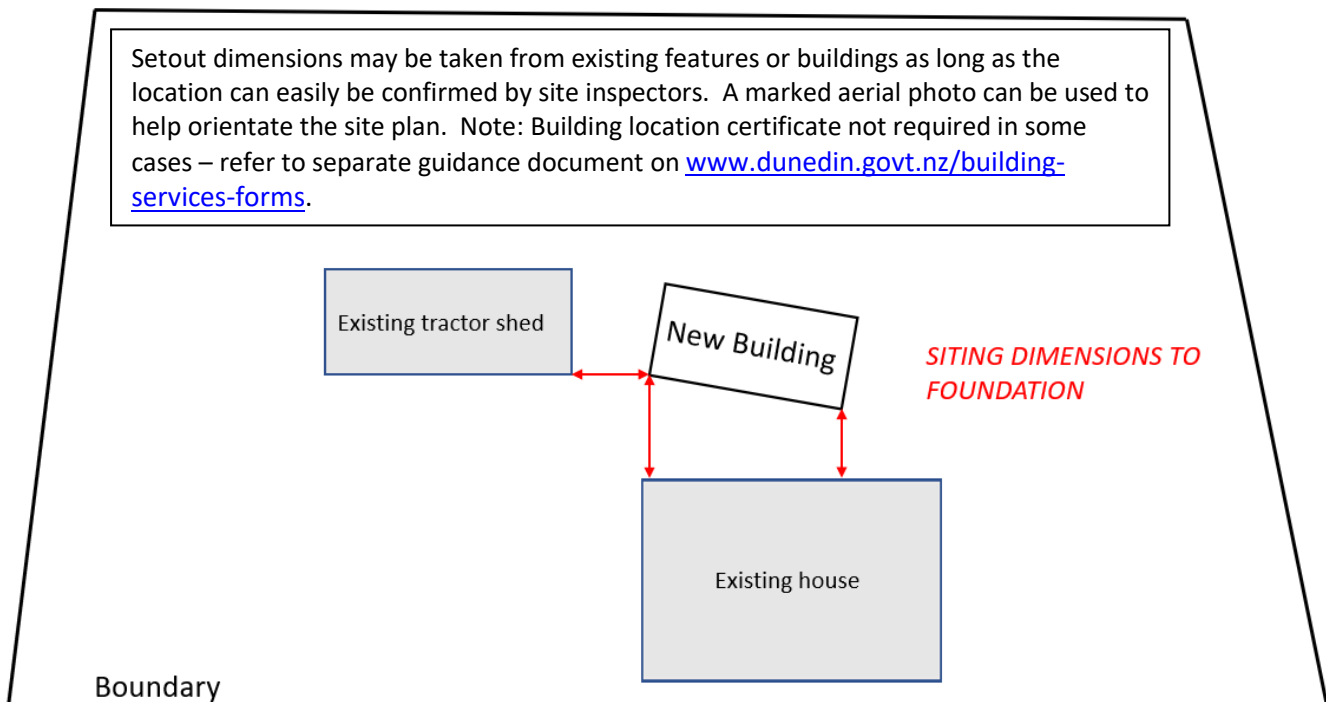
## NEW BUILDINGS IN RESIDENTIAL AREAS

*(Sketch showing basic dimension requirements)*

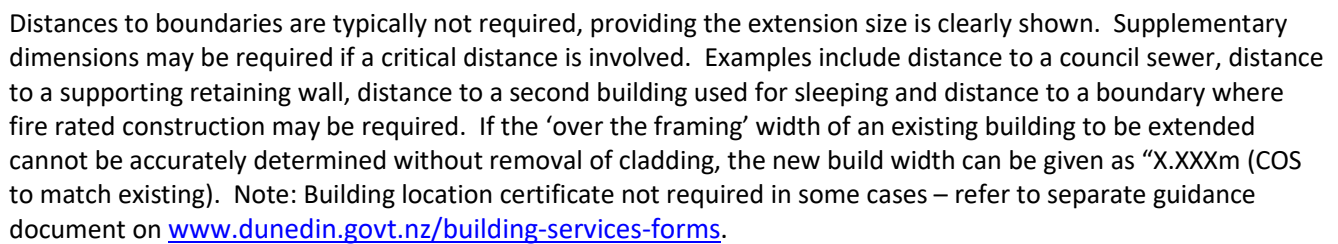


## NEW BUILDINGS 20m OR MORE FROM BOUNDARIES IN RURAL ZONES AND CLEAR OF ANY RESTRICTIONS

*(Sketch showing basic dimension requirements)*



*(Sketch showing basic dimension requirements)*

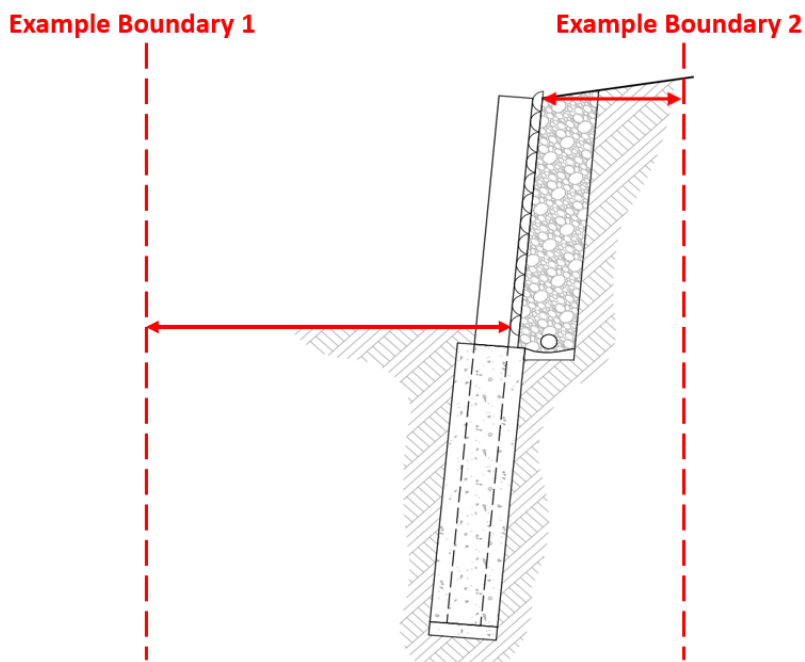


*(Sketch showing basic dimension requirements)*

DCCBCA-F1-SLI-v1.0  
Issued – May 2024

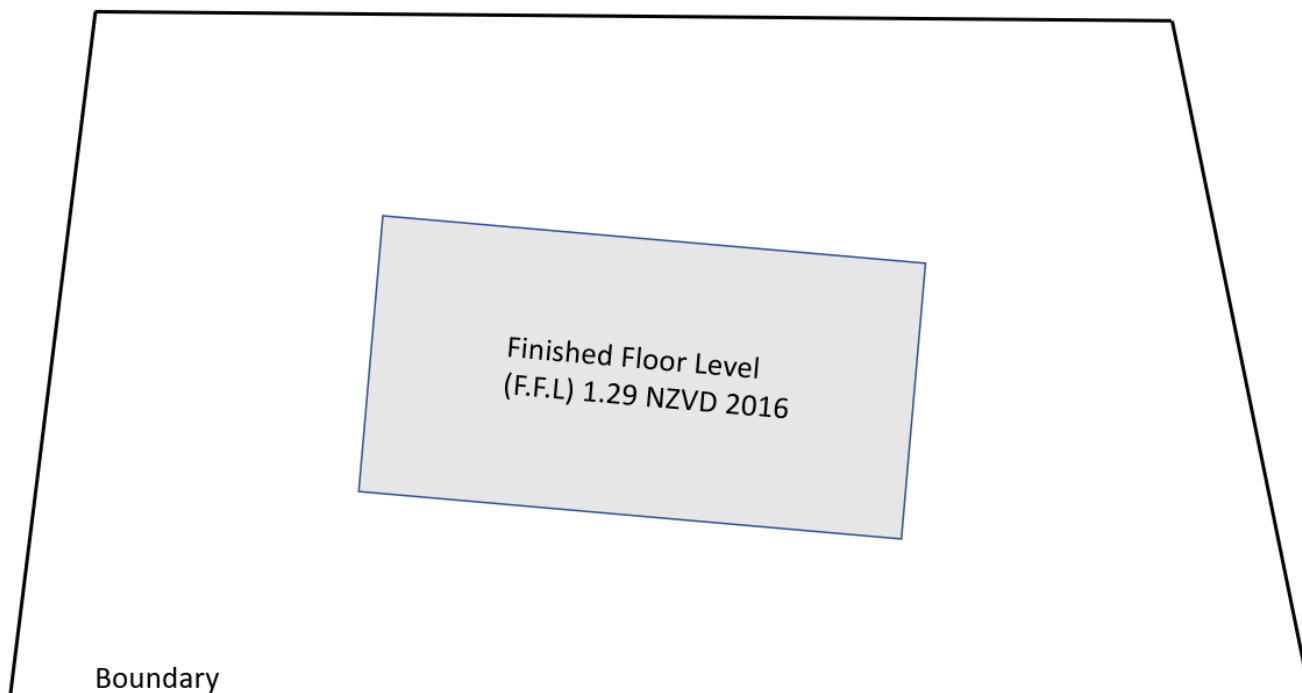
## CROSS SECTIONS

If any part of the retaining wall is closer than its own height from the boundary, provide a cross section through the closest point, referencing the boundary as shown below.



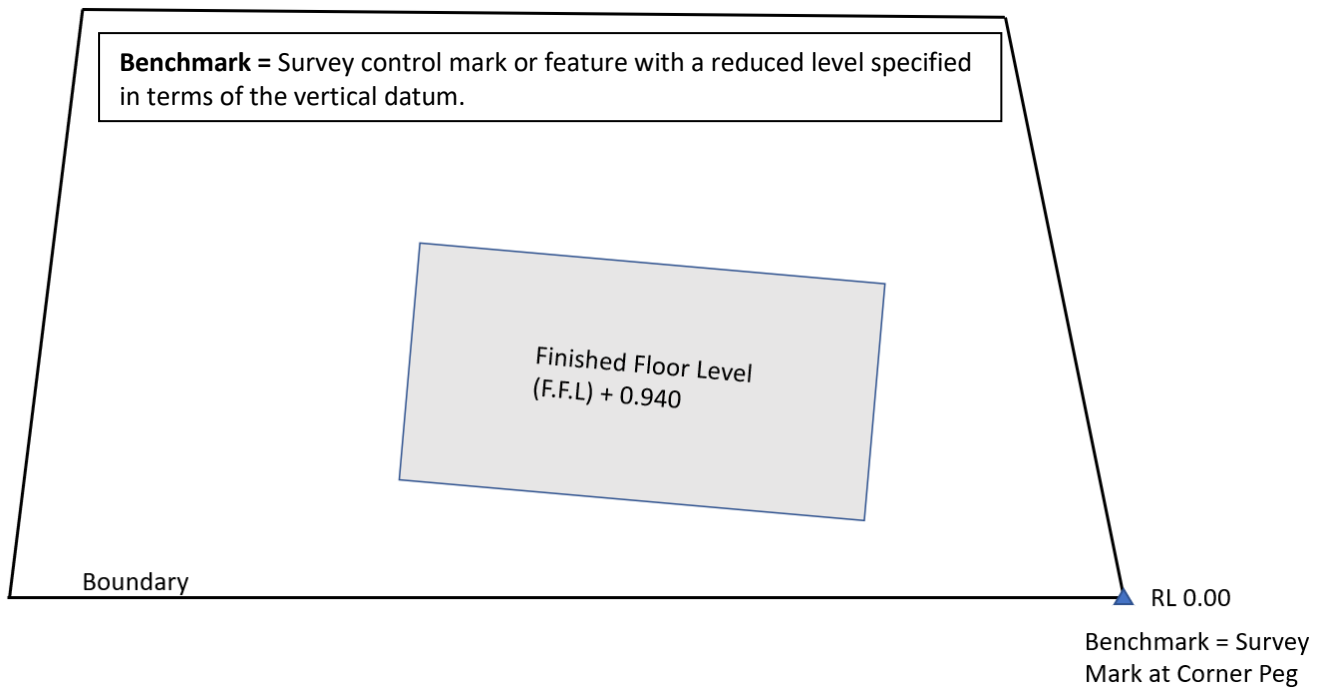
## REFERENCED TO NZ VERTICAL DATUM 2016

*(Sketch showing finished floor level)*



## REFERENCED TO LOCAL BENCHMARK OR REFERENCE LEVEL

(Sketch showing finished floor level)



## REFERENCED TO CROWN OF THE ROAD

(Sketch showing finished floor level)

