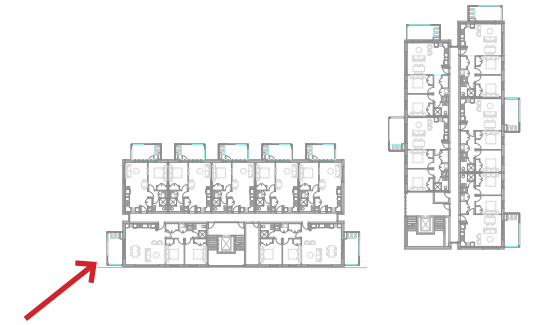


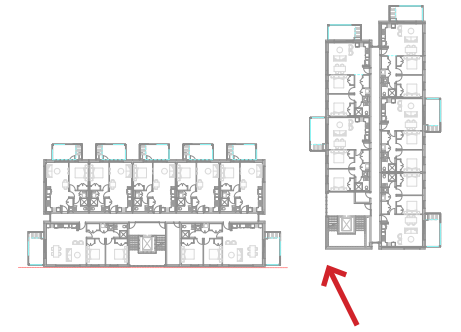
# 3D Perspectives

# Perspective - Aerial View



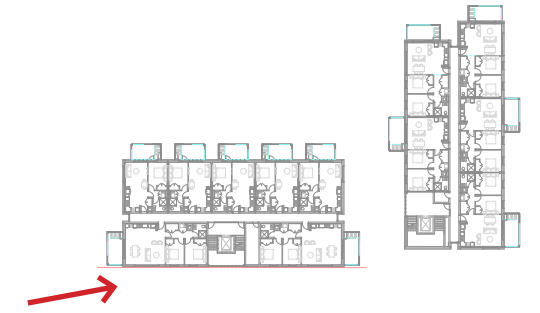


# Perspective - View from Carroll Street



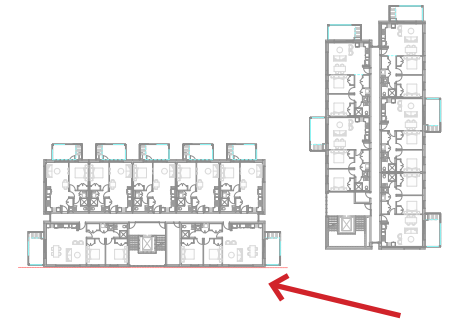


## Perspective - View from Carroll Street



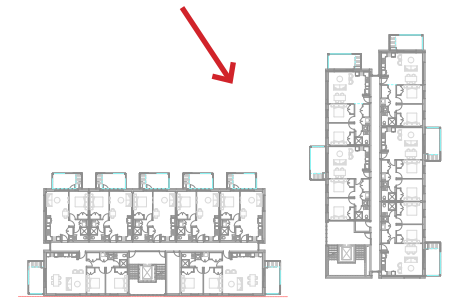


## Perspective - Building Entries



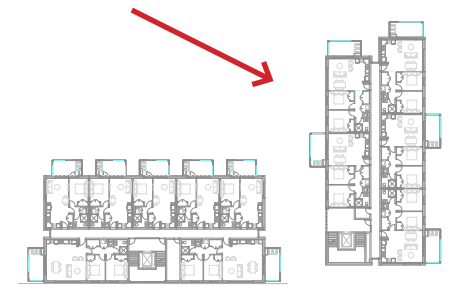


# Perspective - Internal Courtyard



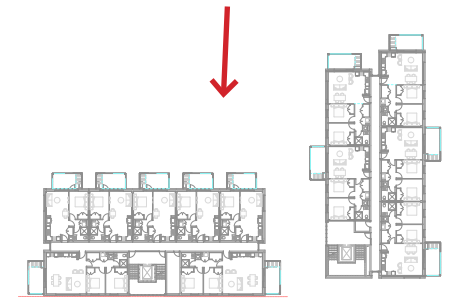


# Perspective - Reserve Access





# Perspective - View from Reserve



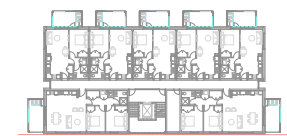


## Perspective - Driveway & Bicycle Access





# Perspective - Aerial From Reserve





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## APPENDIX 6:

### Landscaping Plans and Palettes – Kamo Marsh



CLIENT



PROJECT NAME

CARROLL STREET

ADDRESS

118 Carroll Street, Dunedin

RESOURCE CONSENT

5/05/2023

PREPARED BY



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SITE LOCATION PLAN



REFERENCE NO.

5312

| SHEET NO.  | SHEET TITLE                         | SHEET SUBTITLE            | REV |
|------------|-------------------------------------|---------------------------|-----|
| RC-LD-1000 | TITLE PAGE                          |                           | B   |
| RC-LD-1001 | LANDSCAPE MASTERPLAN                | SITE WIDE                 | B   |
| RC-LD-1002 | LANDSCAPE PLAN                      | APARTMENT BLOCK A         | B   |
| RC-LD-1003 | LANDSCAPE PLAN                      | APARTMENT BLOCK B         | B   |
| RC-LD-1004 | ELEVATIONS                          | COMMUNAL AREA             | B   |
| RC-LD-1005 | ELEVATIONS                          | STREET FRONTAGE & BLOCK B | B   |
| RC-LD-1006 | ELEVATIONS                          | RESERVE & RAISED GARDEN   | B   |
| RC-LD-1300 | FENCING MASTER PLAN                 | SITE WIDE                 | B   |
| RC-LD-1700 | SPECIMEN TREE MASTER PLAN & PALETTE | SITE WIDE                 | B   |
| RC-LD-1800 | INDICATIVE PLANTING PALETTE         |                           | B   |
| RC-LD-1801 | INDICATIVE HARDSCAPE PALETTE        |                           | B   |



LANDSCAPE AREA

Landscape  
(including garden bed  
& specimen trees)

1209m2  
(29%)



CARROLL STREET  
APARTMENTS

ADDRESS  
118 Carroll Street  
Dunedin



LANDSCAPE MASTERPLAN  
SITE WIDE

RESOURCE CONSENT

NOTES

1. Do not scale off drawings. Confirm set out of all dimensions on site prior to commencing work.
2. All plans to be read in conjunction with Architectus Plan Set and Calibre Engineer Plan Set.
3. Levels shown for reference only. Refer to Calibre Engineer Plan Set.
4. A 3 months Defects Liability Period shall be included for all Hard Landscaping.

LEGEND

- Property boundary
- FFL 00.000 Finished floor level
- Existing tree to be retained
- Existing tree to be removed
- Proposed specimen tree
- Fruiting species
- Proposed screening species
- Proposed garden bed
- Lawn
- Standard concrete, broom finish (US), decorative saw cuts as shown
- Exposed aggregate concrete with black oxide additive (8kg/m3), decorative saw cuts as shown
- Precast pavers to match brick on buildings
- Coloured concrete with black oxide additive
- Timber decks
- Fold down washing line
- Letterbox location
- Visibility splay - all fencing and planting to be max. 1.0m high in visibility splay
- Gate access
- Step location (by Architects)
- Ramp location (by Architects)
- Maintenance path (Gap in planting)
- Block wall
- Timber crib wall

| REV | DATE     | BY | ISSUE            |
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| A   | 13/04/23 | SG | PRE-RC           |



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PAGE REVISION RC-LD-1001 B

PALMYRA RESERVE

APARTMENT BLOCK B  
FFL 46.50

APARTMENT BLOCK A  
FFL 46.50

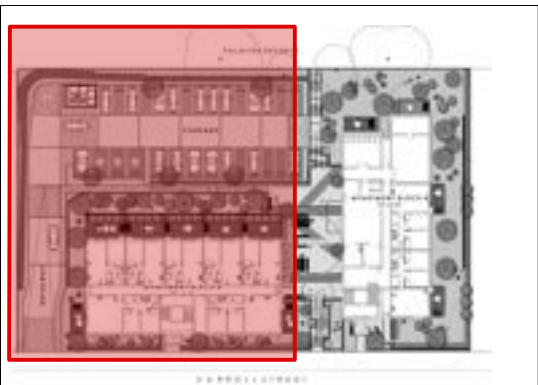
CARPARK

BIN  
STORAGE

DRIVEWAY

CARROLL STREET





LOCATION PLAN  
APARTMENT BLOCK A

NTS

Communal bin storage area.  
To be detailed by Architect,  
refer to Architects plan set.

Existing group of 1x Sophora  
Microphylla, 2x Cordyline  
Australis to be removed - Refer  
to Arborist Report for details.

Insitu standard concrete  
driveway.

Timber crib wall - refer to Civil  
Engineer Plan set for details.

Insitu exposed aggregate  
thresholds to support traffic  
calming.

Screening around decks to be  
detailed by the Architect -  
refer to Architect plan set for  
details.

Specimen trees to create  
avenue effect on driveway.

Buffer planting to screen  
ground level apartment.

Visibility splay all planting and  
fences max 1.0m in height.



Existing Betula Pendula  
specimen tree within reserve to  
be protected during  
construction - Refer to Arborist  
Report for details.

Existing group of 1x Sophora  
Microphylla and 2x Cordyline  
Australis specimen trees to be  
removed. - Refer to Arborist  
Report for details.

Permeable fence on boundary  
next to reserve with buffer  
planting behind to screen car  
park and apartments.

Permeable paving or concrete  
under drip line of existing trees.

Bollards to stop vehicle tracking  
onto path.

Planting strip.

Block retaining wall with  
balustrade fixed to top and  
climber plant species proposed  
at the base of the wall - to be  
detailed by the Civil Engineer.

Ramp with handrails - to be  
detailed by the Civil Engineer.

Raised vegetable gardens to be  
confirmed at detailed design  
stage.

Fruiting species in communal  
area.

Timber decks for apartments - to  
be detailed by the Architects.

Picnic tables and seating in  
communal area. To be surface  
fixed to the concrete.

Wire foliage system fixed to wall  
for climbers to grow up.

Timber bench seat at the entry  
node, seat to be hidden from  
street behind planting.

Screening around decks to be  
detailed by the Architect - refer  
to Architect plan set for details.

Terraced raised garden beds.

Low block wall to create entry  
to apartments and to be used  
as seating.

Planting to screen windows.

Brick wall with apartment  
signage to support way finding  
throughout the site.



CARROLL STREET

APARTMENTS

ADDRESS  
118 Carroll Street  
Dunedin

CLIENT



LANDSCAPE PLAN

APARTMENT BLOCK A

RESOURCE CONSENT

NOTES

1. Do not scale off drawings. Confirm set out of all dimensions on site prior to commencing work.
2. All plans to be read in conjunction with Architectus Plan Set and Calibre Engineer Plan Set.
3. Levels shown for reference only. Refer to Calibre Engineer Plan Set.
4. A 3 months Defects Liability Period shall be included for all Hard Landscaping.

LEGEND

- Property boundary
- FFL 00.000 Finished floor level
- Existing tree to be retained
- Existing tree to be removed
- Proposed specimen tree
- Fruiting species
- Proposed screening species
- Proposed garden bed
- Lawn
- Standard concrete, broom finish (US), decorative saw cuts as shown
- Exposed aggregate concrete with black oxide additive (8kg/m3), decorative saw cuts as shown
- Precast pavers to match brick on buildings
- Coloured concrete with black oxide additive
- Timber decks
- Fold down washing line
- Letterbox location
- Visibility splay - all fencing and planting to be max. 1.0m high in visibility splay
- Gate access
- Step location (by Architects)
- Ramp location (by Architects)
- Maintenance path (Gap in planting)
- Block wall
- Timber crib wall

|     |          |    |                  |
|-----|----------|----|------------------|
|     |          |    |                  |
| B   | 05/05/23 | SG | RESOURCE CONSENT |
| A   | 13/04/23 | SG | PRE-RC           |
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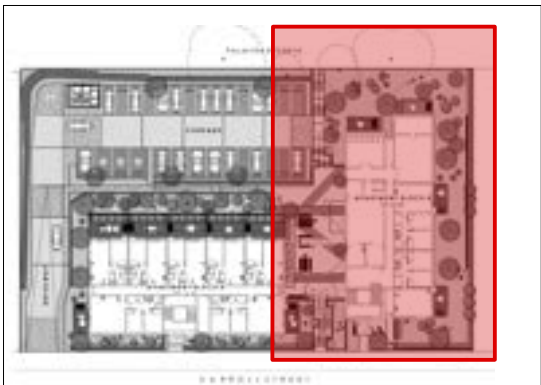
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REF. NO. 5312 PAGE REVISION RC-LD-1002 B





LOCATION PLAN  
APARTMENT BLOCK B

NTS

Existing group of 1x Sophora  
Microphylla, 2x Cordyline  
Australis to be removed - Refer  
to Arborist Report for details.

Bollards to stop vehicle tracking  
onto path.

Insitu exposed aggregate  
concrete.

Group of fruiting species in  
communal area.

Group of fruiting species in  
communal area.

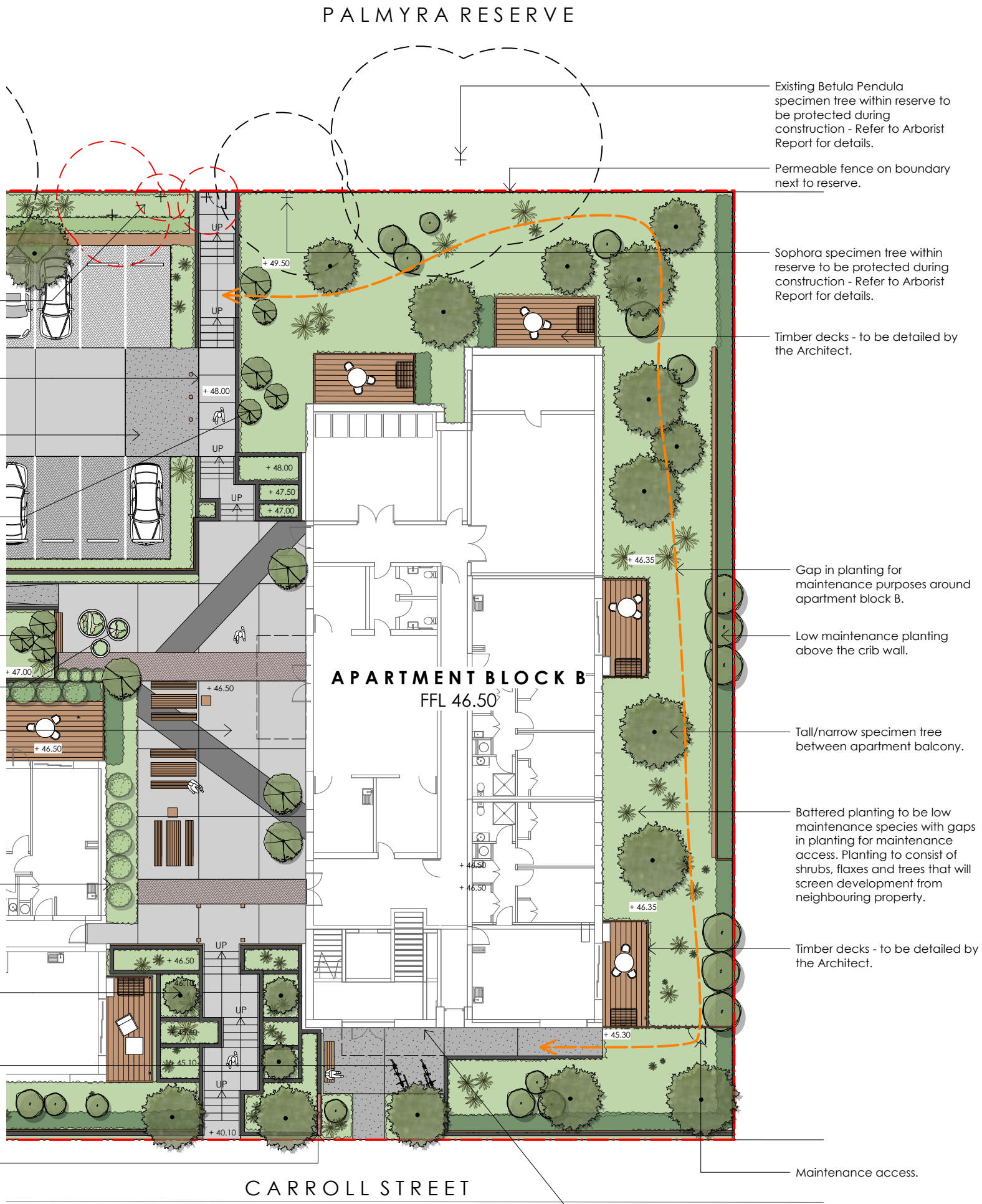
Raised vegetable gardens. To  
be confirmed at detailed  
design stage.  
'Welcoming' structure to be  
incorporated into the  
communal entry.  
Central courtyard to have fixed  
seating, pockets of greenery,  
raised planters and pavement  
pattern. Paving design in central  
courtyard to be confirmed at  
detailed design stage.

Wire foliage system  
for climbers to grow  
up.

Terraced raised  
garden beds.

Visitor bike rack.

Brick wall with apartment  
signage to support way  
finding throughout the site.



# CARROLL STREET APARTMENTS

ADDRESS  
118 Carroll Street  
Dunedin



## LANDSCAPE PLAN APARTMENT BLOCK B

### RESOURCE CONSENT

#### NOTES

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4. A 3 months Defects Liability Period shall be included for all Hard Landscaping.

#### LEGEND

- Property boundary
- FFL 00.000 Finished floor level
- Existing tree to be retained
- Existing tree to be removed
- Proposed specimen tree
- Fruiting species
- Proposed screening species
- Proposed garden bed
- Lawn
- Standard concrete, broom finish (U5), decorative saw cuts as shown
- Exposed aggregate concrete with black oxide additive (8kg/m3), decorative saw cuts as shown
- Precast pavers to match brick on buildings
- Coloured concrete with black oxide additive
- Timber decks
- Fold down washing line
- Letterbox location
- Visibility play - all fencing and planting to be max. 1.0m high in visibility play
- Gate access
- Step location (by Architects)
- Ramp location (by Architects)
- Maintenance path (Gap in planting)
- Block wall
- Timber crib wall

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Drawn SG  
Check EH

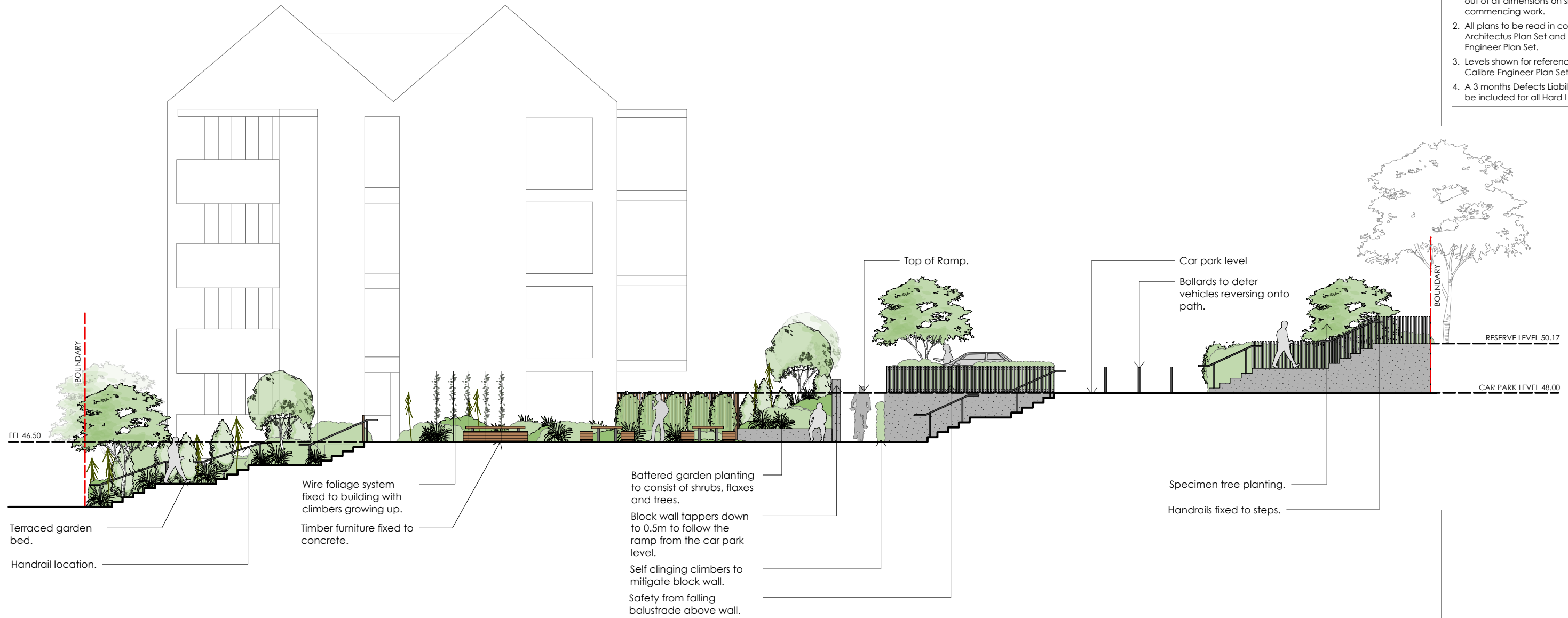
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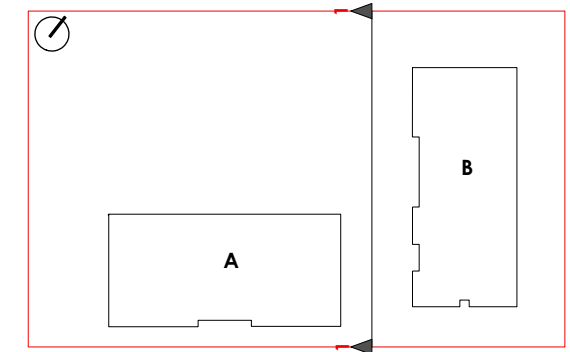


APARTMENT A



1/1 - COMMUNAL AREA

SCALE 1:150@A3



CARROLL STREET

APARTMENTS

ADDRESS  
118 Carroll Street  
Dunedin

CLIENT



ELEVATIONS

COMMUNAL AREA

RESOURCE CONSENT

NOTES

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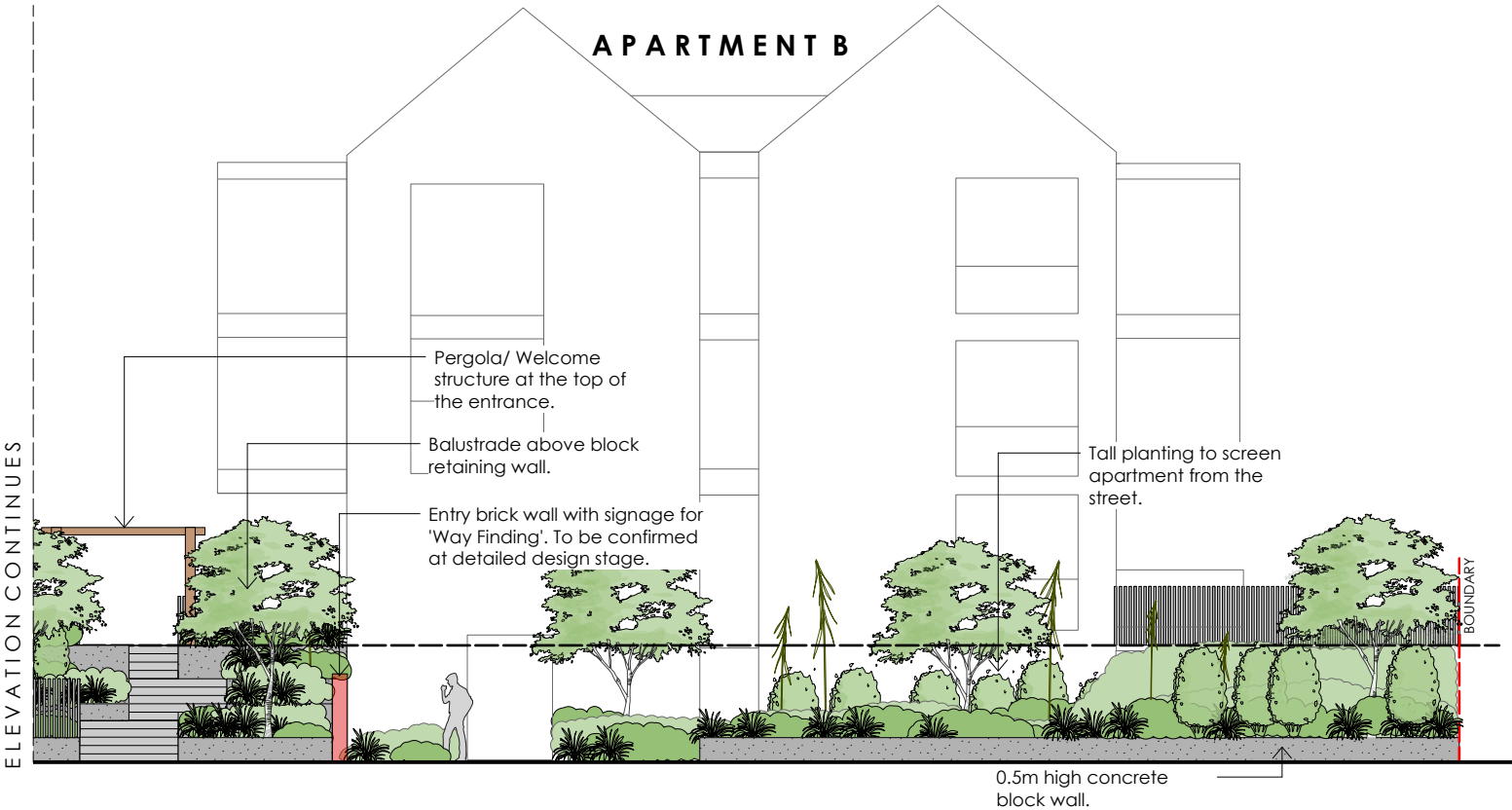
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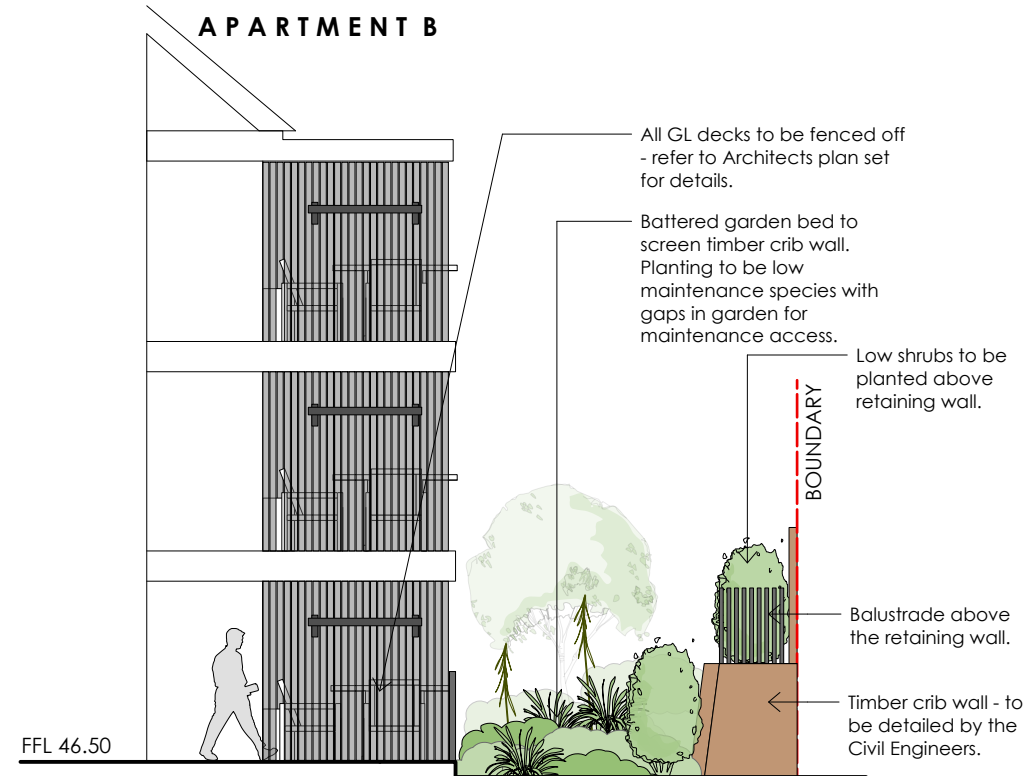
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SCALE 1:150@A3



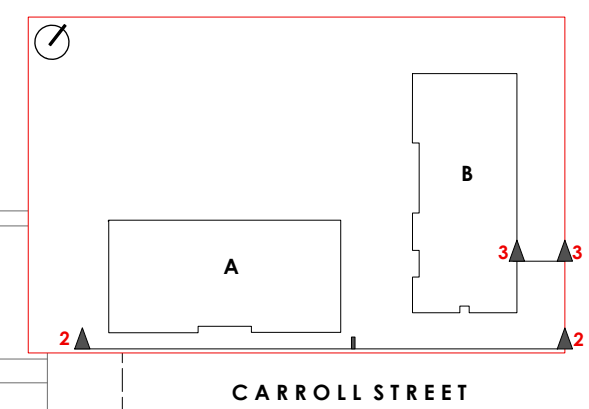
## 2/2 - STREET FRONTAGE

SCALE 1:150@A3



## 3/3 - APARTMENT BLOCK B

SCALE 1:100@A3



## CARROLL STREET

### APARTMENTS

ADDRESS  
118 Carroll Street  
Dunedin

CLIENT



### ELEVATIONS

STREET FRONTAGE & BLOCK B

### RESOURCE CONSENT

### NOTES

1. Do not scale off drawings. Confirm set out of all dimensions on site prior to commencing work.
2. All plans to be read in conjunction with Architectus Architecture Plan Set and Calibre Engineer Plan Set.
3. Levels shown for reference only. Refer to Calibre Engineer Plan Set.
4. A 3 months Defects Liability Period shall be included for all Hard Landscaping.

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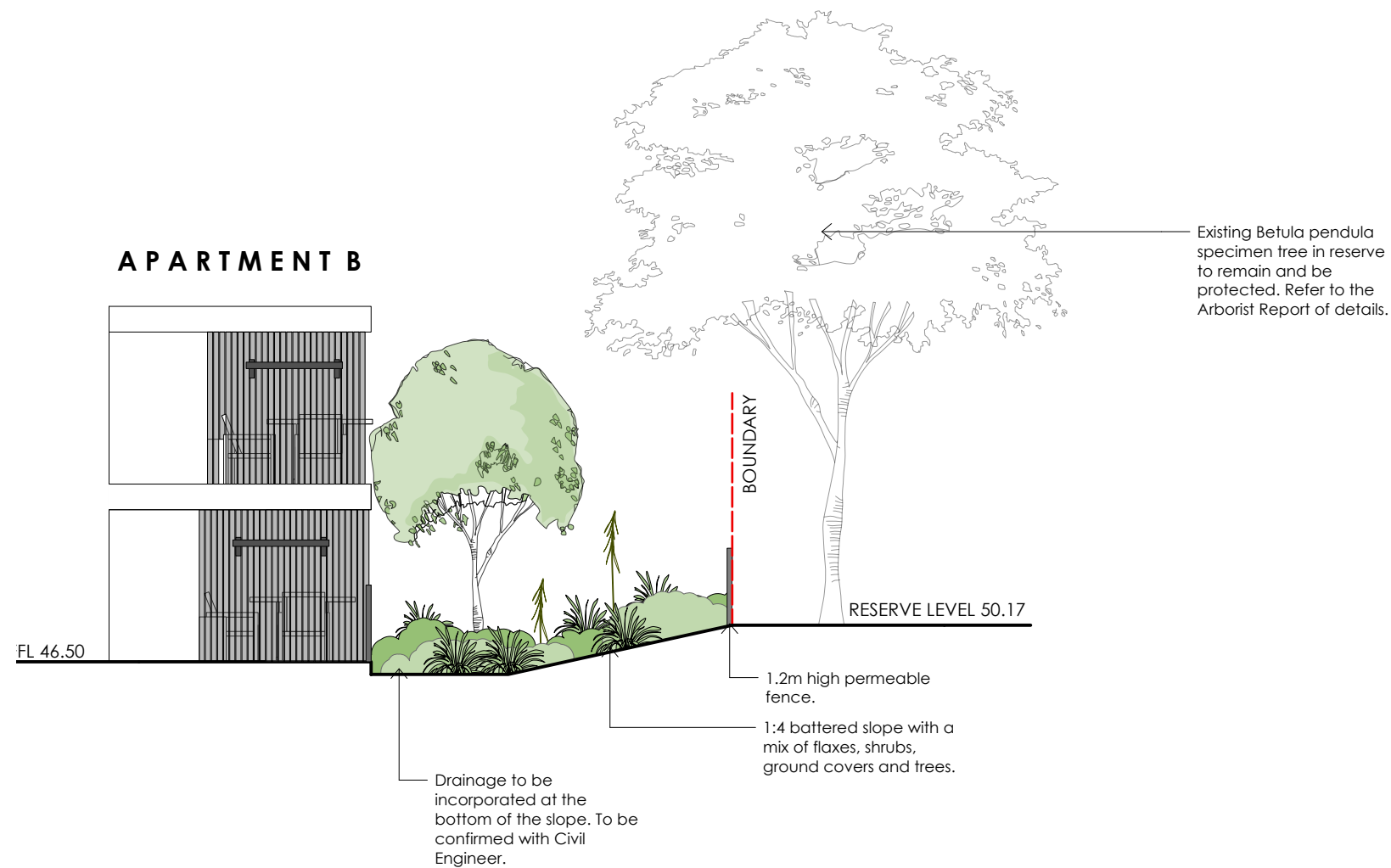
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Date 5/05/2023  
Scale 1:150 &  
1:100@A3

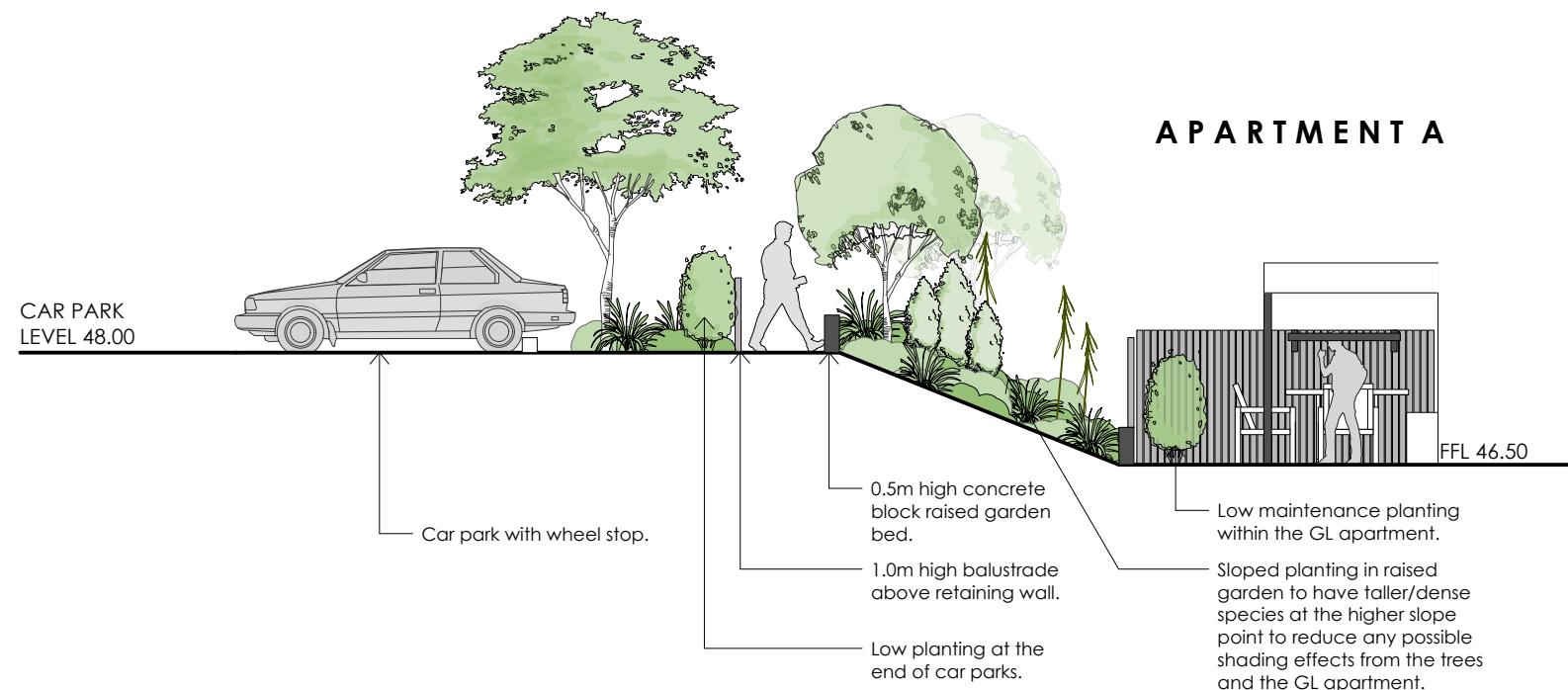
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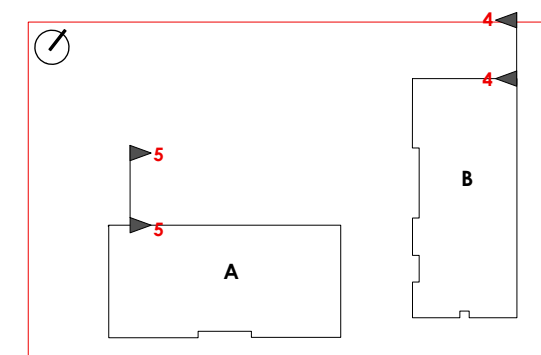
#### 4/4 - APARTMENT BLOCK B & RESERVE

SCALE 1:100@A3



#### 5/5 - RAISED GARDEN & APARTMENT A ELEVATION

SCALE 1:100@A3



CARROLL STREET

#### CARROLL STREET

##### APARTMENTS

ADDRESS  
118 Carroll Street  
Dunedin

CLIENT



##### ELEVATIONS

RESERVE & RAISED GARDEN

##### RESOURCE CONSENT

##### NOTES

1. Do not scale off drawings. Confirm set out of all dimensions on site prior to commencing work.
2. All plans to be read in conjunction with Architectus Architecture Plan Set and Calibre Engineer Plan Set.
3. Levels shown for reference only. Refer to Calibre Engineer Plan Set.
4. A 3 months Defects Liability Period shall be included for all Hard Landscaping.

| REV | DATE     | BY | ISSUE            |
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## CARROLL STREET

### APARTMENTS

ADDRESS  
118 Carroll Street  
Dunedin

CLIENT



### FENCING MASTER PLAN

SITE WIDE

### RESOURCE CONSENT

#### NOTES

1. Confirm set out of all dimensions on site prior to commencing work.
2. Do not scale off drawings.
3. All gates to match adjacent fencing type, unless specified otherwise.
4. \*Allow to stain all exposed visible surface of timber paling fencing facing the street/JOAL or as indicated on fencing plan. Apply 2 coats charcoal timber stain, colour Resene 'Shadow Match' or similar approved by Landscape Architect.
5. Prior to excavating fencing post holes, confirm on site there are no clashes with underground services. Notify the Landscape Architect if any clashes are likely to occur.
6. A 3 months Defects Liability Period shall be included for all Hard Landscaping.

#### LEGEND

- 1m High steel open railing balustrade
- 1.2m High steel open railing fence
- 1.8m High timber paling fence
- 0.5m High block wall (Finish TBC)
- Brick wall with apartment signs (TBC at detailed design stage)
- Hand rail
- Block wall height varies - refer to Civil Engineer plan set (Finish TBC)
- Crib wall height varies - refer to Civil Engineer plan set

1.0m high safety from falling balustrade above retaining wall.

Crib Wall - to be detailed by Civil Engineer.

Maintenance gate.

|     |          |    |                  |
|-----|----------|----|------------------|
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Block walls vary in height.



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## PALMYRA RESERVE

Permeable balustrade fence on boundary.

All screens around apartment decks to be detailed by the Architect.

Crib Wall - to be detailed by Civil Engineer.

Bin storage detailed by Architect.

1.0m high safety from falling balustrade above retaining wall.

Crib Wall - to be detailed by Civil Engineer. Safety from falling fence on top.

## CARPARK

1.0m high safety from falling balustrade above block retaining wall.

FALL

FALL

FALL

FALL

All screens around apartment decks to be detailed by the Architect.

1.0m high safety from falling balustrade above block retaining wall.

## APARTMENT BLOCK B

FFL 46.50

## APARTMENT BLOCK A

FFL 46.50

0.5m high block wall.

Brick wall with apartment signage - to be confirmed at detailed design stage.

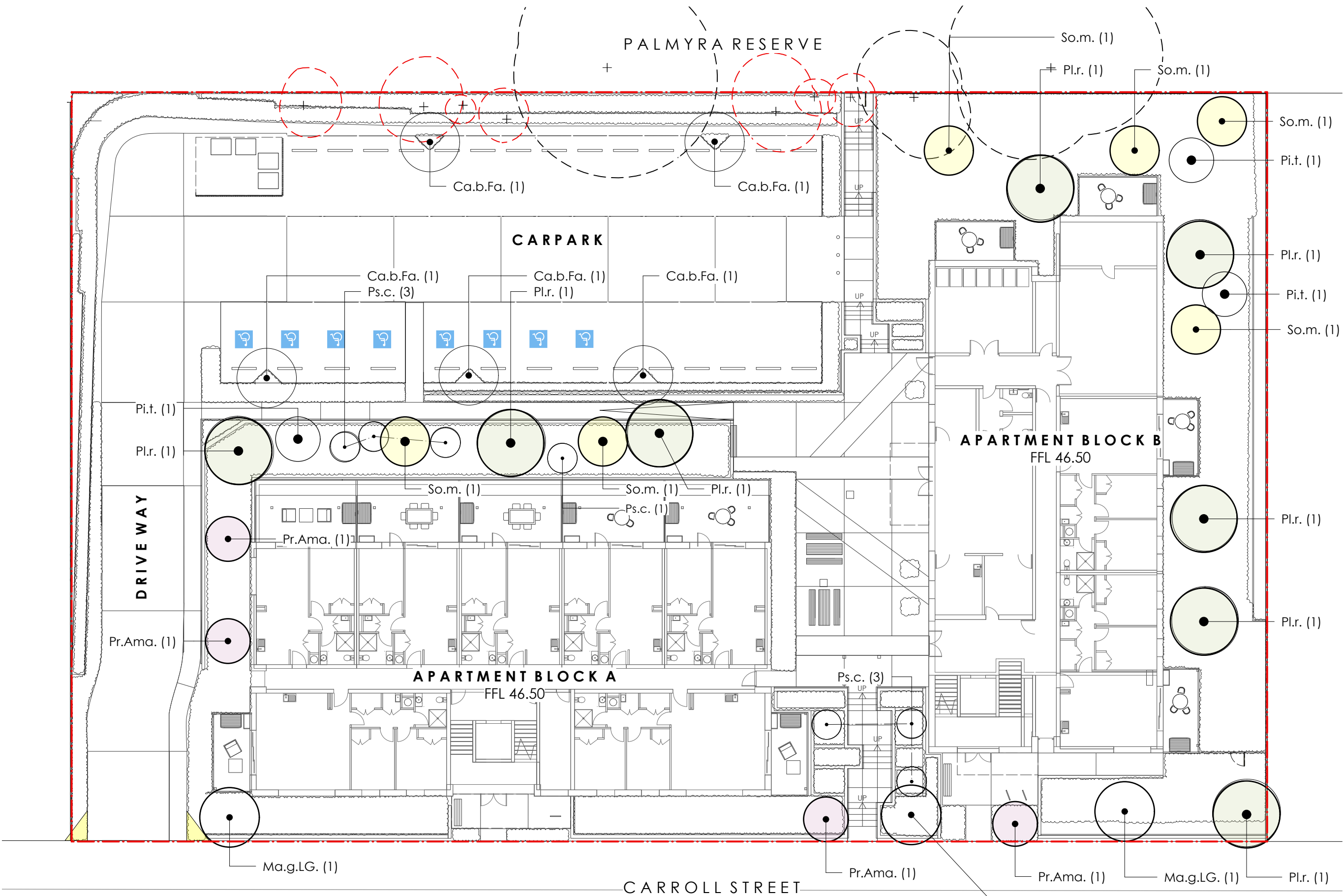
Brick wall with apartment signage - to be confirmed at detailed design stage.

All screens around apartment decks to be detailed by the Architect.

DRIVE WAY

## CARROLL STREET





| Specimen Tree Schedule - Carroll Street |     |                                   |                          |                |              |
|---|-----|-----------------------------------|--------------------------|----------------|--------------|
| ID                                      | Qty | Botanical Name                    | Common Name              | Scheduled Size | Remarks      |
| Ca.b.Fa.                                | 5   | Carpinus betulus 'Fastigiata'     | European Hornbeam        | 2000/40L       | To Be Staked |
| Ma.g.LG.                                | 3   | Magnolia grandiflora 'Little Gem' |                          | 2000/40L       | To Be Staked |
| Pi.t.                                   | 3   | Pittosporum tenuifolium           | Kohuhu                   | 1500/10L       | To Be Staked |
| Pl.r.                                   | 8   | Plagianthus regius                | Ribbonwood / Manatu      | 2000/40L       | To Be Staked |
| Pr.Ama.                                 | 4   | Prunus 'Amanogawa'                | Upright Flowering Cherry | 1800/40L       | To Be Staked |
| Ps.c.                                   | 7   | Pseudopanax crassifolius          | Lancewood                | 1500/10L       | To Be Staked |
| So.m.                                   | 6   | Sophora microphylla               | Kowhai                   | 1800/40L       | To Be Staked |

CARROLL STREET

APARTMENTS

ADDRESS  
118 Carroll Street  
Dunedin

CLIENT



SPECIMEN TREE MASTER PLAN & SCHEDULE

RESOURCE CONSENT

NOTES

- Do not scale off drawings.
- All plans to be read in conjunction with Architectus Architecture Plan Set and Beca Engineer Plan Set.
- All trees shall be at least 1.5m high at the time of planting and once established must be maintained at a height of at least 3m thereafter (with the exception of any proposed fruit trees).
- All landscaping shall be established on site within the first planting season (extending from 1 April to 30 September) following the final, passed building inspection.
- All landscaping shall be maintained and if dead, diseased, or damaged, shall be replaced by the consent holder within the following planting season (extending from 1 April to 30 September) with trees/shrubs of similar species to the existing landscaping and capable of achieving a minimum height of 3m (with the exception of any fruit trees).

LEGEND

- Property boundary
- FFL 00.000 Finished floor level
- Existing tree to be retained
- Existing tree to be removed
- Proposed specimen tree

| REV | DATE     | BY | ISSUE            |
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5312

PAGE  
REVISION B

RC-LD-1700



## SPECIMEN TREE SPECIES



## FRUIT SPECIES



## SHRUBS/GROUND COVERS



## HEDGES



## CLIMBERS

**Indicative Plant list**

Plant species include, but are not limited to:

**Specimen Tree Species**

(Grade 1500 - 2000 @ 40L)

*Carpinus betulus 'Fastigata'*  
*Magnolia* spp.  
*Pittosporum* spp.  
*Platanus regius*  
*Prunus* spp.  
*Pseudopanax crassifolius*  
*Sophora microphylla*

**Fruiting Tree Species**

(Grade 1200- 1500 @ 10L)

*Citrus limonia 'Meyer'*  
*Malus domestica 'Peasgood Non Such'*  
*Pyrus communis 'Winter Nellis'*  
*Pyrus communis 'Garden Belle'*

**Hedging Shrubs**

Grade 600 @ PB8-12

*Corakia* spp.  
*Griseelinia* spp.

**Medium Shrubs**

Grade 400-600 @ PB5-8

*Coprosma* spp.  
*Pittosporum* spp.  
*Phormium* spp.  
*Hebe* spp.  
*Pseudopanax* spp.

**Small shrubs**

Grade 300-500 @ PB3

*Carex testacea*  
*Libertia* spp.  
*Lomandra* spp.  
*Muehlenbeckia axillaris*  
*Labellia angulata*  
*Chionochloa flavicans*  
*Dianella* spp.  
*Chionochloa rubra*

**Creepers/Climbers**

(to climb up retaining walls & twall of apartment block A)

*Trachelospermum jasminoides*  
*Clematis paniculata*  
*Ficus pumila*

**CARROLL STREET  
APARTMENTS**

118 Carroll Street  
Dunedin

**INDICATIVE PLANTING PALETTE****RESOURCE CONSENT**

| REV | DATE     | BY | ISSUE            |
|-----|----------|----|------------------|
| B   | 05/05/23 | SG | RESOURCE CONSENT |
| A   | 13/04/23 | SG | PRE-RC           |



Te Kaitiaki Building, 48 Herbert St, PO Box 300, Christchurch 8140  
 Mountbatten Building, 33 Bevo St, Christchurch 8100

T: 03 348 1811  
 E: kamo@kamo-marsh.co.nz  
 W: kamo-marsh.co.nz

Design EH/SG Date 5/05/2023  
 Drawn SG Scale N/A  
 Check EH

REF. NO. 5312 PAGE 8  
 REVISION RC-LD-1800





TIMBER CRIB WALL & PLANTING



CONCRETE TEXTURES



WIRE FOLIAGE SYSTEM



LARGE POT PLANTS



CLIMBERS ON WALL



PERMEABLE PAVERS



CULTURAL PAVEMENT DESIGN



SEATING



RAISED PLANTERS



VEGE/HERB GARDENS



BLOCK WALLS



ENCLOSED SPACES WITH SEATING

## CARROLL STREET APARTMENTS

ADDRESS  
118 Carroll Street  
Dunedin



INDICATIVE HARDSCAPE PALETTE

RESOURCE CONSENT

| REV | DATE        | BY | ISSUE            |
|-----|-------------|----|------------------|
| B   | 05/05/23 SG |    | RESOURCE CONSENT |
| A   | 11/04/23 SG |    | PRE-KC           |



Te whiri Building, 48 Herford St, PO Box 300, Christchurch 8140  
Mauritius Building, 33 Rees St, Dunedin 9000

T: 03 348 181  
E: info@kamo-marsh.co.nz  
W: kamo-marsh.co.nz

Design EH/SG Date 5/05/2023  
Drawn SG Scale 1:250@A3  
Check EH

REF. NO. 5312 PAGE REVISION RC-LD-1801 B



## APPENDIX 7:

### Earthworks Plans – Calibre Group



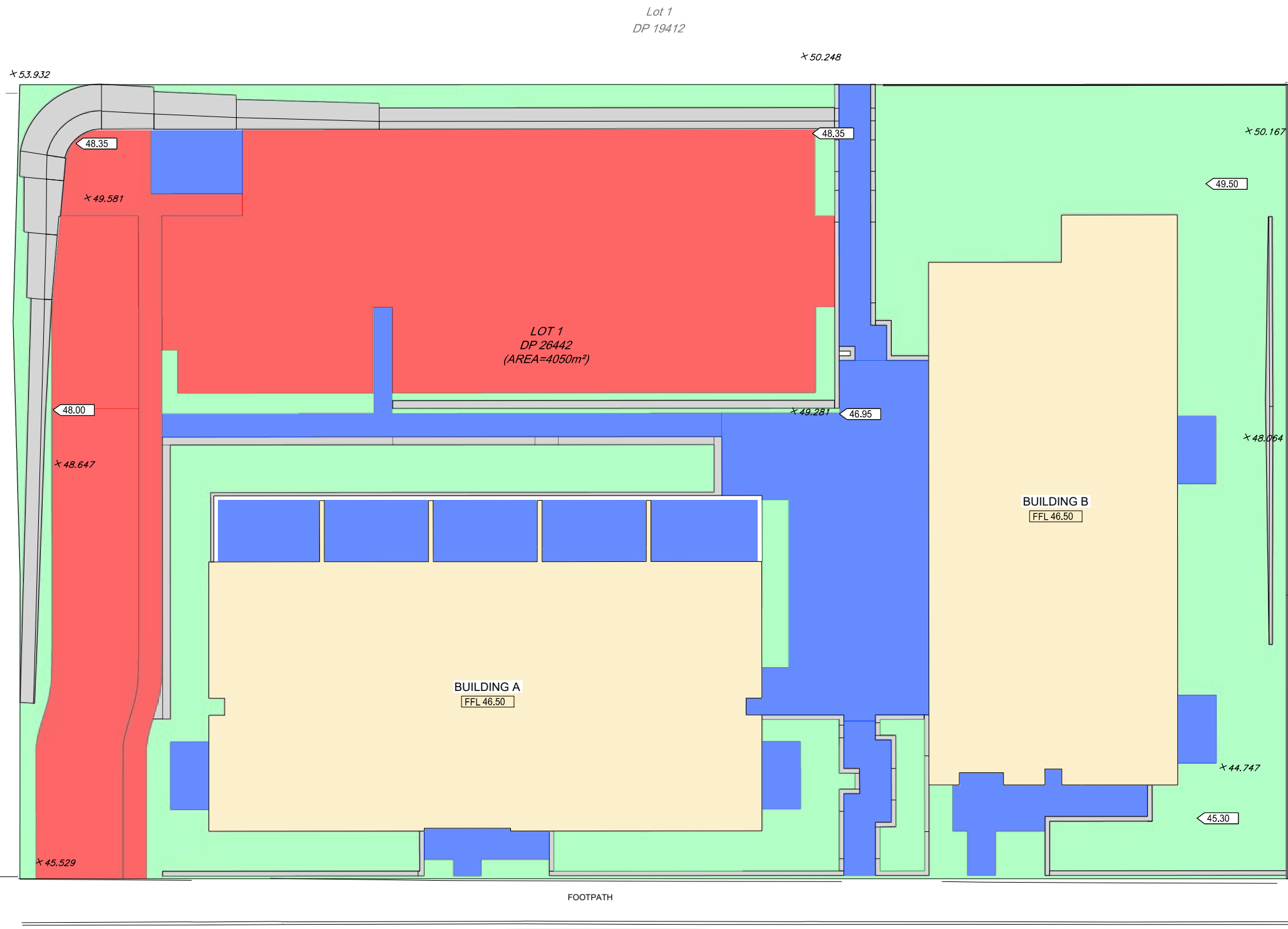
NOTES:

1. REFER SHEET C001 FOR GENERAL EARTHWORKS NOTES.
2. EARTHWORKS ARE BEING CARRIED OUT TO REMOVE CONTAMINATED SOIL, IMPORT REPLACEMENT MATERIAL & TO FORM FINISHED LEVELS.
3. THIS PLAN SHOULD BE READ IN CONJUNCTION WITH GEOTECHNICAL AND DETAILED SITE INVESTIGATION REPORTS.
4. CUT CALCULATED BASED ON AVERAGE TOP SOIL DEPTH OF 300mm. CONTAMINATED AND UNCLEAN FILL REQUIREMENTS HAVE BEEN CONSIDERED & INCLUDED IN VOLUMES SHOWN.
5. BULK EARTHWORKS DRAWING PREPARED IN ACCORDANCE WITH LATEST ARCHITECTURAL DESIGN (24.04.2023)
6. CUT VOLUMES ARE APPROXIMATE ONLY. VOLUMES SHOWN HAVE BEEN CALCULATED FOR THE RESOURCE CONSENT APPLICATION. THE ACTUAL VOLUMES FOR CUT AND FILL IS TO BE CONFIRMED ONCE DETAILED DESIGN AND SITE TESTING FOR PAVEMENT CBR'S HAVE BEEN COMPLETED
7. PAVEMENT SUBGRADE DESIGN DEPTH TO BE CONFIRMED ONCE SITE TESTING HAS BEEN COMPLETED.
8. FINISHED LEVELS SHOWN ARE A PRELIMINARY DESIGN AND FINAL GROUND LEVELS ARE SUBJECT TO DETAIL DESIGN. LEVELS WILL NOT VARY SIGNIFICANTLY.
9. TOTAL VOLUME OF EARTHWORKS WILL DEPEND ON CONTAMINATION EXTENT (TBC FOLLOWING DEMOLITION WORKS & AS DIRECTED BY ENVIRONMENTAL ENGINEER).
10. FINAL SITE LEVELS SUBJECT TO CHANGE THROUGH DETAILED DESIGN.
11. FURTHER SOIL TESTING ANTICIPATED BENEATH EXISTING HARDSTAND AND DWELLINGS FOLLOWING DEMOLITION.

EARTHWORKS BASED ON EXISTING TOPSOIL AVE. DEPTH 300mm.  
EFFECTIVE AREA = 4,050m<sup>2</sup>  
CUT:  
CUT DEPTH VARIES = 0.00m - 4.6m  
TOTAL CUT = 4,439m<sup>3</sup>  
FILL:  
FILL DEPTH VARIES = 0.00m - 0.80m  
TOTAL FILL = 441m<sup>3</sup>

LEGEND  
PROPOSED

- × 20.34 EX. GROUND LEVEL SPOT HEIGHT  
◁ 000.00 FINISHED LEVEL
- CUT/FILL SURFACES
- NON-TRAFFICABLE AREA  
TRAFFICABLE AREA  
LANDSCAPE AREA  
RETAINING WALLS AREA



CARROLL STREET

ISSUED FOR  
RESOURCE CONSENT

0 FOR RESOURCE CONSENT  
Revision

WB 03.05.23  
App

|          |                |            |
|----------|----------------|------------|
| Surveyed | PATERSON PITTS | 02.12.2022 |
| Designed | W.MARSHALL     | 26.04.23   |
| Drawn    | M.TOLEDO       | 26.04.23   |
| Reviewed | Z.DWAN         | 26.04.23   |
| Approved | W.BLANCHFIELD  | 26.04.23   |

Client



Project Title  
PACKAGE DUNEDIN  
118 CARROLL STREET  
DUNEDIN

Sheet Title  
EARTHWORKS PLAN

Level 1  
214 Durham Street South,  
Christchurch Central  
Christchurch 8011  
+64 3 374 6515  
calibregroup.com



Scale (A1 Original) 1:150 (A3) 1:300



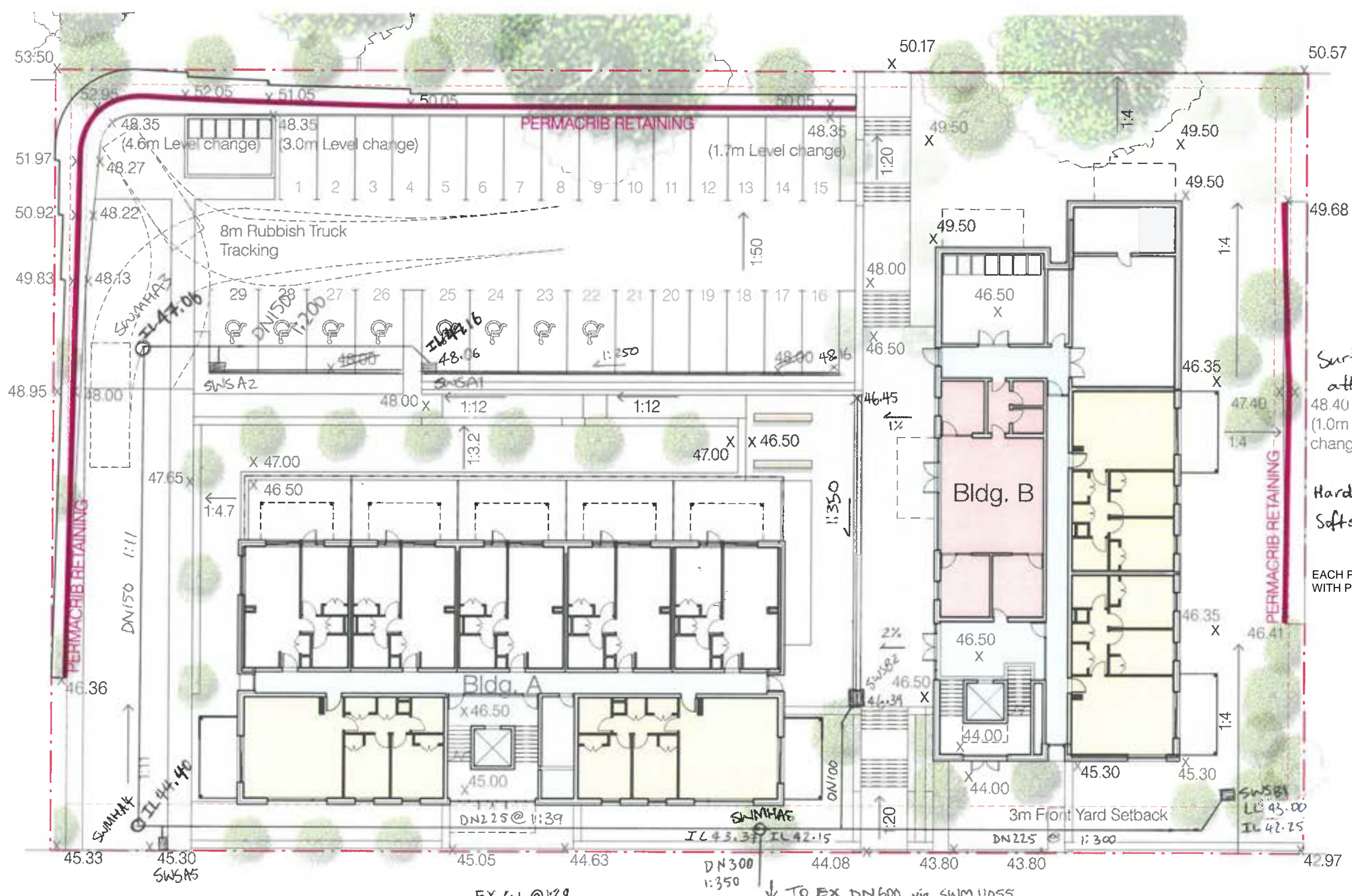
Project No Sheet Revision

713040 C200 0

Verify all dimensions on site before commencing work. Prioritise figured dimensions over scaling. Refer all discrepancies to Calibre.  
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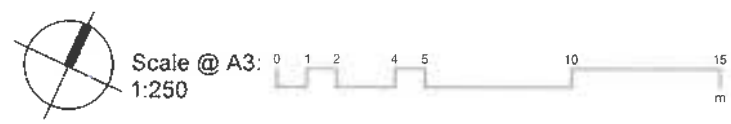
Site Plan - Levels



Surface coverage for attenuation:

|            |         |          |
|------------|---------|----------|
|            | Pre dev | Post dev |
| Hard stand | 55%     | 56%      |
| Softscape  | 45%     | 44%      |

EACH PARKING SPACE IS PAVED WITH PERMEABLE PAVING



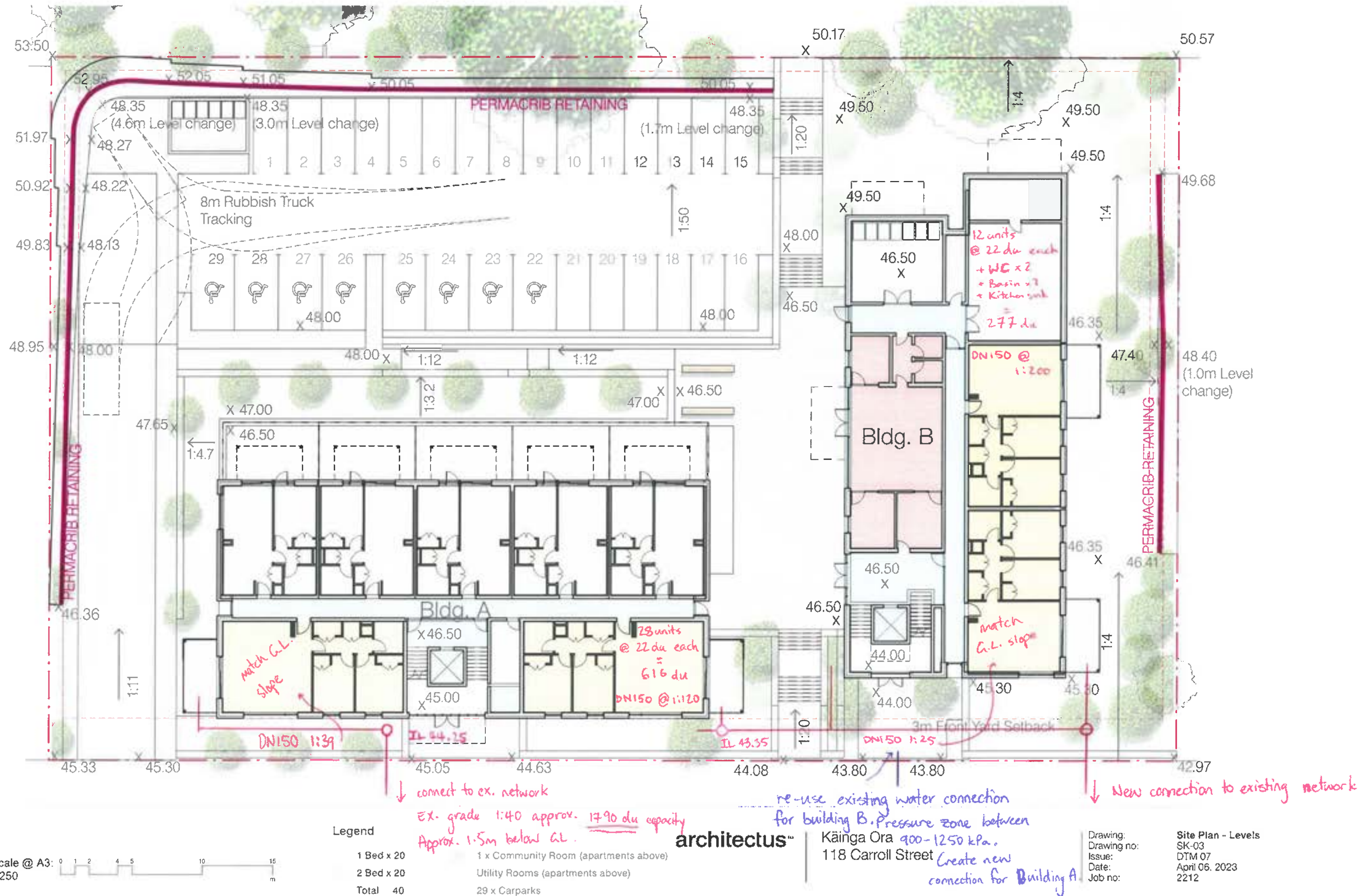
- Legend
- 1 Bed x 20
  - 2 Bed x 20
  - Total 40
  - 1 x Community Room (apartments above)
  - Utility Rooms (apartments above)
  - 29 x Carparks

architectus  
Kāinga Ora  
118 Carroll Street

Drawing: SK-03  
Drawing no: DTM 07  
Issue: April 06, 2023  
Date: 2212  
Job no:



# Site Plan - Levels



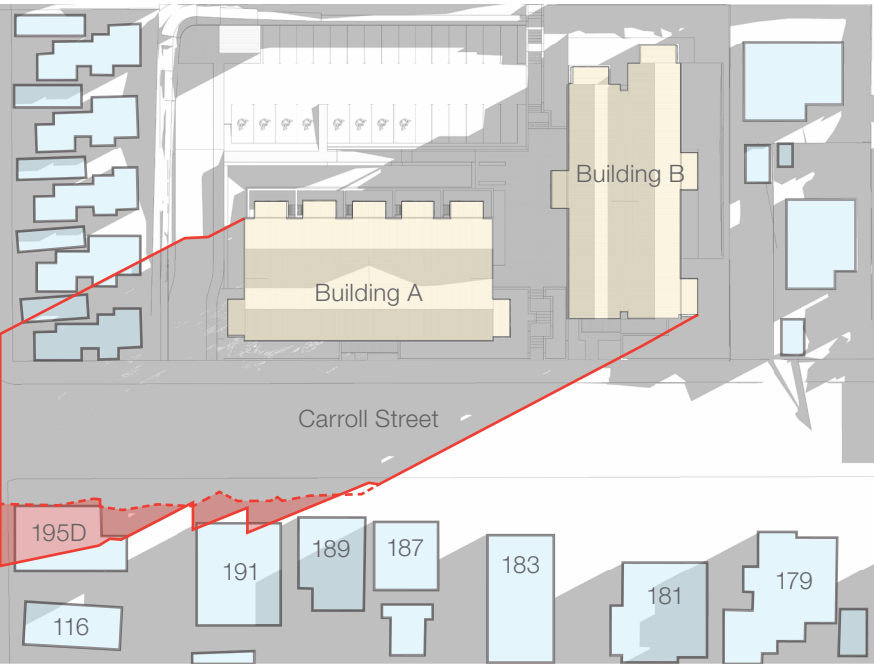


# Sun Shade Studies (as per Resource Consent)

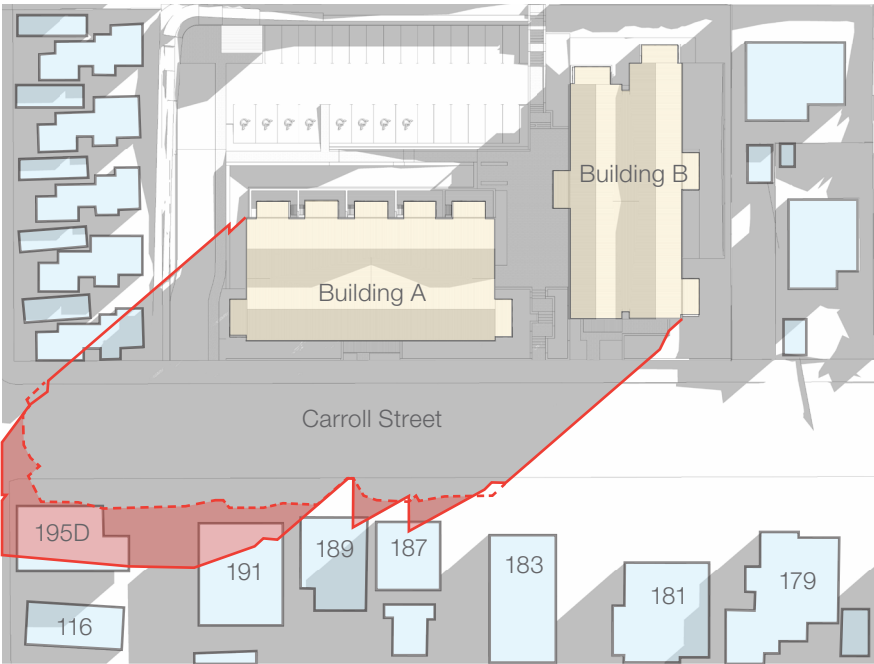


# Sun Study South Boundary - Winter Solstice

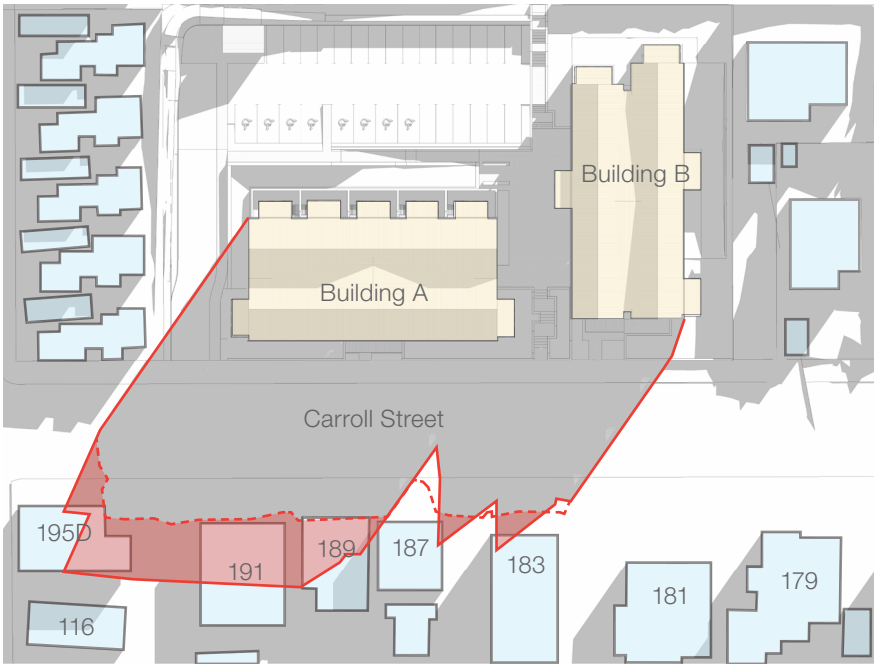
NOTE: ONLY WINTER SOLSTICE HOURS FROM 10AM TO 3PM SHOWN FOR SOUTH BOUNDARY. SHADING OF THE NEIGHBOURS TO THE SOUTH DOES NOT OCCUR DURING SUMMER HOURS.



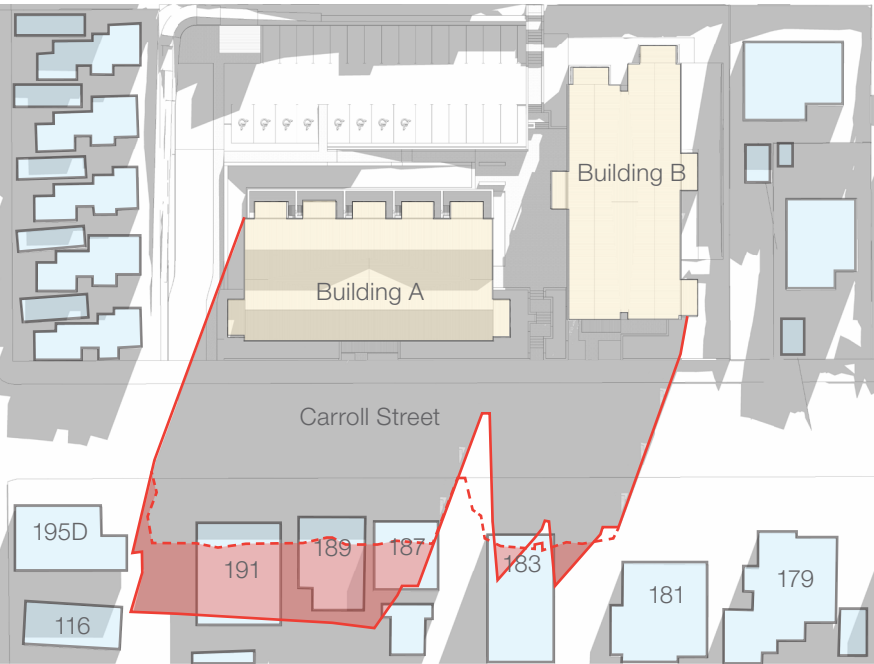
Winter Solstice - 10am



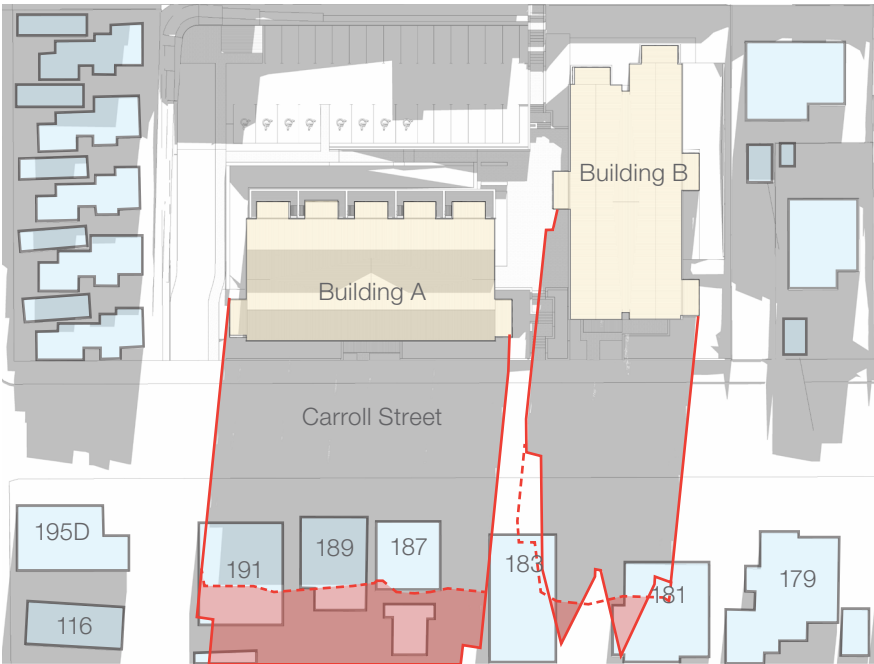
Winter Solstice - 11am



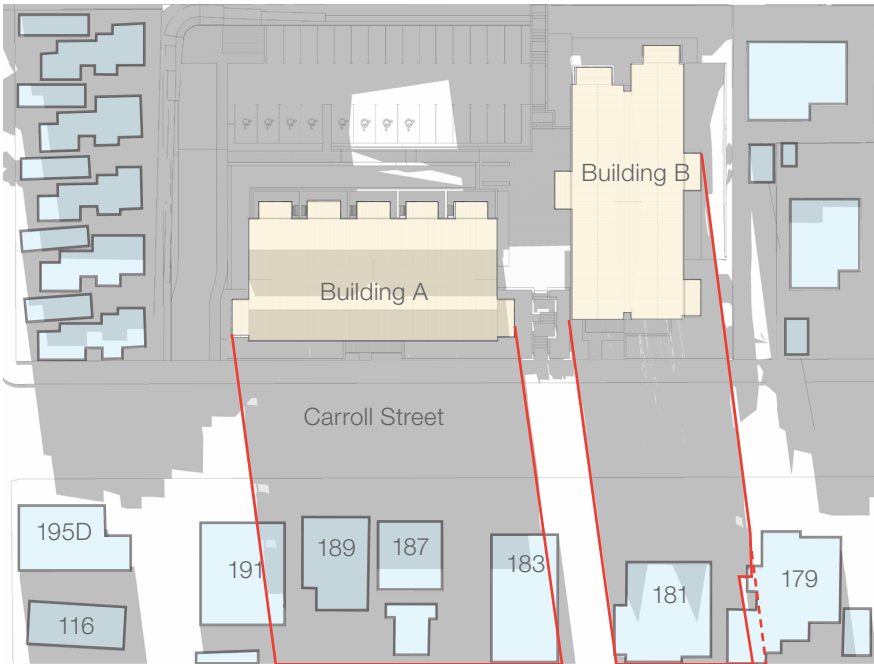
Winter Solstice - 12pm



Winter Solstice - 1pm



Winter Solstice - 2pm



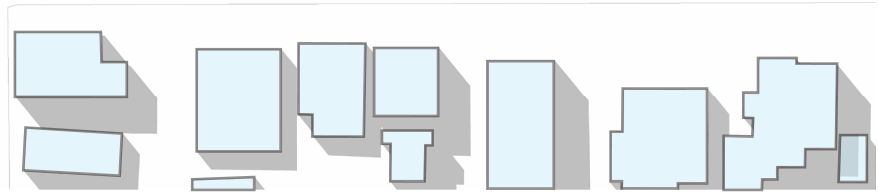
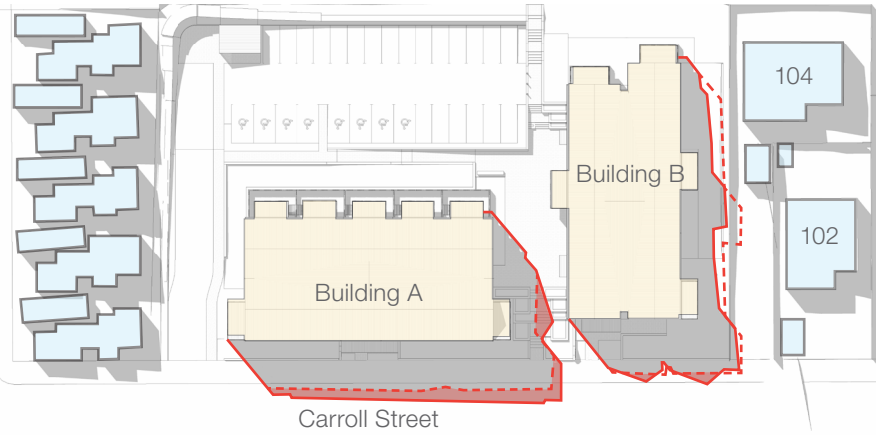
Winter Solstice - 3pm



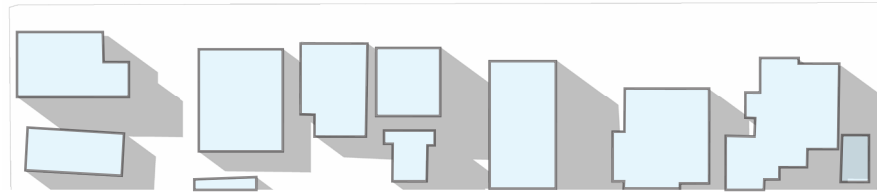
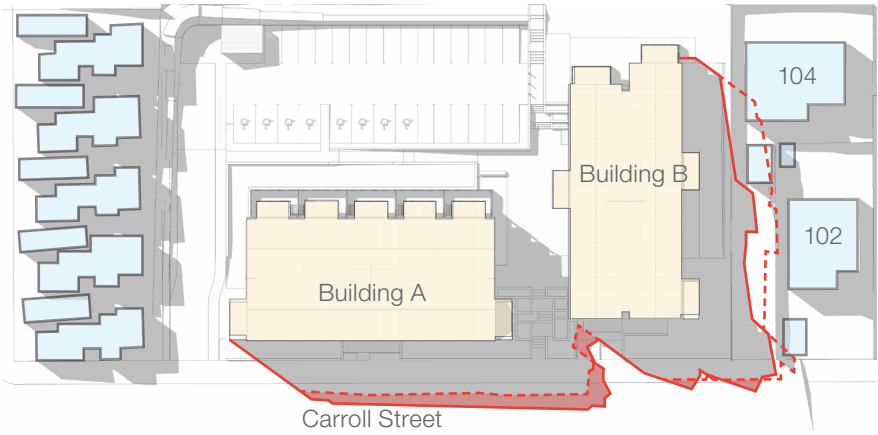
- Legend
- Extent of shading from a compliant project (12m building height)
  - Extent of shading from the proposed project
  - Extent of additional shading from proposed project

# Sun Study East Boundary - Summer Solstice

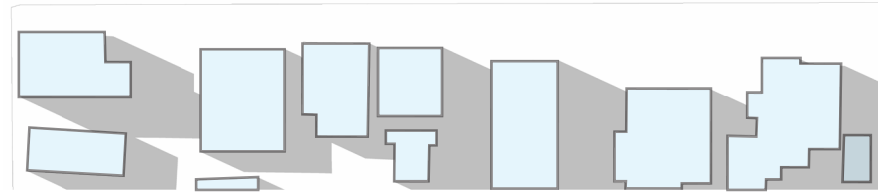
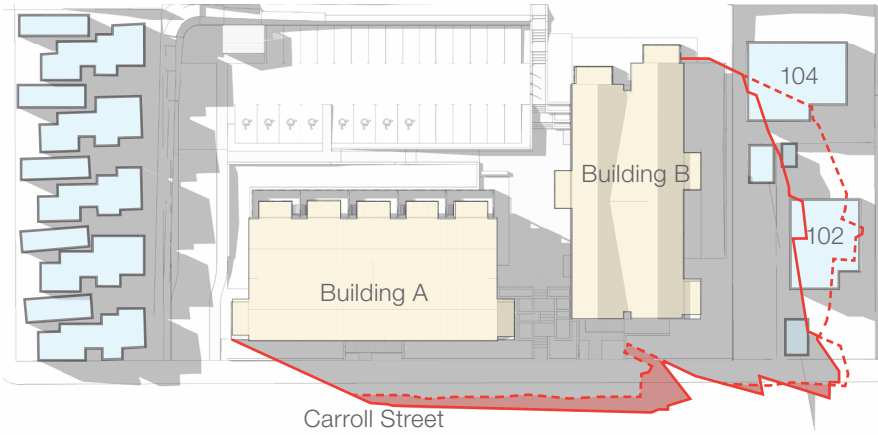
NOTE: ONLY SUMMER SOLSTICE HOURS FROM 3PM TO 8PM SHOWN FOR EAST BOUNDARY. SHADING OF THE NEIGHBOURS TO THE EAST DOES NOT OCCUR DURING WINTER HOURS.



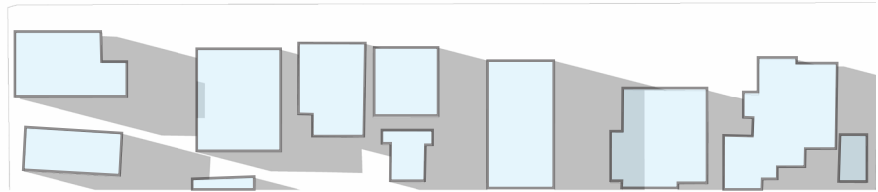
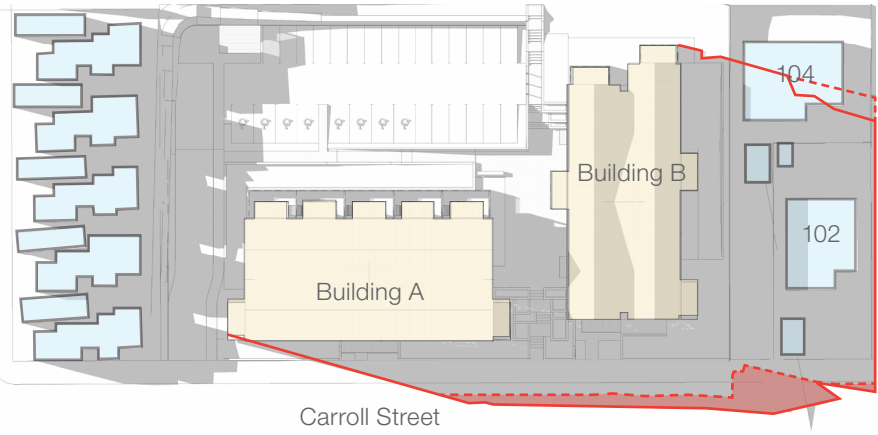
Summer Solstice - 3pm



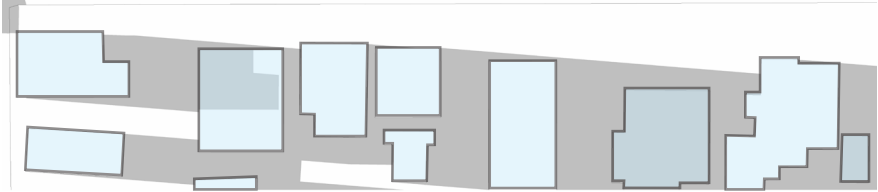
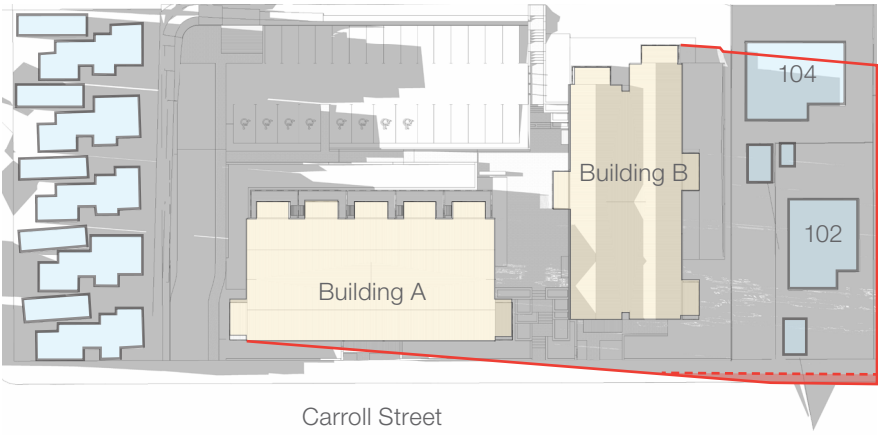
Summer Solstice - 4pm



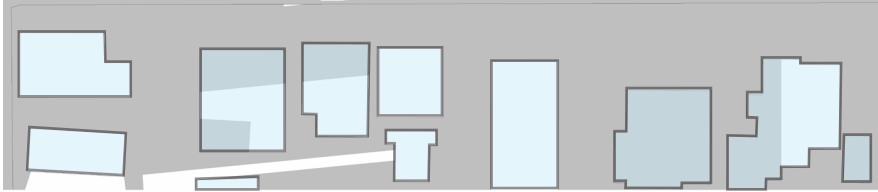
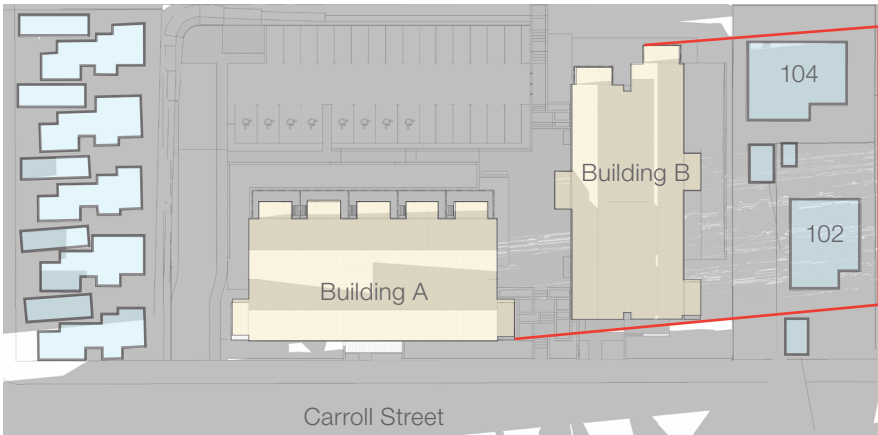
Summer Solstice - 5pm



Summer Solstice - 6pm



Summer Solstice - 7pm



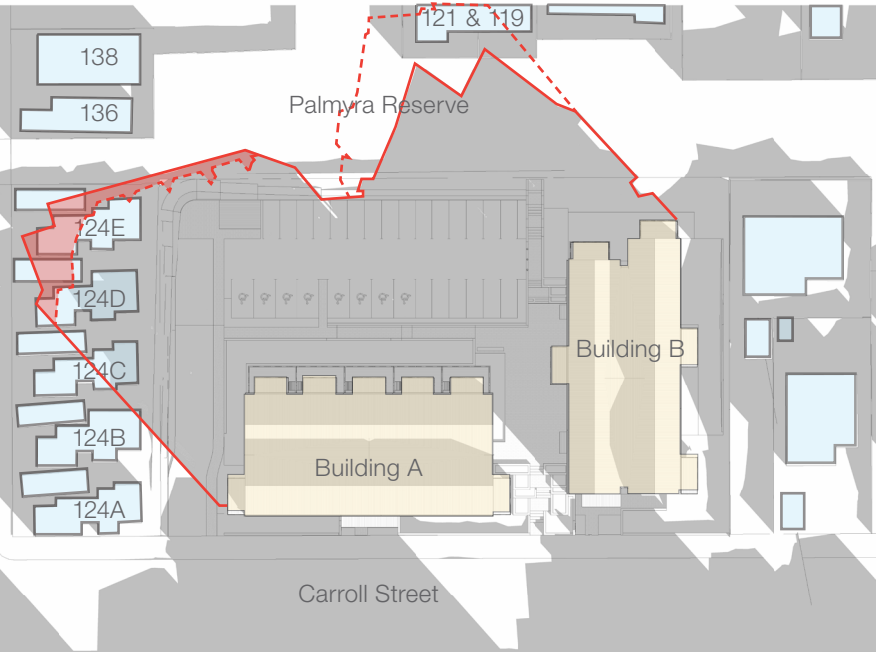
Summer Solstice - 8pm



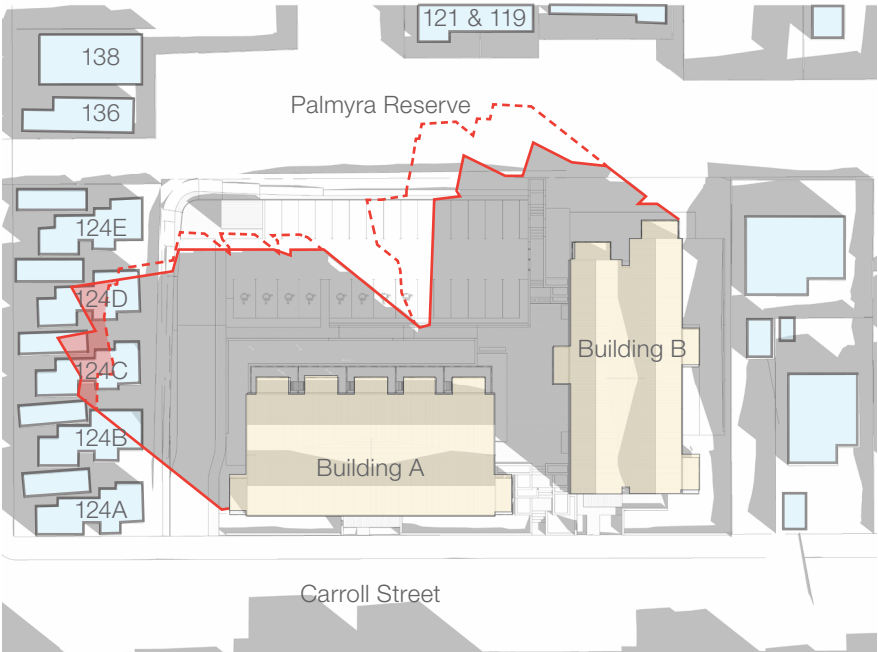
- Legend
- Extent of shading from a compliant project (12m building height)
  - Extent of shading from the proposed project
  - Extent of additional shading from proposed project



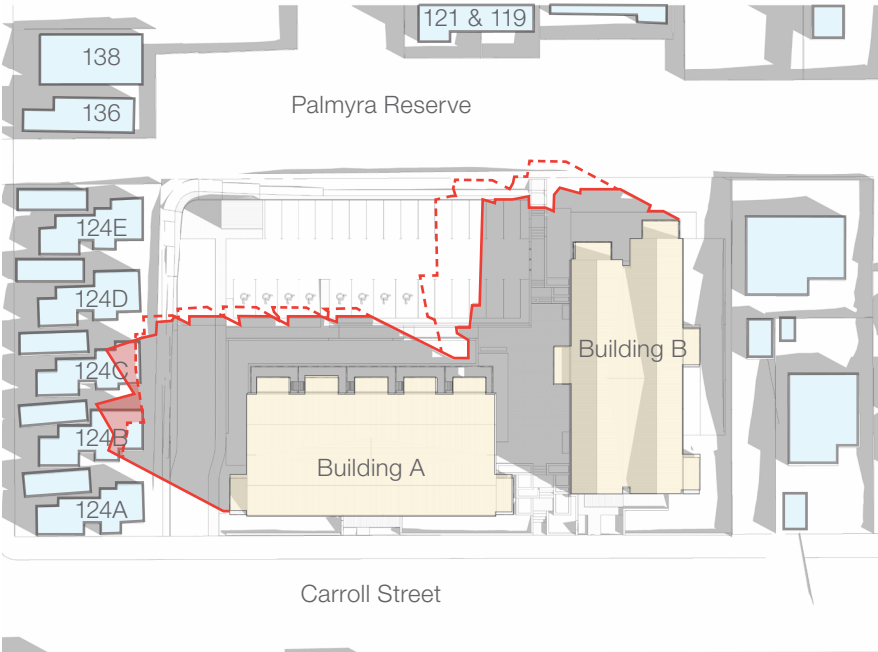
# Sun Study North & West Boundaries - Summer Solstice



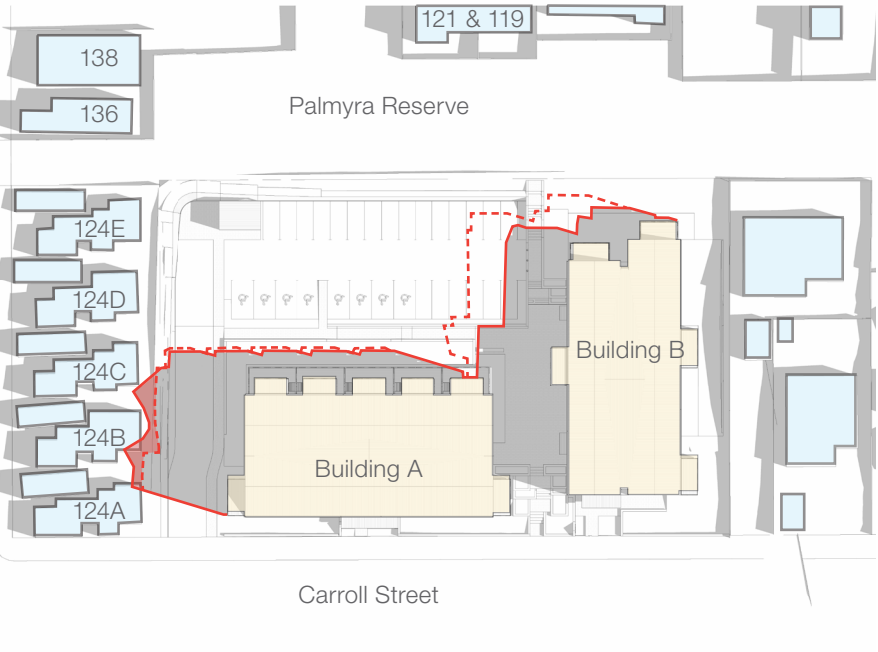
Summer Solstice - 6am



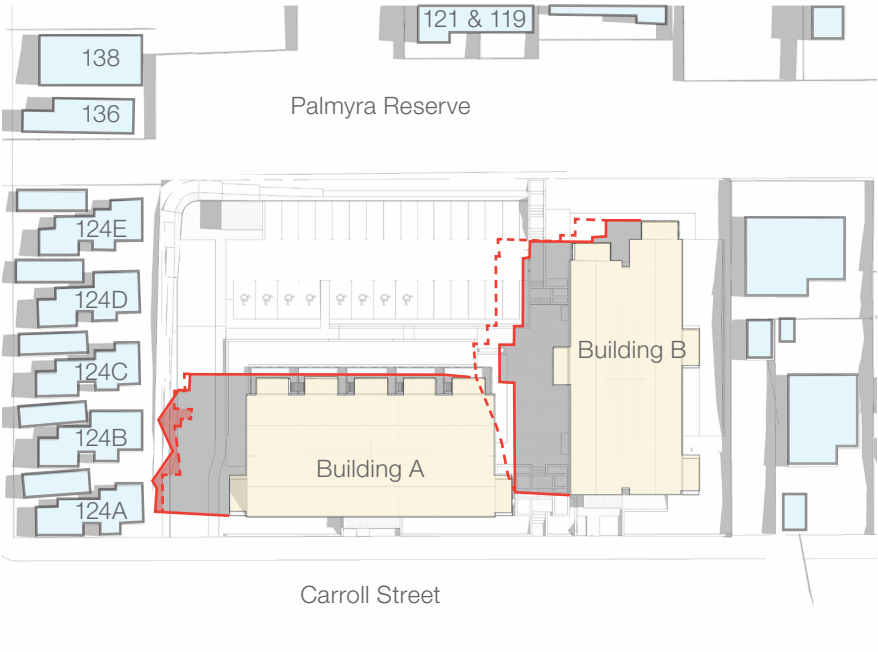
Summer Solstice - 7am



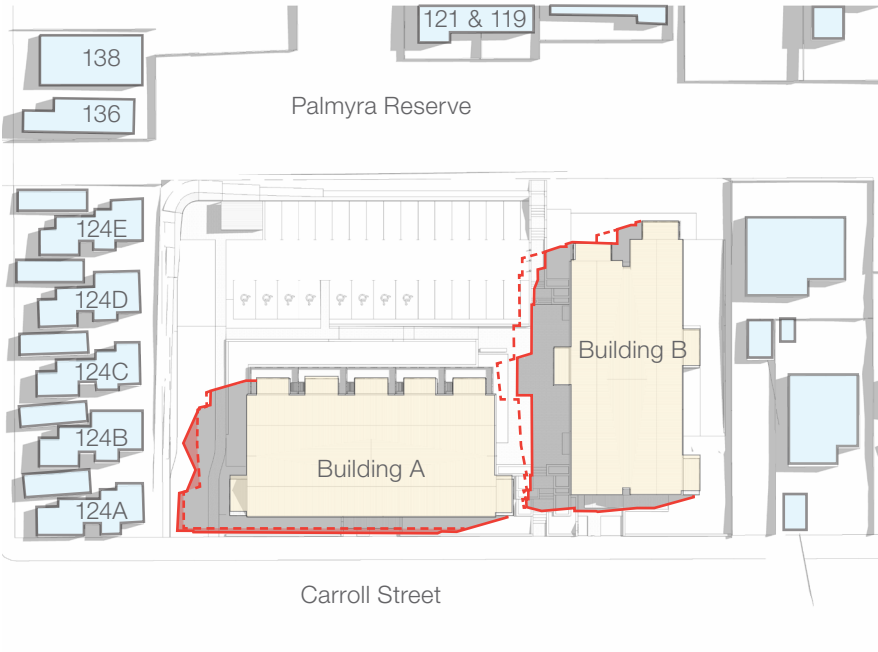
Summer Solstice - 8am



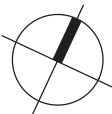
Summer Solstice - 9am



Summer Solstice - 10am

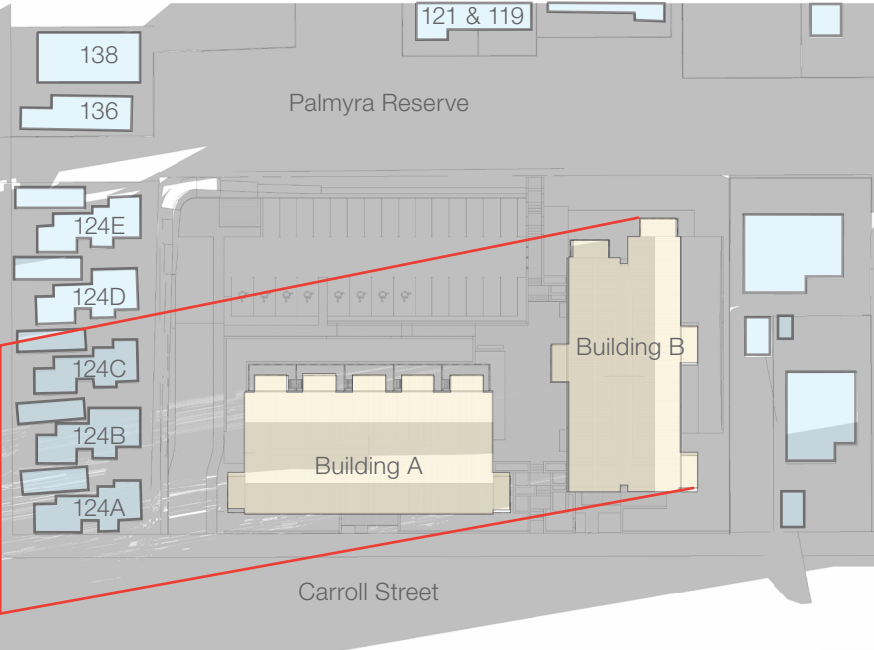


Summer Solstice - 11am

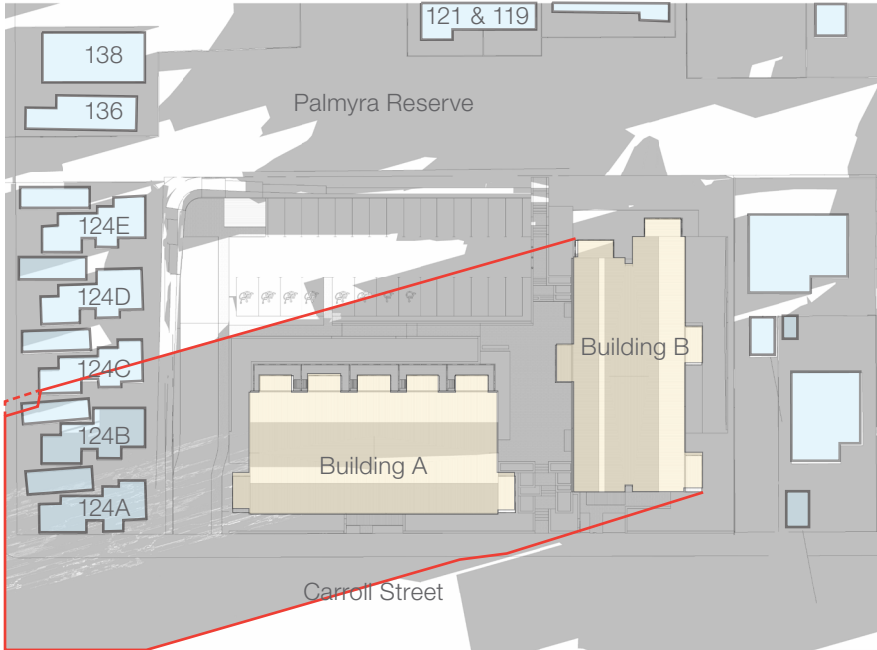


- Legend
- Extent of shading from a compliant project (12m building height)
  - Extent of shading from the proposed project
  - Extent of additional shading from proposed project

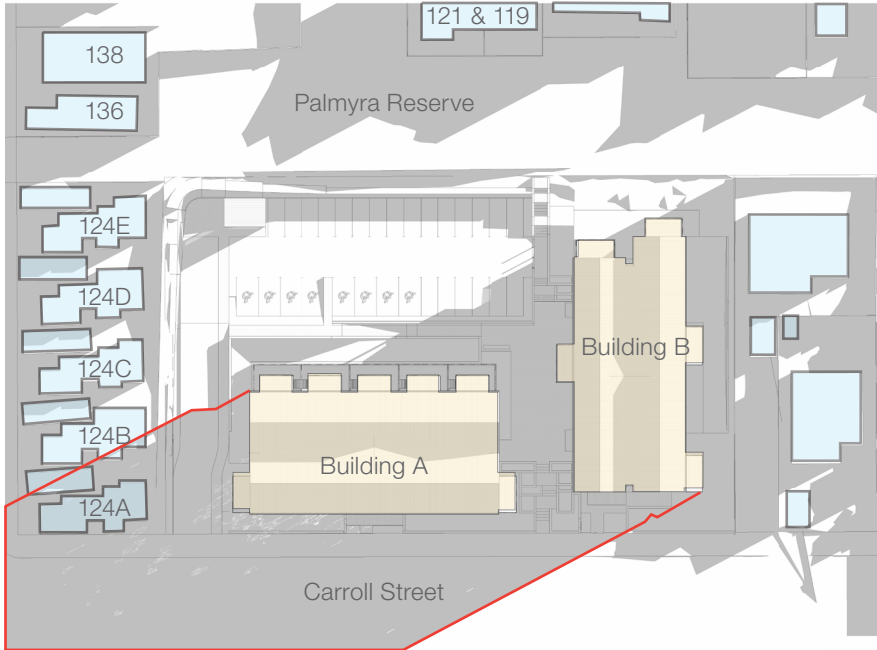
# Sun Study North & West Boundaries - Winter Solstice



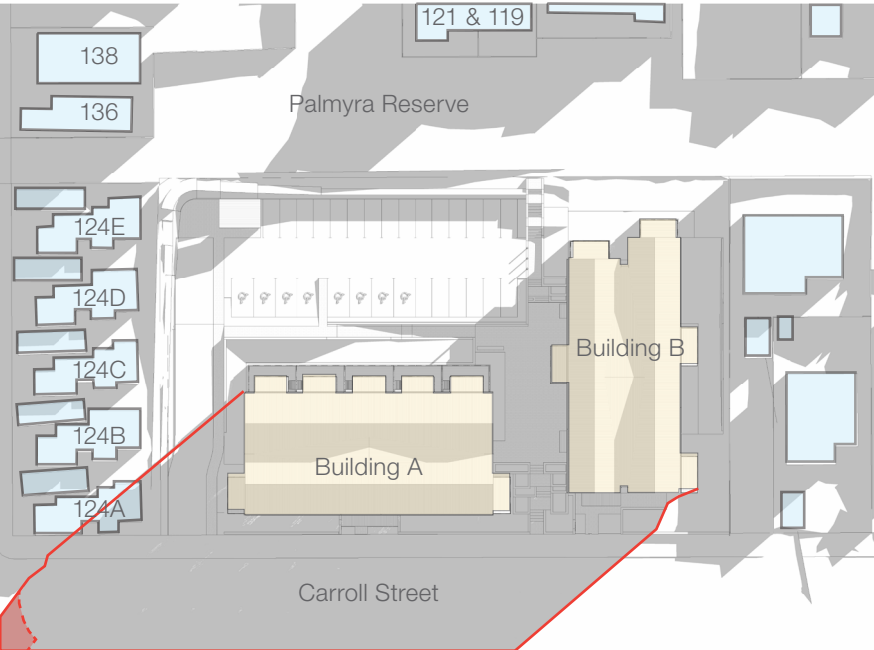
Winter Solstice - 8am



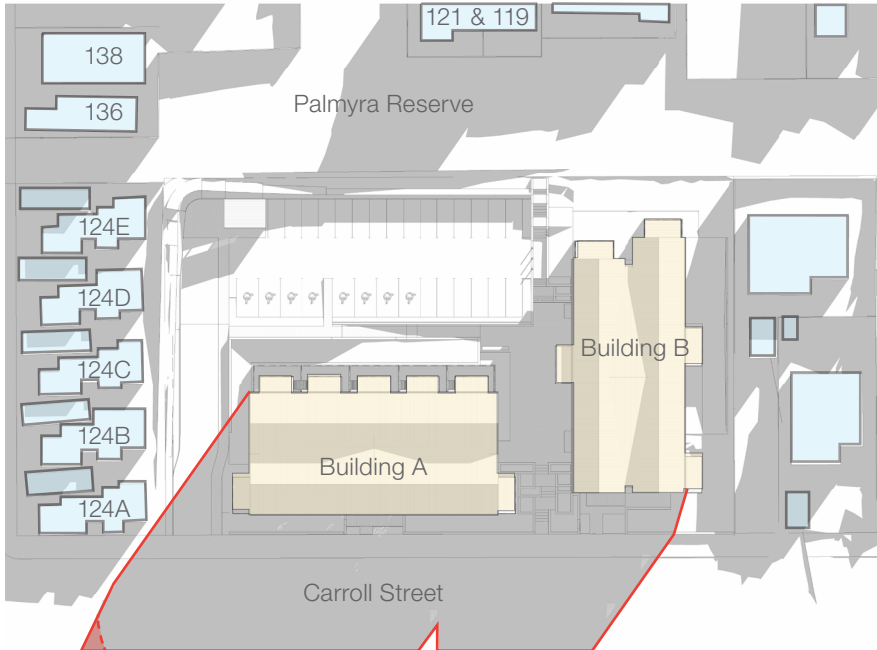
Winter Solstice - 9am



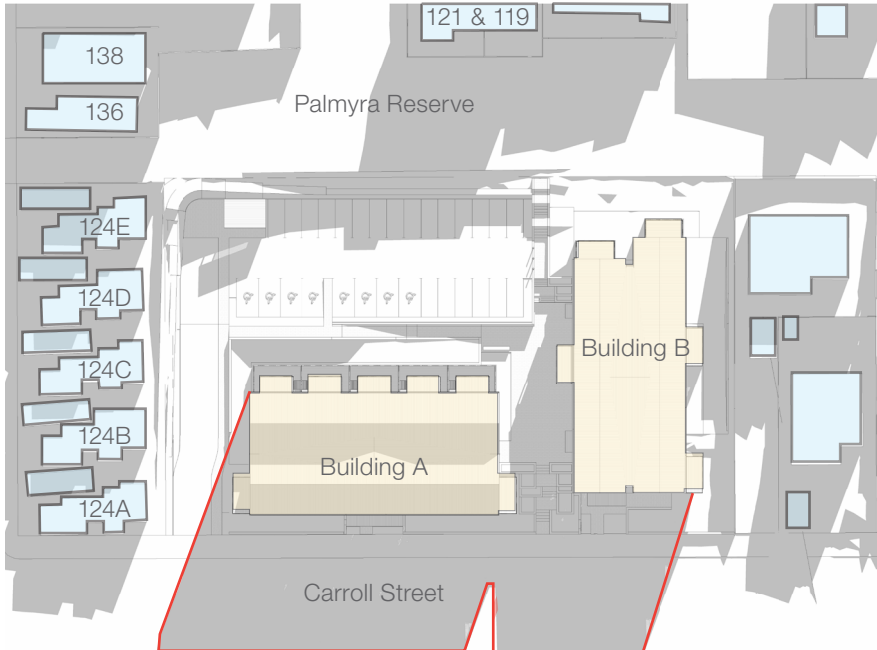
Winter Solstice - 10am



Winter Solstice - 11am



Winter Solstice - 12pm



Winter Solstice - 1pm



- Legend
- Extent of shading from a compliant project (12m building height)
  - Extent of shading from the proposed project
  - Extent of additional shading from proposed project



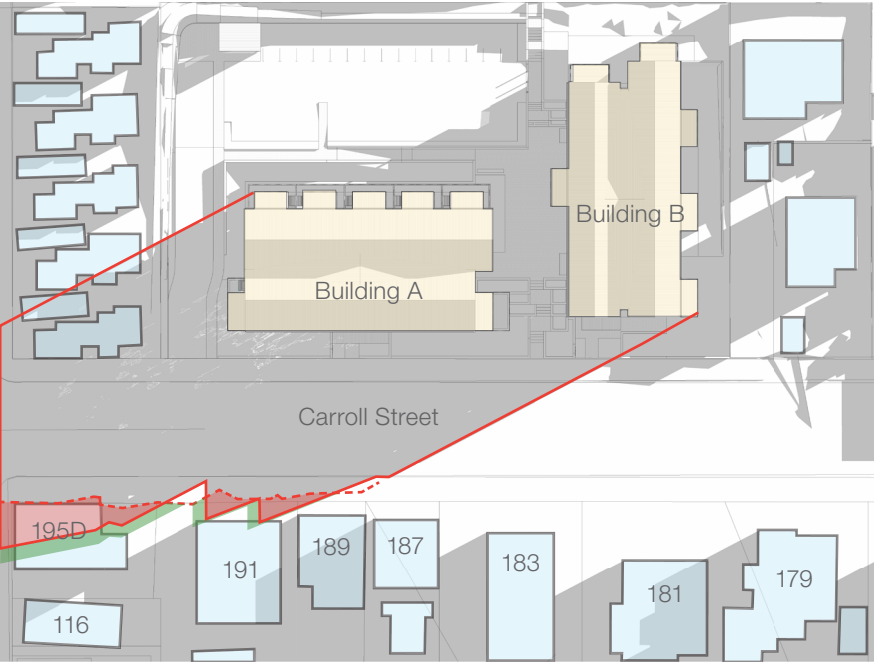
# Sun Shade Studies (Proposed Revisions)

# Sun Study South Boundary - Winter Solstice

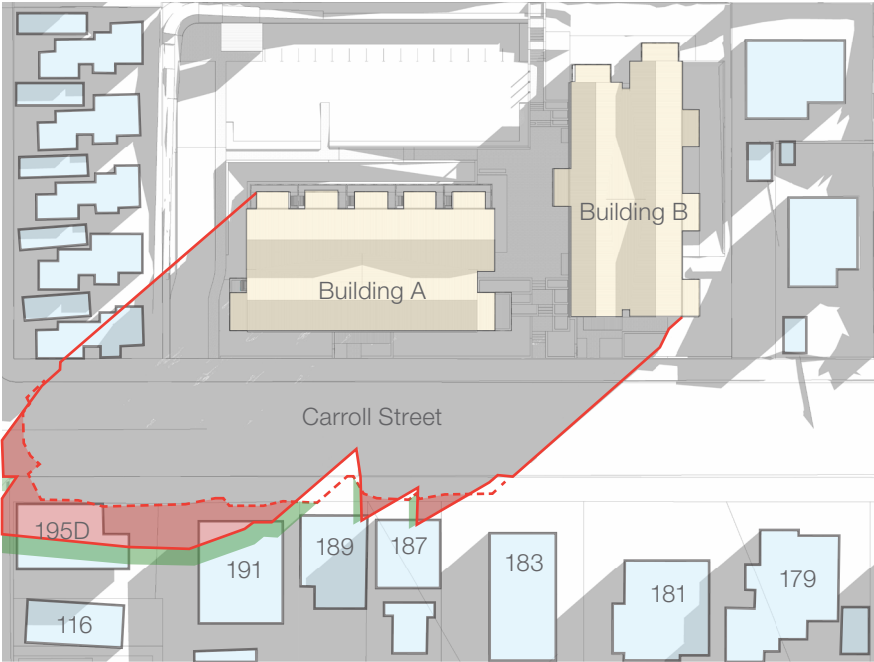
NOTE: ONLY WINTER SOLSTICE HOURS FROM 10AM TO 3PM SHOWN FOR SOUTH BOUNDARY. SHADING OF THE NEIGHBOURS TO THE SOUTH DOES NOT OCCUR DURING SUMMER HOURS.

# Proposed Revisions

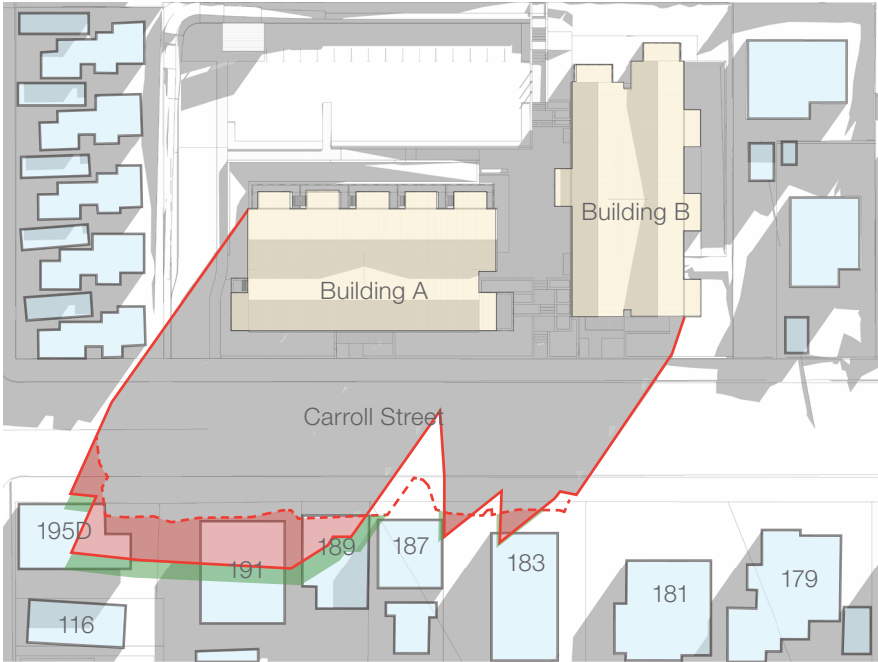
BUILDING A SET BACK FROM STREET BY A FURTHER 1 METER, FLOOR TO FLOOR HEIGHTS REDUCED BY 0.15m PER FLOOR, AND OVERALL FLOOR AREA REDUCED.



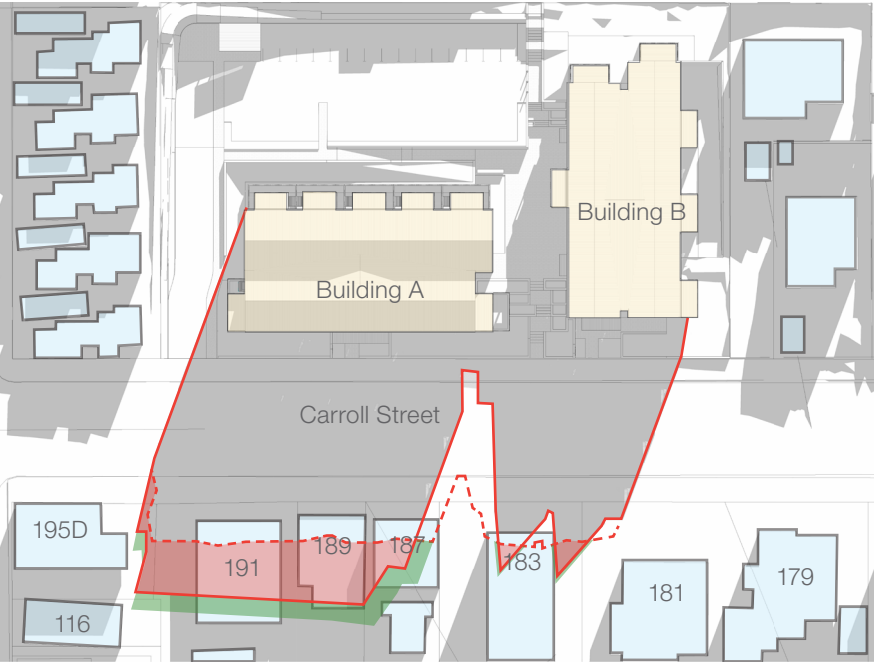
Winter Solstice - 10am



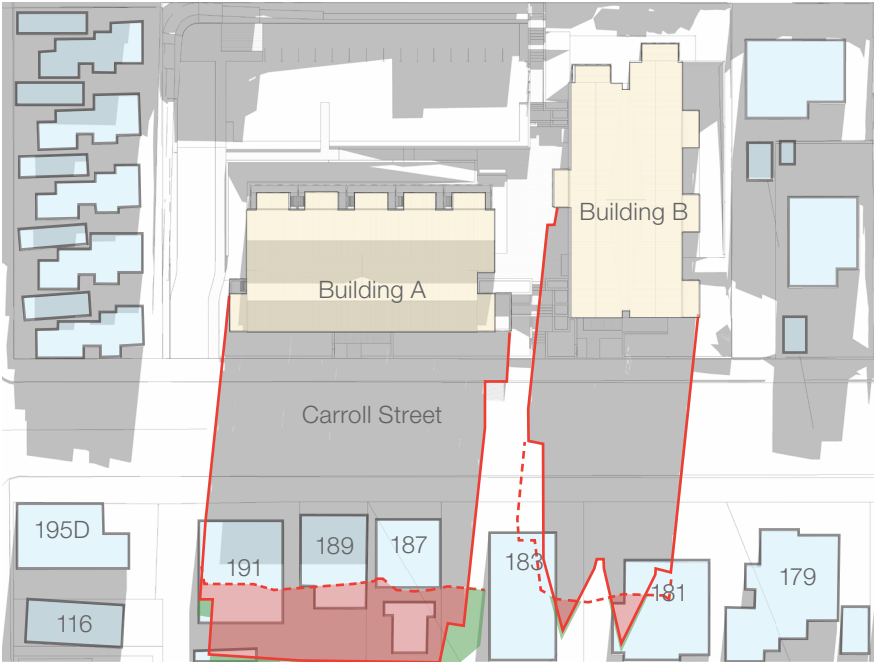
Winter Solstice - 11am



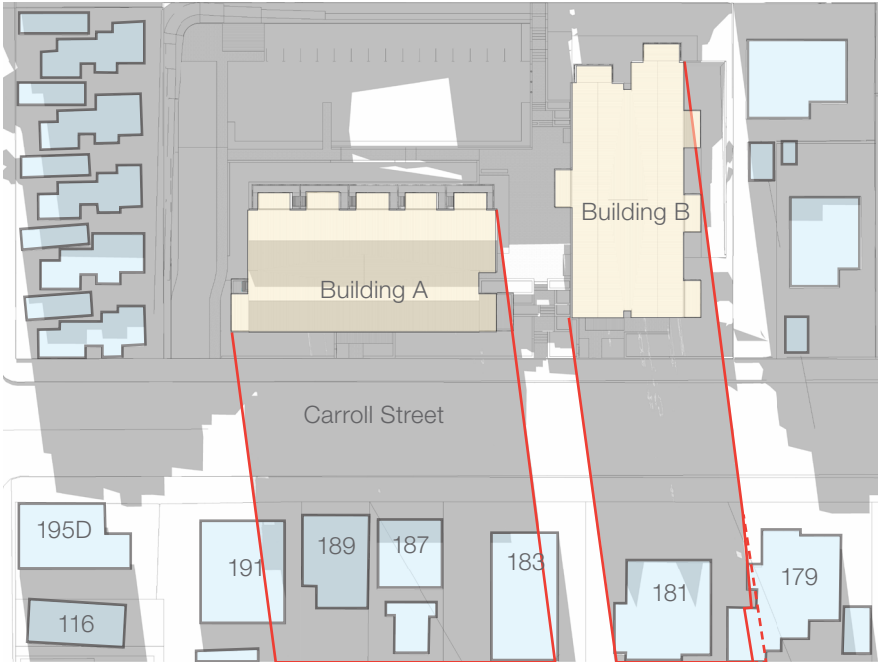
Winter Solstice - 12pm



Winter Solstice - 1pm



Winter Solstice - 2pm



Winter Solstice - 3pm



- Legend
- Extent of shading from a compliant project (12m building height)
  - Extent of shading from the proposed project
  - Extent of additional shading from proposed project

Extent of reduced area of shading compared to RC submission

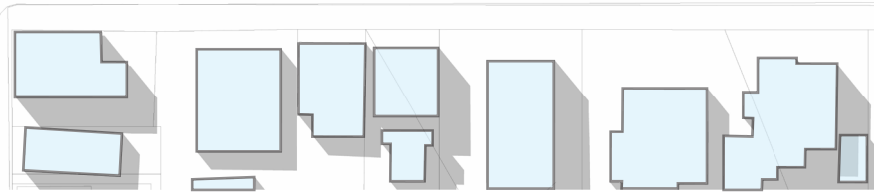
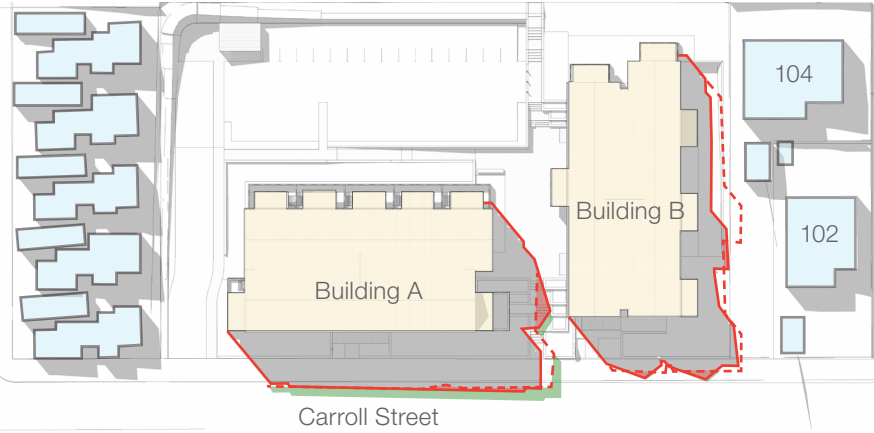


# Sun Study East Boundary - Summer Solstice

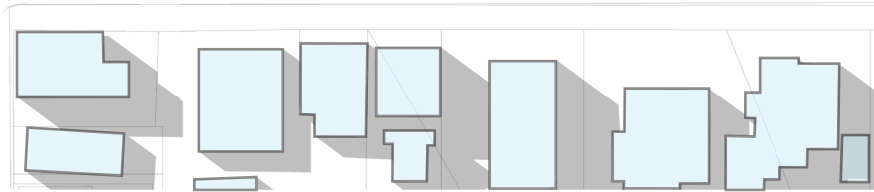
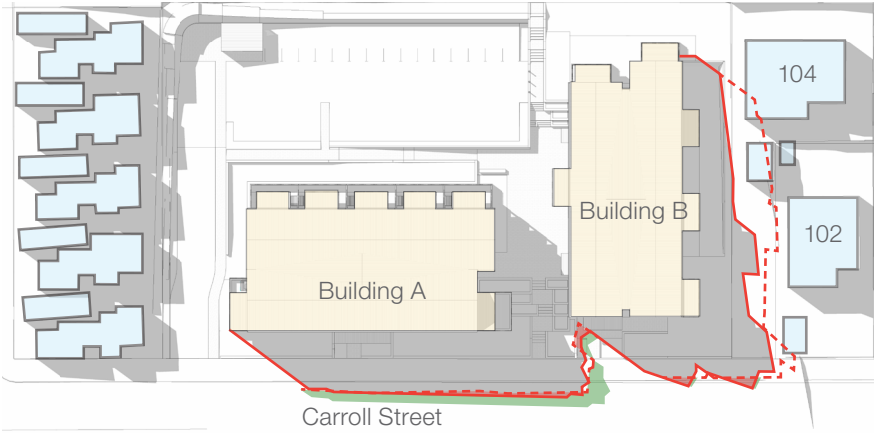
NOTE: ONLY SUMMER SOLSTICE HOURS FROM 3PM TO 8PM SHOWN FOR EAST BOUNDARY. SHADING OF THE NEIGHBOURS TO THE EAST DOES NOT OCCUR DURING WINTER HOURS.

# Proposed Revisions

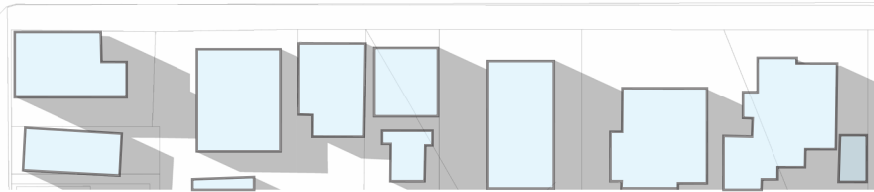
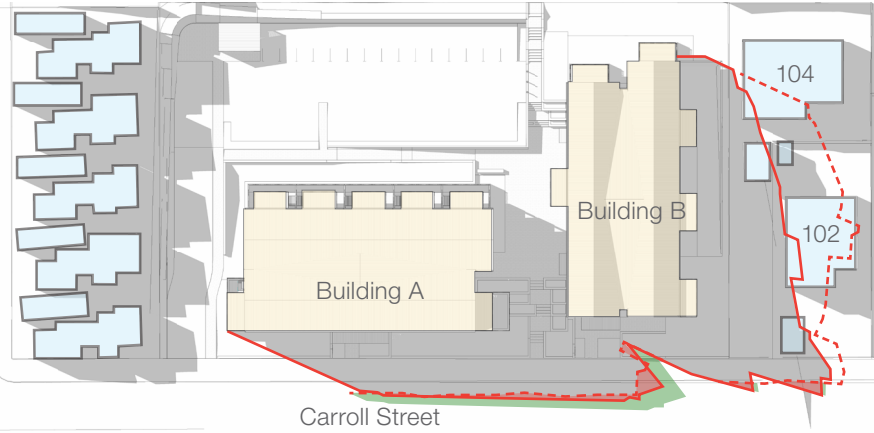
BUILDING A SET BACK FROM STREET BY A FURTHER 1 METER, FLOOR TO FLOOR HEIGHTS REDUCED BY 0.15m PER FLOOR, AND OVERALL FLOOR AREA REDUCED.



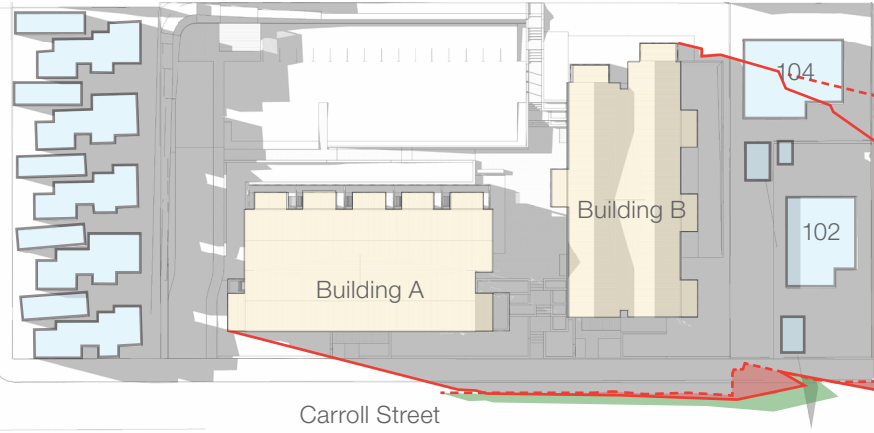
Summer Solstice - 3pm



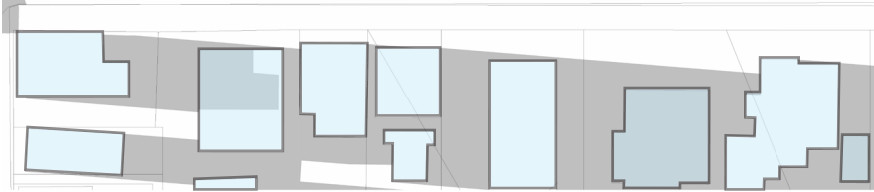
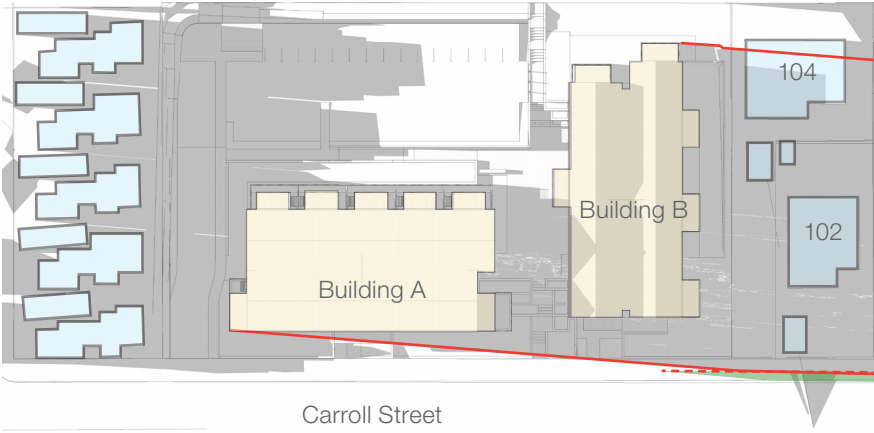
Summer Solstice - 4pm



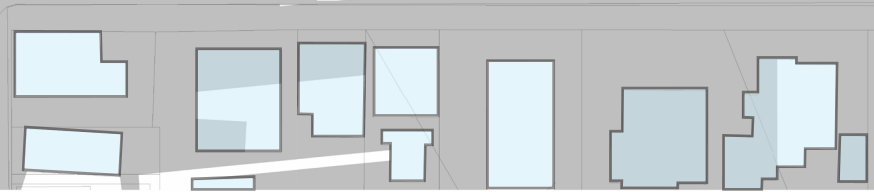
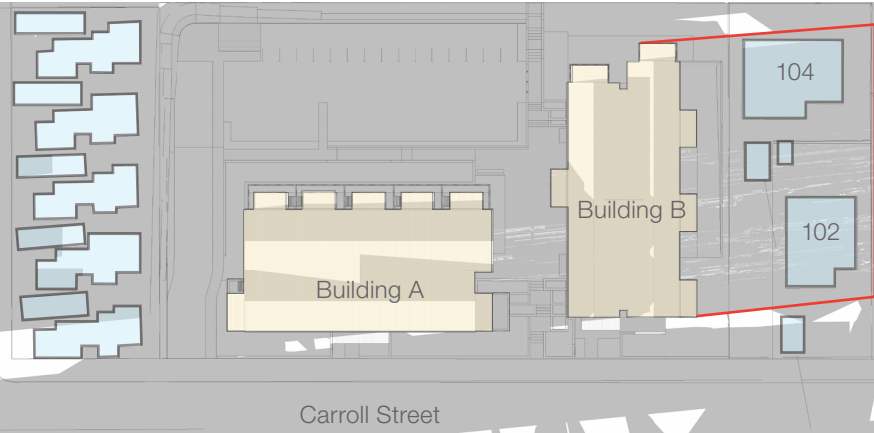
Summer Solstice - 5pm



Summer Solstice - 6pm



Summer Solstice - 7pm



Summer Solstice - 8pm



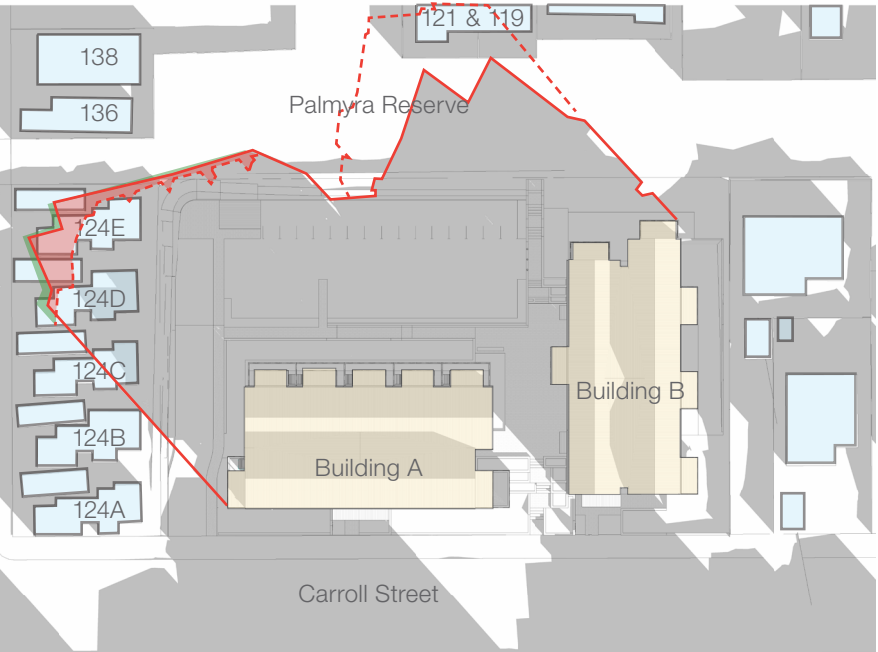
- Legend
- Extent of shading from a compliant project (12m building height)
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Extent of reduced area of shading compared to RC submission

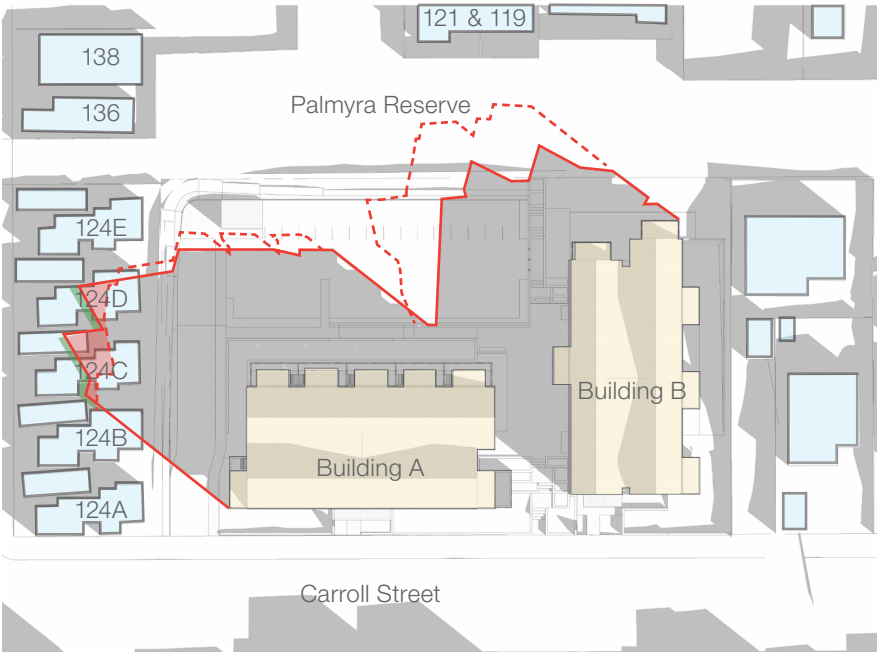
# Sun Study North & West Boundaries - Summer Solstice

## Proposed Revisions

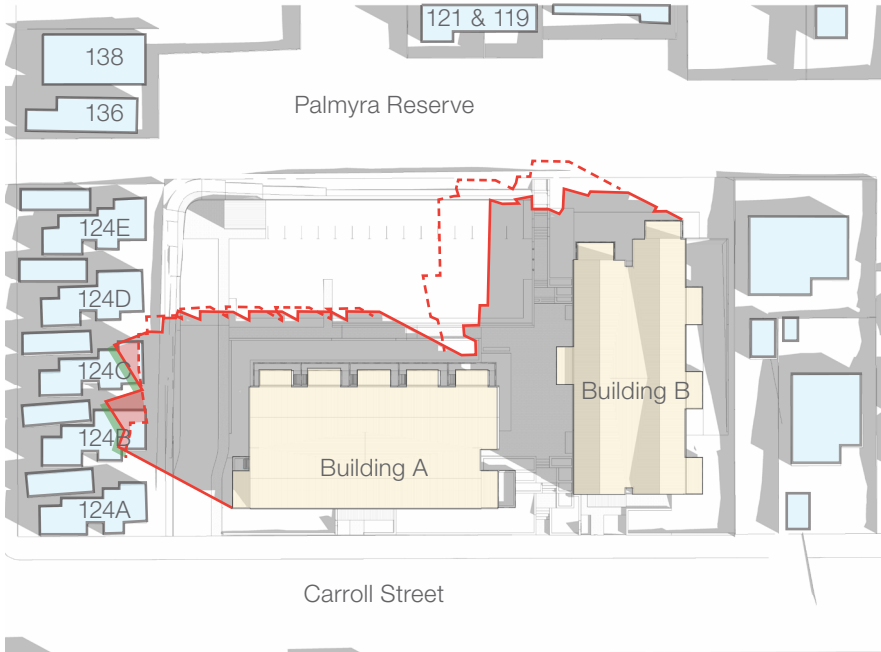
BUILDING A SET BACK FROM STREET BY A FURTHER 1 METER, FLOOR TO FLOOR HEIGHTS REDUCED BY 0.15m PER FLOOR, AND OVERALL FLOOR AREA REDUCED.



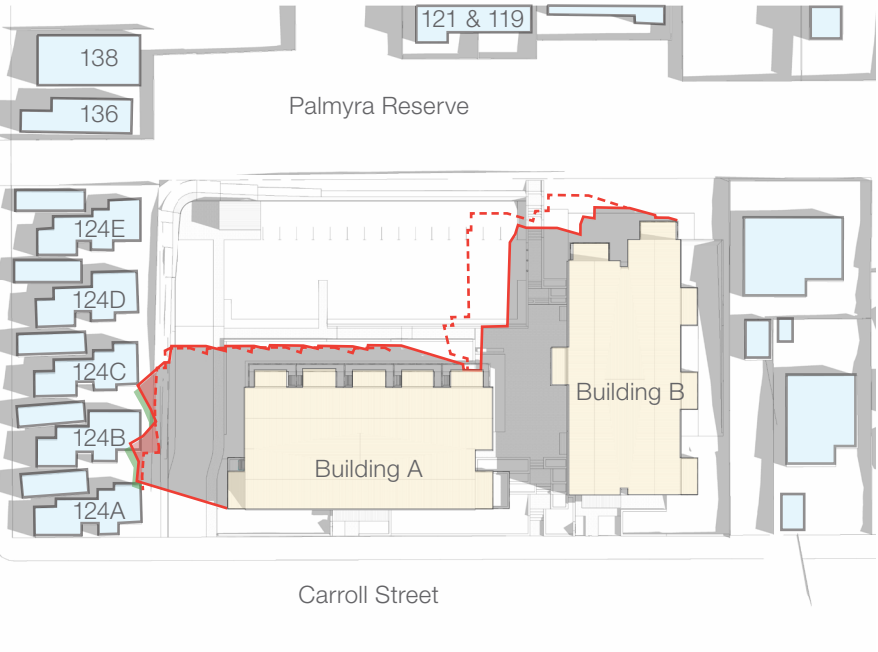
Summer Solstice - 6am



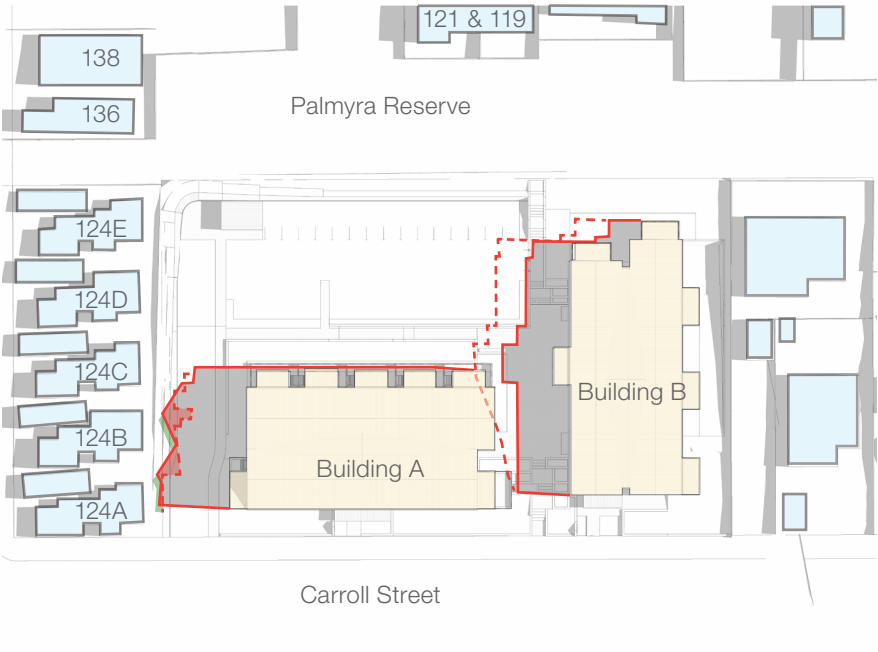
Summer Solstice - 7am



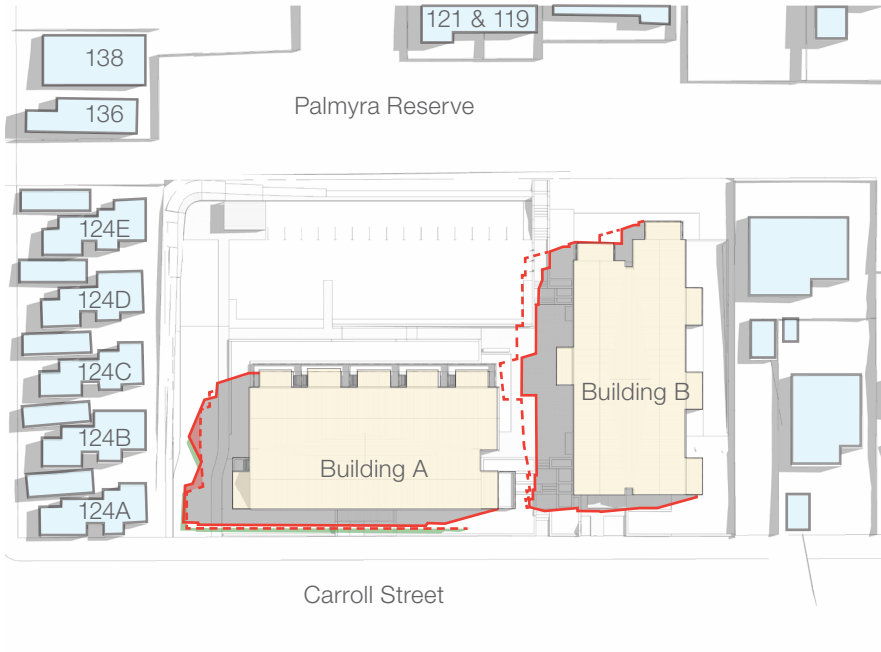
Summer Solstice - 8am



Summer Solstice - 9am



Summer Solstice - 10am



Summer Solstice - 11am



### Legend

- Extent of shading from a compliant project (12m building height)
- Extent of shading from the proposed project
- Extent of additional shading from proposed project

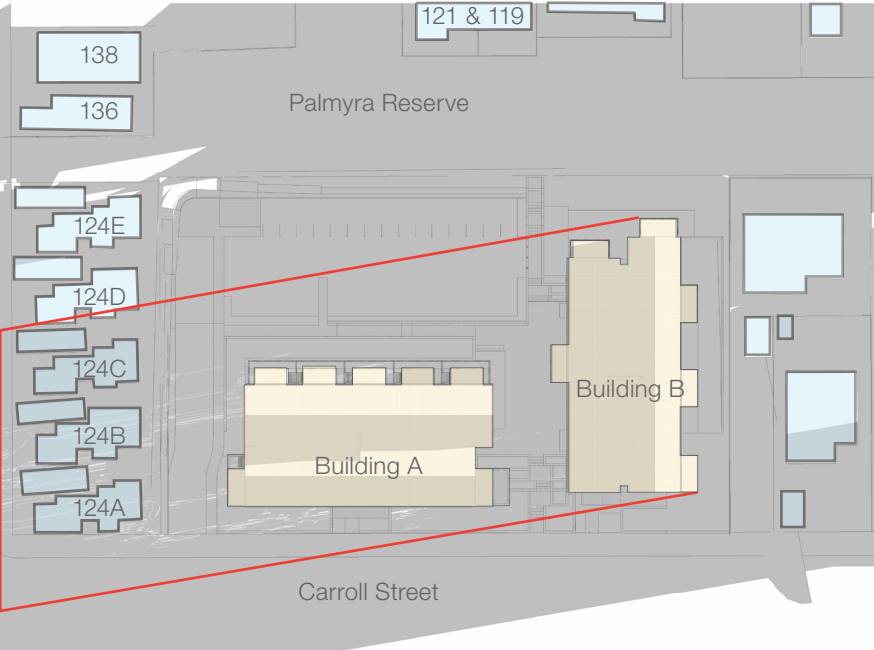
Extent of reduced area of shading compared to RC submission



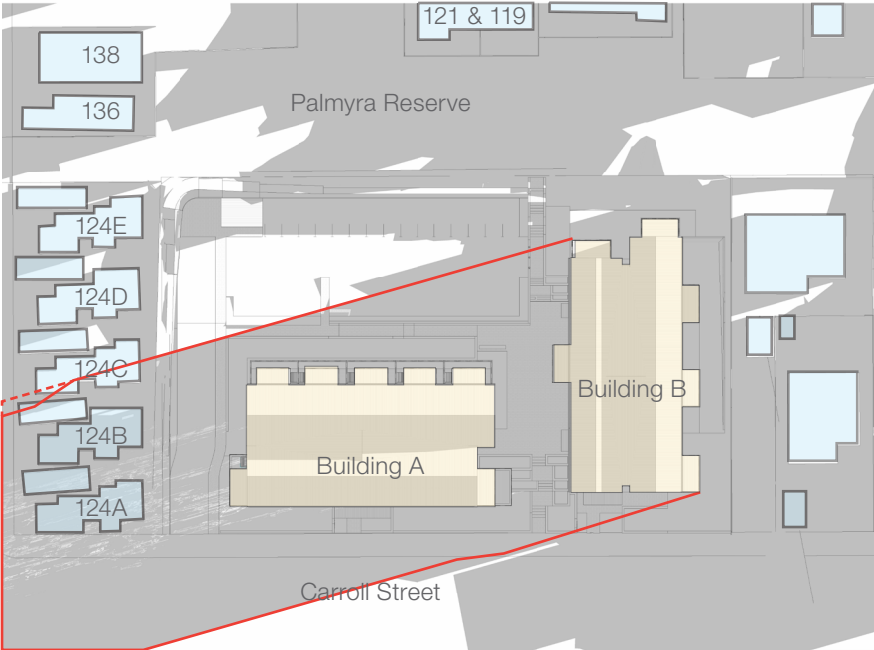
# Sun Study North & West Boundaries - Winter Solstice

## Proposed Revisions

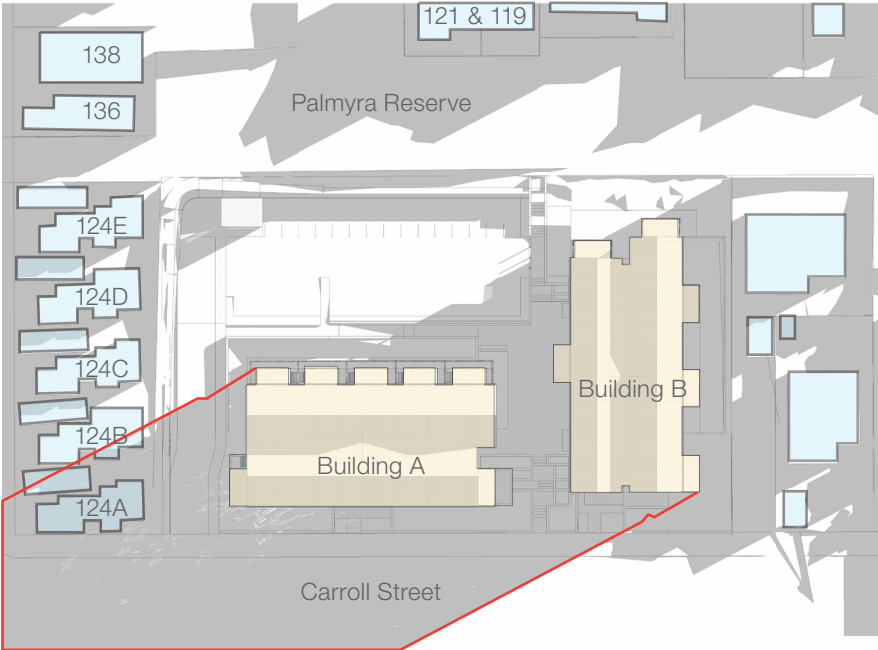
BUILDING A SET BACK FROM STREET BY A FURTHER 1 METER, FLOOR TO FLOOR HEIGHTS REDUCED BY 0.15m PER FLOOR, AND OVERALL FLOOR AREA REDUCED.



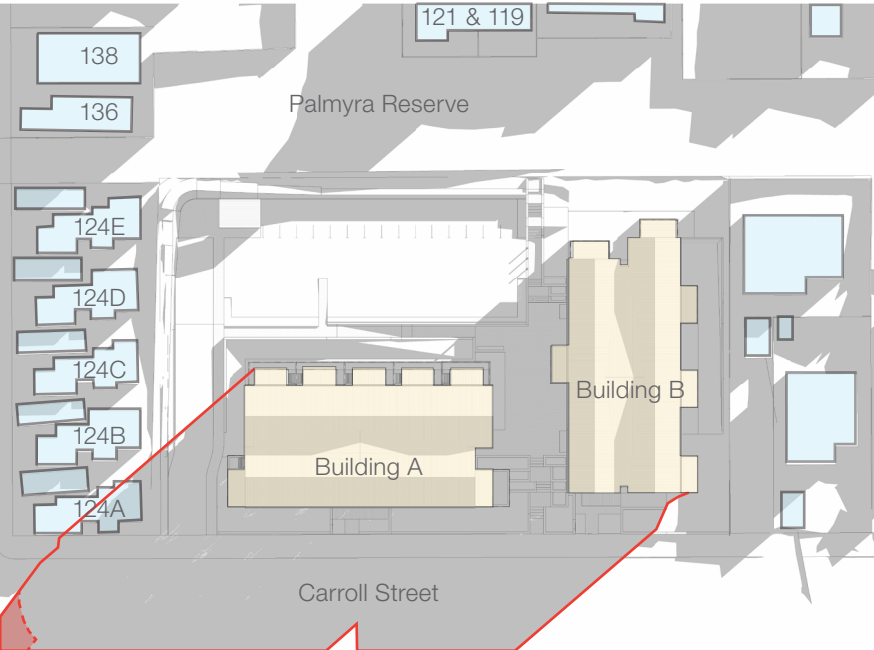
Winter Solstice - 8am



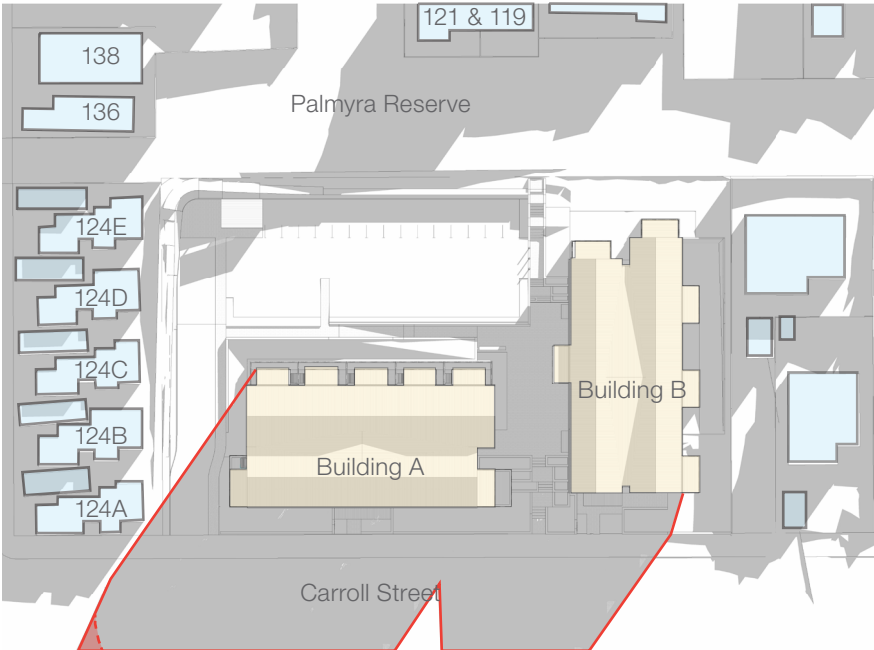
Winter Solstice - 9am



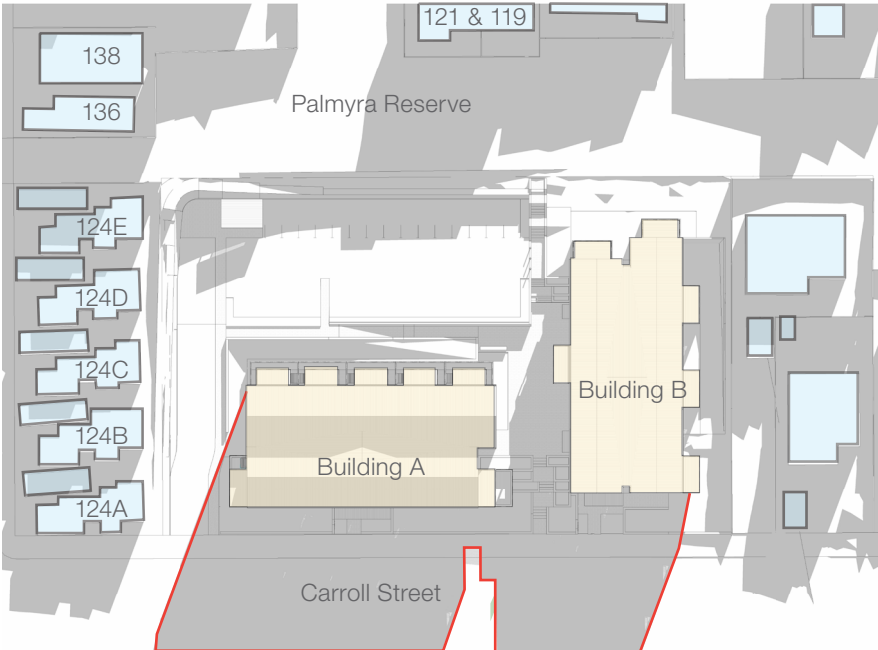
Winter Solstice - 10am



Winter Solstice - 11am



Winter Solstice - 12pm



Winter Solstice - 1pm



- Legend
- Extent of shading from a compliant project (12m building height)
  - Extent of shading from the proposed project
  - Extent of additional shading from proposed project

Extent of reduced area of shading compared to RC submission

**architectus™**